

RESOLUTION NO. 19-8725

**A RESOLUTION OF THE CITY OF SANTA CLARA,
CALIFORNIA TO ADOPT THE MITIGATED NEGATIVE
DECLARATION AND THE MITIGATION MONITORING AND
REPORTING PROGRAM FOR CATALINA II RESIDENTIAL
DEVELOPMENT PROJECT LOCATED AT 1433-1493 EL
CAMINO REAL, SANTA CLARA**

PLN2018-13609 (Rezone)
PLN2018-13610 (Vesting Tentative Subdivision Map)
CEQ2018-01065 (Mitigated Negative Declaration)

BE IT RESOLVED BY THE CITY OF SANTA CLARA AS FOLLOWS:

WHEREAS, on November 6, 2018, SCS Development ("Applicant") filed an application for the 1.7 acre site at 1433 – 1493 El Camino Real with surface parking lots and two, vacant one-story commercial buildings totaling 14,880 square feet and an unoccupied 1,200 square foot one-story single family residence with two detached accessory buildings ("Project Site");

WHEREAS, the Applicant applied to rezone the Project Site from Thoroughfare Commercial (CT) and General Office (OG) to Planned Development (PD) to allow a residential development consisting of 39 condominium units, including seven live/work units ("Project") as shown on the Development Plans, attached hereto and incorporated herein by this reference;

WHEREAS, the Project approvals will include Resolution No. 19-8726 ("City Council Rezoning Resolution"); Resolution No. 19-8727 ("City Council Vesting Tentative Subdivision Map Resolution"); and this California Environmental Quality Act ("CEQA") Resolution (collectively, the "Approvals");

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), and the regulations implementing the Act, specifically 14 Cal. Code of Regs § 15070, this Project was determined after an Initial Study to identify potentially significant effects on the environment which could be avoided with the implementation of mitigation measures, resulting in the drafting of a Mitigated Negative Declaration ("MND") and Mitigation Monitoring and Reporting Program ("MMRP");

WHEREAS, in conformance with CEQA, the MND was noticed and circulated for a 30-day public review period to the State Office of Planning and Research, Santa Clara County Clerk's Office, interested parties, and property owners within 1,000 feet of the Project Site from March 27, 2019 to April 26, 2019, where during that period comment letters were received from the California Department of Transportation (Caltrans), Native American Heritage Commission, Santa Clara Valley Transportation Authority, and Santa Clara Valley Water District (Valley Water), and along with the attached Responses to Comments Received on the MND are made part of the record;

WHEREAS, on May 8, 2019, a newspaper notice for this item was published in *The Weekly*, a newspaper of general circulation for the City, for the Planning Commission meeting of May 22, 2019 and City Council meeting of June 25, 2019;

WHEREAS, on June 14, 2019 notices of the public meeting for the City Council meeting of June 25, 2019 were posted in three conspicuous locations within 300 feet of the Project Site, and mailed to all property owners within 1,000 feet of the Project Site boundaries;

WHEREAS, on May 22, 2019, the Planning Commission considered the Project, MND, MMRP and all pertinent information in the record, including public testimony, at the conclusion of which the Planning Commission voted to recommend that the City Council adopt the MND and MMRP, approve the rezoning to allow a residential development consisting of 39 condominium units, including seven live/work units, and approve the Vesting Tentative Subdivision Map to create five condominium lots and four common lots to support the development; and

WHEREAS, the City Council reviewed the MND prepared for the Project, City Staff report pertaining to the MND and all evidence received at a duly noticed public hearing on June 25, 2019. All these documents and evidence are herein incorporated by reference into this Resolution.

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NOW THEREFORE, BE IT FURTHER RESOLVED BY THE CITY OF SANTA CLARA AS FOLLOWS:

1. That the City Council hereby finds that the above Recitals are true and correct and by this reference makes them a part hereof.
2. That the City Council hereby finds that all potentially significant environmental impacts that may directly or indirectly result from the Project would be reduced to a less-than-significant level by the mitigation measures specified in the MND and MMRP.
3. That the City Council hereby finds that the MND is complete, prepared in compliance with CEQA, and represents the independent judgment of the City Council.
4. That the City Council hereby finds that the MND and MMRP completed for this Project has been completed in compliance with CEQA, and that approval of this project as mitigated will have no significant negative impacts on the area's environmental resources, cumulative or otherwise, as the impacts as mitigated would fall within the environmental thresholds identified by CEQA.
5. That the City Council hereby adopts the MND and MMRP for the Project as required by the CEQA Guidelines (14 Cal. Code of Regs. § 15074).

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6. The City Council hereby designates the Planning Division of the Community Development Department as the location for the documents and other material that constitute the record of proceedings upon which this decision is based, and designates the Director of Community Development as the custodian of records.

7. Effective date. This resolution shall become effective immediately.

I HEREBY CERTIFY THE FOREGOING TO BE A TRUE COPY OF A RESOLUTION PASSED AND ADOPTED BY THE CITY OF SANTA CLARA, CALIFORNIA, AT A REGULAR MEETING THEREOF HELD ON THE 25TH DAY OF JUNE, 2019, BY THE FOLLOWING VOTE:


AYES:	COUNCILORS:	Chahal, Davis, Hardy, Mahan, O'Neill, and Watanabe, and Mayor Gillmor
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NOES:	COUNCILORS:	None
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ABSENT:	COUNCILORS:	None
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ABSTAINED:	COUNCILORS:	None
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ATTEST:



NORA PIMENTEL, MMC
ASSISTANT CITY CLERK
CITY OF SANTA CLARA

Attachments Incorporated by Reference:

1. Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program (MMRP)
2. Responses to Comments Received on the MND
3. Development Plans

**Catalina II Residential Development Mitigated Negative Declaration
and
Mitigation Monitoring and Reporting Program**

<http://santaclaraca.gov/Home/Components/BusinessDirectory/BusinessDirectory/302/3649?alpha=C>



DAVID J. POWERS & ASSOCIATES, INC.

MEMORANDUM

DATE: May 7, 2019

TO: Debby Fernandez, City of Santa Clara

FROM: Amy Wang, Associate Project Manager

SUBJECT: Responses to Comments on the Catalina II Residential Development Project Initial Study for a Mitigated Negative Declaration

I. INTRODUCTION

This memorandum addresses the environmental issues raised in public comments received by the City of Santa Clara on the Initial Study for a Mitigated Negative Declaration (MND) prepared for the proposed Catalina II Residential Development project. The Initial Study was circulated for public review for 30 days, from March 27, 2019 through April 26, 2019. A total of four comment letters were received from four public agencies. The letters are attached to this memorandum in Appendix A. This memorandum iterates comments received from the agencies and provides responses.

II. RESPONSE TO PUBLIC COMMENTS RECEIVED ON THE INITIAL STUDY FOR A MITIGATED NEGATIVE DECLARATION

A. Responses To Comments From California Department Of Transportation (Caltrans) District 4, Dated April 24, 2019

Comment A.1: Encroachment Permit

Please be advised that any work or traffic control that encroaches onto the State ROW requires an encroachment permit that is issued by Caltrans. To obtain an encroachment permit, a completed encroachment permit application, environmental documentation, and six (6) sets of plans clearly indicating the State ROW, and six (6) copies of signed and stamped traffic control plans must be submitted to:

Office of Encroachment Permits, California DOT
District 4, P.O. Box 23660
Oakland, CA 94623-0660.

Response A.1: Caltrans' comments on the encroachment permit process requirement (applicable to the project's utility improvement work on El Camino Real) is noted. No response is required.

Comment A.2: Active Transportation

The Caltrans District 4 Bike Plan (Plan) for the San Francisco Bay Area was developed within the framework of *Toward an Active California*, the California State Bicycle and Pedestrian Plan. This framework includes an overall vision, goals, objectives, and strategies to improve bicycle safety and mobility throughout the State. The District 4 Bike Plan, the first of its kind in the State, evaluates bicycle needs on and across the Bay Area's State transportation network and identifies infrastructure improvements to enhance bicycle safety and mobility and remove some of the barriers to bicycling in the region. This Plan will guide District 4 and its partners to develop an integrated bicycle network for the Bay Area.

Many of the improvements identified in the Plan are conceptual and will require further study and coordination with local jurisdictions and stakeholders. The Plan will be updated regularly as future needs and opportunities are identified and evaluated. Fair Share contributions need to be considered for the project below:

- Provide a Class IV separated bikeway on El Camino Real (Hwy 82) from Lawrence Expressway to I-880 in the City of Santa Clara (Project ID SC-82-C03)

Response A.2: The comment requests a fair-share contribution for installation of Class IV separated bikeway on El Camino Real from Lawrence Expressway to Interstate 880 in the City of Santa Clara, an improvement identified in the Caltrans *District 4 Bike Plan*. The Metropolitan Transportation Commission (MTC) is the transportation planning, coordinating, and financing agency for Santa Clara County, which includes the City of Santa Clara. In order to collect fair-share fees for a transportation improvement, it must be included in a Regional Transportation Plan (RTP) by the MTC to initiate a funding program for the improvement. *Plan Bay Area 2040* is the most current RTP adopted by the MTC. A review of *Plan Bay Area 2040* shows the improvement referenced above is not included in *Plan Bay Area 2040*; therefore, no funding program is in place to collect fair-share fees for this improvement. Furthermore, as discussed in Section 4.16.2(a,f) of the Initial Study (see Page 80), the project would not result in a significant impact to bicycle facilities; therefore, mitigation is not required.

B. Responses To Comments From Native American Heritage Commission, Dated April 11, 2019

Comment B.1: The Native American Heritage Commission (NAHC) has reviewed the Mitigated Negative Declaration prepared for the above referenced project. The review included the Introduction and Project Description; and the Environmental Checklist and Impact Discussion, section 4.5, Cultural Resources and Tribal Cultural Resources, prepared by David J. Powers & Associates, Inc. for the City of Santa Clara. We have the following concern(s):

1. While consultation requirements under AB-52 have technically been met, the NAHC recommends that consultation outreach to the tribes on the NAHC list is consistent with Best Practices. Please refer to: <http://nahc.ca.gov/wp->

Response B.1: As described in Section 4.5.2(e) of the Initial Study (see Page 37), no known tribal cultural resources are known to be present on the site and to date, no tribes have contacted the City to request they be notified of projects pursuant to AB 52. In the event tribal resources are encountered during construction, they would be protected through implementation of mitigation measure MM CUL-1.1 (see Page 36 of the Initial Study). This mitigation measure will reduce impacts to tribal cultural resources, if they are encountered, to a less than significant level.

Comment B.2: 2. Mitigation for inadvertent finds of human remains is incomplete or inaccurate. Please refer to California Public Resources Code § 5097.98 for the process of designating a MLD for human remains determined to be Native American.

Response B.2: Mitigation measure MM CUL-1.2 of the Initial Study (see Page 37) provides that if the County Coroner determines that human remains are of Native American origin, the Coroner will contact the Native American heritage Commission (NAHC) immediately, for an identification of the most likely descendants (MLD). Consistent with California Public Resources Code Section 5097.98, additional clarifying text has been added to the end of MM CUL-1.2 to further describe the MLD process (see Page 5 of this memo).

Comment B.3: 3. Cultural and Tribal Cultural Resource assessments are not documented. These should adequately assess the existence and significance of tribal cultural resources and plan for avoidance, preservation in place, or barring both, mitigation of project-related impacts to tribal cultural resources. The lack of documented resources does not preclude inadvertent finds, which should be addressed in the mitigation measures.

Response B.3: Refer to Response B.1.

C. Santa Clara Valley Transportation Authority, Dated April 26, 2019

Comment C.1: Santa Clara Valley Transportation Authority (VTA) staff have reviewed the Initial Study for 39 townhouses on 1.7 acres on the north side of El Camino Real, 345 feet east of Lincoln Street. We have the following comments.

The El Camino Real Corridor is VTA's highest ridership and most important corridor within Santa Clara County. VTA supports increased development densities located along El Camino Real that create sustainable, walkable and activated places. Focusing increased densities along transit corridors provide options for people to reduce solo driving and improve options for people to walk, bike and take transit.

VTA recognizes that a one-size-fits-all approach isn't always appropriate for designing places. There are, however, consistently applied fundamental principles that work together to enhance transit and create great places. The Catalina project falls short for what is considered viable density for a robust transit corridor such as El Camino Real.

El Camino Real represents one of the greatest opportunities and places in Santa Clara County to create memorable places with an intensity of uses to attract people for work, shop and play. VTA plays a significant role in moving people, and to support transit and the built environment surrounding it. Projects that move forward on El Camino Real should contain significantly higher densities. We look forward to continuing to work with the City of Santa Clara as the El Camino Real Specific Plan progresses to achieve these shared goals of creating great communities that serve not only the needs of City residents and businesses but the region as a whole.

Response C.1: As described in Section 4.10.2(b) of the Initial Study (see Page 59-60), the project site has a General Plan land use designation of *Community Mixed-Use*, which allows a density of 20 to 36 dwelling units/acre [du/ac]. The project is consistent with the General Plan land use designation by redeveloping the 1.7-acre site with 39 townhouse units, resulting in a density of 23 du/ac; therefore, the density proposed is consistent with the City's General Plan and would not result in a land use impact.

D. Santa Clara Valley Water District, Dated April 22, 2019

Comment D.1: The Santa Clara Valley Water District (Valley Water) has reviewed the Mitigated Negative Declaration (MND) for Catalina II Residential Development (APN 224-48-004, -005, -006) dated March 25, 2019. There is no Valley Water right of way or facilities at the project site; therefore, in accordance with Valley Water's Water Resources Protection Ordinance, a Valley Water encroachment permit is not required for the proposed improvements. We appreciate the opportunity to review this document.

Response D.1: No response is required.

Initial Study Text Addition

This section contains an addition to the text of the Catalina II Residential Development Project Initial Study dated March 2019. New language is underlined.

Page 37: **ADD** the following paragraph to the end of MM CUL-1.2:

MM CUL-1.2: In the event that human remains are discovered during excavation and/or grading of the site, all activity within a 50-foot radius of the find shall be stopped. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American origin or whether an investigation into the cause of death is required. If the remains are determined to be Native American, the Coroner shall notify the Native American Heritage Commission (NAHC) immediately. Once NAHC identifies the most likely descendants, the descendants shall make recommendations regarding proper burial, which shall be implemented in accordance with Section 15064.5(e) of the CEQA Guidelines.

The descendants may, with the permission of the owner of the land, or his or her authorized representative, inspect the site of the discovery of the Native American human remains and may recommend to the owner or the person responsible for the excavation work means for treatment or disposition, with appropriate dignity, of the human remains and any associated grave goods. The descendants shall complete their inspection and make recommendations or preferences for treatment within 48 hours of being granted access to the site.

Appendix A: Initial Study Comment Letters

Amy Wang

From: Debby Fernandez <DFernandez@santaclaraca.gov>
Sent: Wednesday, April 24, 2019 9:37 AM
To: Amy Wang
Cc: Stephen E. Schott; Jim Sullivan (jsullivan@d@yahoo.com); Cory Kusich
Subject: FW: Catalina II Residential Project MND GTS #04-SCL-2019-00562 GTS ID 15090

See DOT comments below.

From: Chop, Zachary@DOT <zachary.chop@dot.ca.gov>
Sent: Wednesday, April 24, 2019 9:36 AM
To: Debby Fernandez <DFernandez@santaclaraca.gov>
Cc: Maurice, Patricia@DOT <patricia.maurice@dot.ca.gov>
Subject: Catalina II Residential Project MND GTS #04-SCL-2019-00562 GTS ID 15090

Ms. Fernandez,

Thank you for including Caltrans in the environmental review process for the Catalina II Residential Project MND. Please be advised of our encroachment permitting process, detailed below, as well as our Active Transportation fair share contribution request:

Encroachment Permit

Please be advised that any work or traffic control that encroaches onto the State ROW requires an encroachment permit that is issued by Caltrans. To obtain an encroachment permit, a completed encroachment permit application, environmental documentation, and six (6) sets of plans clearly indicating the State ROW, and six (6) copies of signed and stamped traffic control plans must be submitted to:

Office of Encroachment Permits, California DOT
District 4, P.O. Box 23660
Oakland, CA 94623-0660.

To download the permit application and obtain more information, visit
<http://www.dot.ca.gov/hq/traffops/developserv/permits/>

Active Transportation

The Caltrans District 4 Bike Plan (Plan) for the San Francisco Bay Area was developed within the framework of *Toward an Active California*, the California State Bicycle and Pedestrian Plan. This framework includes an overall vision, goals, objectives, and strategies to improve bicycle safety and mobility throughout the State. The District 4 Bike Plan, the first of its kind in the State, evaluates bicycle needs on and across the Bay Area's State transportation network and identifies infrastructure improvements to enhance bicycle safety and mobility and remove some of the barriers to bicycling in the region. This Plan will guide District 4 and its partners to develop an integrated bicycle network for the Bay Area.

Many of the improvements identified in the Plan are conceptual and will require further study and coordination with local jurisdictions and stakeholders. The Plan will be updated regularly as future needs and opportunities are identified and evaluated. Fair Share contributions need to be considered for the project below:

- Provide a Class IV separated bikeway on El Camino Real (Hwy 82) from Lawrence Expressway to I-880 in the City of Santa Clara (Project ID SC-82-C03)

Thanks!

Zachary Chop
Associate Transportation Planner
Office of System & Regional Planning
Caltrans District 4
111 Grand Ave Oakland Ca 94612
(510) 622-1643

STATE OF CALIFORNIA
NATIVE AMERICAN HERITAGE COMMISSION
Cultural and Environmental Department
1650 Harbor Blvd., Suite 100
West Sacramento, CA 95691
Phone (916) 373-3710
Email: nahc@nahc.ca.gov
Website: <http://www.nahc.ca.gov>



April 11, 2019

Debby Fernandez
City of Santa Clara
1500 Warburton Avenue
Santa Clara, CA 95050

Also sent via e-mail: dfernandez@santaclaraca.gov

RE: SCH# 2019039150, Catalina II Residential Development Project, City of Santa Clara; Santa Clara County, California

Dear Ms. Fernandez:

The Native American Heritage Commission (NAHC) has reviewed the Mitigated Negative Declaration prepared for the above referenced project. The review included the Introduction and Project Description; and the Environmental Checklist and Impact Discussion, section 4.5, Cultural Resources and Tribal Cultural Resources, prepared by David J. Powers & Associates, Inc. for the City of Santa Clara. We have the following concern(s):

1. While consultation requirements under AB-52 have technically been met, the NAHC recommends that consultation outreach to the tribes on the NAHC list is consistent with Best Practices. Please refer to: http://nahc.ca.gov/wp-content/uploads/2015/04/AB52TribalConsultationRequirementsAndBestPractices_Revised_3_9_16.pdf
2. Mitigation for inadvertent finds of human remains is incomplete or inaccurate. Please refer to California Public Resources Code § 5097.98 for the process of designating a MLD for human remains determined to be Native American.
3. Cultural and Tribal Cultural Resource assessments are not documented. These should adequately assess the existence and significance of tribal cultural resources and plan for avoidance, preservation in place, or barring both, mitigation of project-related impacts to tribal cultural resources. **The lack of documented resources does not preclude inadvertent finds**, which should be addressed in the mitigation measures.

Agencies should be aware that AB 52 does not preclude them from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52. For that reason, we urge you to continue to request Native American Tribal Consultation Lists and Sacred Lands File searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>. Additional information regarding AB 52 can be found online at http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf, entitled "Tribal Consultation Under AB 52: Requirements and Best Practices".

The NAHC recommends lead agencies consult with all California Native American tribes that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources.

A brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments is also attached.

If you have any questions, please contact me at my email address: gayle.totton@nahc.ca.gov.

Sincerely,

Gayle Totton

Gayle Totton, B.S., M.A., Ph. D
Associate Governmental Program Analyst

Attachment
cc: State Clearinghouse

The California Environmental Quality Act (CEQA)¹, specifically Public Resources Code §21084.1, states that a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment.² If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an environmental impact report (EIR) shall be prepared.³ In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources with the area of project effect (APE).

CEQA was amended in 2014 by Assembly Bill 52. (AB 52).⁴ **AB 52 applies to any project for which a notice of preparation or a notice of negative declaration or mitigated negative declaration is filed on or after July 1, 2015.** AB 52 created a separate category for "tribal cultural resources"⁵, that now includes "a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment."⁶ Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource.⁷ Your project may also be subject to **Senate Bill 18 (SB 18)** (Burton, Chapter 905, Statutes of 2004), Government Code §65352.3, if it also involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space. **Both SB 18 and AB 52 have tribal consultation requirements.** Additionally, if your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966⁸ may also apply.

Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.

Pertinent Statutory Information:

Under AB 52:

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a **lead agency** shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice.

A **lead agency** shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project.⁹ and **prior to the release of a negative declaration, mitigated negative declaration or environmental impact report.** For purposes of AB 52, "consultation shall have the same meaning as provided in Gov. Code §65352.4 (SB 18)."¹⁰

The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:

- a. Alternatives to the project.
- b. Recommended mitigation measures.
- c. Significant effects.¹¹

1. The following topics are discretionary topics of consultation:

- a. Type of environmental review necessary.
- b. Significance of the tribal cultural resources.
- c. Significance of the project's impacts on tribal cultural resources.

If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency.¹²

With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process **shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code §6254 (r) and §6254.10.** Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public.¹³

If a project may have a significant impact on a tribal cultural resource, **the lead agency's environmental document shall discuss** both of the following:

- a. Whether the proposed project has a significant impact on an identified tribal cultural resource.

¹ Pub. Resources Code § 21000 et seq.

² Pub. Resources Code § 21084.1; Cal. Code Regs., tit.14, § 15064.5 (b); CEQA Guidelines Section 15064.5 (b)

³ Pub. Resources Code § 21080 (d); Cal. Code Regs., tit. 14, § 15064 subd.(a)(1); CEQA Guidelines § 15064 (a)(1)

⁴ Government Code 65352.3

⁵ Pub. Resources Code § 21074

⁶ Pub. Resources Code § 21084.2

⁷ Pub. Resources Code § 21084.3 (a)

⁸ 154 U.S.C. 300101, 36 C.F.R. § 800 et seq.

⁹ Pub. Resources Code § 21080.3.1, subds. (d) and (e)

¹⁰ Pub. Resources Code § 21080.3.1 (b)

¹¹ Pub. Resources Code § 21080.3.2 (a)

¹² Pub. Resources Code § 21080.3.2 (a)

¹³ Pub. Resources Code § 21082.3 (c)(1)

- b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code §21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource.¹⁴

Consultation with a tribe shall be considered concluded when either of the following occurs:

- a. The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or

- b. A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached.¹⁵

Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code §21080.3.2 **shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program**, if determined to avoid or lessen the impact pursuant to Public Resources Code §21082.3, subdivision (b), paragraph 2, and shall be fully enforceable.¹⁶

If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, **the lead agency shall consider feasible mitigation** pursuant to Public Resources Code §21084.3 (b).¹⁷ An environmental impact report **may not be certified**, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:

- a. The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code §21080.3.1 and §21080.3.2 and concluded pursuant to Public Resources Code §21080.3.2.
- b. The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.
- c. The lead agency provided notice of the project to the tribe in compliance with Public Resources Code §21080.3.1 (d) and the tribe failed to request consultation within 30 days.¹⁸

This process should be documented in the Tribal Cultural Resources section of your environmental document.

Under SB 18:

Government Code §65352.3 (a) (1) requires consultation with Native Americans on general plan proposals for the purposes of "preserving or mitigating impacts to places, features, and objects described §5097.9 and §5091.993 of the Public Resources Code that are located within the city or county's jurisdiction. Government Code §65560 (a), (b), and (c) provides for consultation with Native American tribes on the open-space element of a county or city general plan for the purposes of protecting places, features, and objects described in Public Resources Code §5097.9 and §5097.993.

- SB 18 applies to **local governments** and requires them to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. Local governments should consult the Governor's Office of Planning and Research's "Tribal Consultation Guidelines," which can be found online at: https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf
- **Tribal Consultation:** If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a "Tribal Consultation List." If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.¹⁹
- **There is no Statutory Time Limit on Tribal Consultation under the law.**
- **Confidentiality:** Consistent with the guidelines developed and adopted by the Office of Planning and Research,²⁰ the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code §5097.9 and §5097.993 that are within the city's or county's jurisdiction.²¹
- **Conclusion Tribal Consultation:** Consultation should be concluded at the point in which:
 - o The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
 - o Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation.²²

NAHC Recommendations for Cultural Resources Assessments:

- Contact the NAHC for:

¹⁴ Pub. Resources Code § 21082.3 (b)

¹⁵ Pub. Resources Code § 21080.3.2 (b)

¹⁶ Pub. Resources Code § 21082.3 (a)

¹⁷ Pub. Resources Code § 21082.3 (e)

¹⁸ Pub. Resources Code § 21082.3 (d)

¹⁹ (Gov. Code § 65352.3 (a)(2)).

²⁰ pursuant to Gov. Code section 65040.2,

²¹ (Gov. Code § 65352.3 (b)).

²² (Tribal Consultation Guidelines, Governor's Office of Planning and Research (2005) at p. 18).

- o A Sacred Lands File search. Remember that tribes do not always record their sacred sites in the Sacred Lands File, nor are they required to do so. A Sacred Lands File search is not a substitute for consultation with tribes that are traditionally and culturally affiliated with the geographic area of the project's APE.
 - o A Native American Tribal Contact List of appropriate tribes for consultation concerning the project site and to assist in planning for avoidance, preservation in place, or, failing both, mitigation measures.
 - The request form can be found at <http://nahc.ca.gov/resources/forms/>.
- Contact the appropriate regional California Historical Research Information System (CHRIS) Center (http://ohp.parks.ca.gov/?page_id=1068) for an archaeological records search. The records search will determine:
 - o If part or the entire APE has been previously surveyed for cultural resources.
 - o If any known cultural resources have been already been recorded on or adjacent to the APE.
 - o If the probability is low, moderate, or high that cultural resources are located in the APE.
 - o If a survey is required to determine whether previously unrecorded cultural resources are present.
- If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - o The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.
 - o The final written report should be submitted within 3 months after work has been completed to the appropriate regional CHRIS center.

Examples of Mitigation Measures That May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:

- o Avoidance and preservation of the resources in place, including, but not limited to:
 - Planning and construction to avoid the resources and protect the cultural and natural context.
 - Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
- o Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
 - Protecting the cultural character and integrity of the resource.
 - Protecting the traditional use of the resource.
 - Protecting the confidentiality of the resource.
- o Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
- o Please note that a federally recognized California Native American tribe or a non-federally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed.²³
- o Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated.²⁴

The lack of surface evidence of archaeological resources (including tribal cultural resources) does not preclude their subsurface existence.

- o Lead agencies should include in their mitigation and monitoring reporting program plan provisions for the identification and evaluation of inadvertently discovered archaeological resources.²⁵ In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American with knowledge of cultural resources should monitor all ground-disturbing activities.
- o Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the disposition of recovered cultural items that are not burial associated in consultation with culturally affiliated Native Americans.
- o Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the treatment and disposition of inadvertently discovered Native American human remains. Health and Safety Code section 7050.5, Public Resources Code §5097.98, and Cal. Code Regs., tit. 14, §15064.5, subdivisions (d) and (e) (CEQA Guidelines §15064.5, subds. (d) and (e)) address the processes to be followed in the event of an inadvertent discovery of any Native American human remains and associated grave goods in a location other than a dedicated cemetery.

²³ (Civ. Code § 815.3 (c)).

²⁴ (Pub. Resources Code § 5097.991).

²⁵ per Cal. Code Regs., tit. 14, section 15064.5(f) (CEQA Guidelines section 15064.5(f)).



April 26, 2019

City of Santa Clara
Department of Planning
1500 Warburton Avenue
Santa Clara, CA 95050

Attention: Debby Fernandez

Subject: City File No. PLN2018-13609 / Catalina II Residential

Dear Ms. Fernandez:

Santa Clara Valley Transportation Authority (VTA) staff have reviewed the Initial Study for 39 townhouses on 1.7 acres on the north side of El Camino Real, 345 feet east of Lincoln Street. We have the following comments.

The El Camino Real Corridor is VTA's highest ridership and most important corridor within Santa Clara County. VTA supports increased development densities located along El Camino Real that create sustainable, walkable and activated places. Focusing increased densities along transit corridors provide options for people to reduce solo driving and improve options for people to walk, bike and take transit.

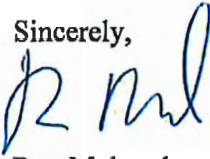
VTA recognizes that a one-size-fits-all approach isn't always appropriate for designing places. There are, however, consistently applied fundamental principles that work together to enhance transit and create great places. The Catalina project falls short for what is considered viable density for a robust transit corridor such as El Camino Real.

El Camino Real represents one of the greatest opportunities and places in Santa Clara County to create memorable places with an intensity of uses to attract people for work, shop and play. VTA plays a significant role in moving people, and to support transit and the built environment surrounding it. Projects that move forward on El Camino Real should contain significantly higher densities. We look forward to continuing to work with the City of Santa Clara as the El Camino Real Specific Plan progresses to achieve these shared goals of creating great communities that serve not only the needs of City residents and businesses but the region as a whole.

City of Santa Clara
April 26, 2019
Page 2

Thank you for the opportunity to review this project. If you have any questions, please call me at (408) 321-5784.

Sincerely,

A handwritten signature in blue ink, appearing to read "R Molseed", is written over the word "Sincerely,".

Roy Molseed
Senior Environmental Planner

SC1902



Clean Water • Healthy Environment • Flood Protection

File: 33913
Guadalupe River

April 22, 2019

Ms. Debby Fernandez
City of Santa Clara
Planning Division
1500 Warburton Avenue
Santa Clara, CA 95050

Subject: Mitigated Negative Declaration for Catalina II Residential Development Project
(APN 224-48-004, -005, -006) – PLN2018-13609, PLN2018-13610 and
CEQ2018-01065

Dear Ms. Fernandez:

The Santa Clara Valley Water District (Valley Water) has reviewed the Mitigated Negative Declaration (MND) for Catalina II Residential Development (APN 224-48-004, -005, -006) dated March 25, 2019.

There is no Valley Water right of way or facilities at the project site; therefore, in accordance with Valley Water's Water Resources Protection Ordinance, a Valley Water encroachment permit is not required for the proposed improvements.

We appreciate the opportunity to review this document. If you have any questions, please contact me at (408) 630-3157 or kthai@valleywater.org.

Sincerely,

A handwritten signature in blue ink that reads "Kevin Thai".

Kevin Thai
Assistant Engineer II
Community Projects Review Unit

cc: U. Chatwani, C. Haggerty, K. Thai, File



SHEET INDEX

CIVIL SHEET - SHEET INDEX

CIVIL PLANS

- C-1 ZONING TENTATIVE MAP
- C-2 EXISTING CONDITIONS PLAN
- C-3 PRELIMINARY SITE PLAN
- C-4 PRELIMINARY GRADE AND DRAINAGE PLAN
- C-5 PRELIMINARY UTILITY PLAN
- C-6 PRELIMINARY UTILITY SECTIONS
- C-7 PRELIMINARY STORMWATER CONTROL PLAN
- C-8 TRIP ACCESS PLAN
- C-9 OPEN SPACE CORRIDOR

JOINT TRENCH PLANS

- J-1 JOINT TRENCH INTENT TITLE SHEET
- J-2 JOINT TRENCH INTENT

LANDSCAPE PLANS

- L-1 ILLUSTRATIVE SITE PLAN
- L-2 ILLUSTRATIVE IMAGES

ARCHITECTURAL PLANS

- A-1A1 BUILDING 2 UNITS A FIRST FLOOR - MODERN FARM
- A-1A2 BUILDING 2 UNITS A SECOND FLOOR - MODERN FARM
- A-1A3 BUILDING 2 UNITS A THIRD FLOOR - MODERN FARM
- A-1A4 BUILDING 2 UNITS A FRONT ELEVATION - MODERN FARM
- A-1A5 BUILDING 2 UNITS A REAR AND SIDE ELEVATIONS - MODERN FARM
- A-1A6 BUILDING 2 UNITS A RETAINED ELEVATION - MODERN FARM
- A-1B1 BUILDING 3 UNITS B FIRST FLOOR - MODERN FARM
- A-1B2 BUILDING 3 UNITS B SECOND FLOOR - MODERN FARM
- A-1B3 BUILDING 3 UNITS B THIRD FLOOR - MODERN FARM
- A-1B4 BUILDING 3 UNITS B FRONT ELEVATION - MODERN FARM
- A-1B5 BUILDING 3 UNITS B REAR AND SIDE ELEVATIONS - MODERN FARM
- A-1B6 BUILDING 3 UNITS B RETAINED ELEVATION - MODERN FARM
- A-1C1 BUILDING 4 UNITS C FIRST FLOOR - MODERN FARM
- A-1C2 BUILDING 4 UNITS C SECOND FLOOR - MODERN FARM
- A-1C3 BUILDING 4 UNITS C THIRD FLOOR - MODERN FARM
- A-1C4 BUILDING 4 UNITS C FRONT ELEVATION - MODERN FARM
- A-1C5 BUILDING 4 UNITS C REAR AND SIDE ELEVATIONS - MODERN FARM
- A-1C6 BUILDING 4 UNITS C RETAINED ELEVATION - MODERN FARM
- A-1D1 BUILDING 5 UNITS D FIRST FLOOR - MODERN FARM
- A-1D2 BUILDING 5 UNITS D SECOND FLOOR - MODERN FARM
- A-1D3 BUILDING 5 UNITS D THIRD FLOOR - MODERN FARM
- A-1D4 BUILDING 5 UNITS D FRONT ELEVATION - MODERN FARM
- A-1D5 BUILDING 5 UNITS D REAR AND SIDE ELEVATIONS - MODERN FARM
- A-1D6 BUILDING 5 UNITS D RETAINED ELEVATION - MODERN FARM
- A-1E1 BUILDING 6 UNITS E FIRST FLOOR - MODERN FARM
- A-1E2 BUILDING 6 UNITS E SECOND FLOOR - MODERN FARM
- A-1E3 BUILDING 6 UNITS E THIRD FLOOR - MODERN FARM
- A-1E4 BUILDING 6 UNITS E FRONT ELEVATION - MODERN FARM
- A-1E5 BUILDING 6 UNITS E REAR AND SIDE ELEVATIONS - MODERN FARM
- A-1E6 BUILDING 6 UNITS E RETAINED ELEVATION - MODERN FARM
- A-1F1 UNIT PLAN 1
- A-1F2 UNIT PLAN 2 - ALTERNATE INTERIOR LAYOUT PLAN
- A-1F3 UNIT PLAN 3
- A-1F4 UNIT PLAN 4 - LAYOUT WORK
- A-1F5 UNIT PLAN 5 - LAYOUT WORK
- A-1F6 UNIT PLAN 6 - LAYOUT WORK
- A-1F7 UNIT PLAN 7 - LAYOUT WORK
- A-1F8 UNIT PLAN 8 - LAYOUT WORK
- A-1F9 UNIT PLAN 9 - LAYOUT WORK
- A-1F10 UNIT PLAN 10 - LAYOUT WORK
- A-1F11 UNIT PLAN 11 - LAYOUT WORK
- A-1F12 UNIT PLAN 12 - LAYOUT WORK
- A-1F13 UNIT PLAN 13 - LAYOUT WORK
- A-1F14 UNIT PLAN 14 - LAYOUT WORK
- A-1F15 UNIT PLAN 15 - LAYOUT WORK
- A-1F16 UNIT PLAN 16 - LAYOUT WORK
- A-1F17 UNIT PLAN 17 - LAYOUT WORK
- A-1F18 UNIT PLAN 18 - LAYOUT WORK
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- A-1F20 UNIT PLAN 20 - LAYOUT WORK
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- A-1F98 UNIT PLAN 98 - LAYOUT WORK
- A-1F99 UNIT PLAN 99 - LAYOUT WORK
- A-1F100 UNIT PLAN 100 - LAYOUT WORK



DEVELOPER

SCS DEVELOPMENT COMPANY
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA 95050
(408) 985-6022
CONTACT: CORY KUSICH

CIVIL ENGINEER

CARLSON, BARBEE & GIBSON INC.
2633 CAMINO RAMON
SAN RAMON, CA 94582
(925) 866-0322
CONTACT: COLT ALVERNAZ, PE

LANDSCAPE ARCHITECT

RANDALL PLANNING AND DESIGN, INC.
119 POPPY COURT
WALNUT CREEK, CA 94596
(510) 934-8002
CONTACT: FRED PRICE

ARCHITECT

DANIELIAN ASSOCIATES
60 CORPORATE PARK
IRVINE, CA 92606
(949) 474-6030
CONTACT: VICTOR ALVAREZ

FEBRUARY 2019



SCS Development Company

DANIELIAN
ASSOCIATES
architects ■ planners

CATALINA II

1433, 1453, 1463, 1483 & 1493

EL CAMINO REAL

ZONING CHANGE, TENTATIVE MAP AND

ARCHITECTURAL PLAN REVIEW

SANTA CLARA, CALIFORNIA



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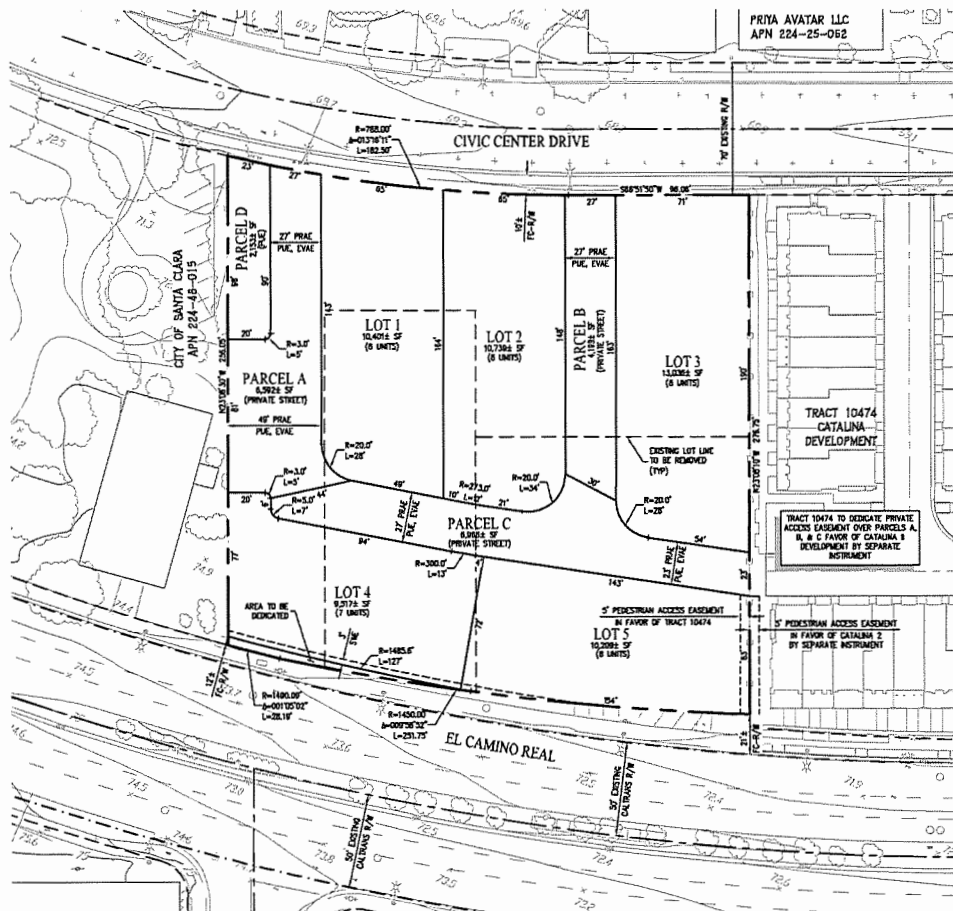
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SACRAMENTO • (916) 375-1877
WWW.CBANDG.COM



RANDALL PLANNING & DESIGN INC.
Landscape Architecture • Golf Facilities
Site and Environmental Planning
1475 N. Broadway Suite 200
Walnut Creek, California 94596
Office: (925) 934-8002
Facsimile: (925) 934-8033

GENERAL NOTES

- ASSESSORS PARCEL NO. 224-049-004, -005, AND -006
- SITE AREA: CROSS 1.704 ACRES
NET 1.589 ACRES
- LOTS: RESIDENTIAL 3 (LOTS 1-5), PRIVATE ROADWAY CIRCULATION 3
WATER QUALITY 1
- DWELLING UNITS: 30
- SITE DENSITY: 22.94 DU/AC (GROSS)
23.06 DU/AC (NET)
- EXISTING GENERAL PLAN: COMMUNITY MIXED USE
PROPOSED GENERAL PLAN: COMMUNITY MIXED USE
- EXISTING ZONING: THORNDYKE/FAIR COMMERCIAL (CT)
PROPOSED ZONING: PLANNED DEVELOPMENT (PD)
- EXISTING LAND USE: COMMERCIAL/OPEN SPACE
PROPOSED LAND USE: RESIDENTIAL/LINE WORK
- REMARKS: CITY OF SANTA CLARA (C-1)
EL CAMINO REAL & MADRIDE ST. NORTHWEST CORNER, CHIEFED CROSS ON TOP
OF SOUTHEAST BOLT OF TRAFFIC SIGNAL POLE BASE, (RESET 1997)
- BASES OF BEARINGS: MONUMENT LINE, "B-LINE" OF EL CAMINO REAL TAKEN AS WHOLEY PER THE
RECORD OF SURVEY OF THE RIGHT OF WAY ALONG ROUTE 82 AT POST MILES
11.3-12.3, BEING, RECORDED IN BOOK 736 PAGE 37, SANTA CLARA RECORDS
- EXISTING STRUCTURES: ALL EXISTING BUILDINGS, PAVEMENT, AND TREES WITHIN THE PROJECT
BOUNDARY TO BE REMOVED.
- EXISTING UTILITIES: EXISTING UTILITIES WITHIN BOUNDARY TO BE REMOVED AS NOTED.
- STREETS: ALL DRIVE ALLEYS WITHIN THE PROJECT WILL BE PRIVATE AND WILL BE
PRIVATELY MAINTAINED. (MINIMUM LONGITUDINAL SLOPE=0.3%)
- TREES: STREET TREES WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS.
- STREET LIGHTS: STREET LIGHTS WILL BE INSTALLED PER THE CITY OF SANTA CLARA STANDARDS
(OR APPROVED EQUALS).
- WALLS: ALL WALLS WILL BE PRIVATELY OWNED AND PRIVATELY MAINTAINED.
- PRIVATE UTILITIES: PROPOSED STORM DRAIN, SEWER AND WATER FACILITIES WILL BE PRIVATE
FACILITIES AND WILL BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S
ASSOCIATION.
- LANDSCAPING: ALL LANDSCAPING WITHIN PROJECT BOUNDARY WILL BE PRIVATELY OWNED AND
MAINTAINED.
- FLOOD ZONE: ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE
RATE MAP, MAP NUMBER 0806000227H
DATE: MAY 16, 2009
- WELLS SHOT: NONE
- UTILITIES: PRIVATE
WATER: PRIVATE
SEWER: PRIVATE
STORM DRAIN: PRIVATE
GAS: SUGION VALLEY POWER
ELECTRIC: SUGION VALLEY POWER
TELEPHONE: CABLE TV
CABLE TV: CABLE TV
CABLE TV: CABLE TV
- PHASING: PROJECT MAY BE CONSTRUCTED IN PHASES
- DISPOSITIONS: ALL DISPOSITIONS ARE PRELIMINARY AND SUBJECT TO FINAL MAP
- CONDOMINIUM MAP: A CONDOMINIUM MAP WILL BE REQUIRED FOR THE RESIDENTIAL LOTS. THE
SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTIONS 4125 AND
4126 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO
THE SUBDIVISION MAP ACT.



VICINITY MAP
NOT TO SCALE

CONTACTS:

- OWNER/DEVELOPER: 523 DEVELOPMENT
404 SARATOGA AVENUE, SUITE 100
SANTA CLARA, CA 95050
(408) 985-0020
CITY 00204
- ENGINEER: CARLSON, BARRETT & DESIGN, INC.
2533 CAMINO RAMON, SUITE 330
SAN RAMON, CALIFORNIA 94583
(925) 856-0322
CITY 00204
- SOILS ENGINEER: QUANTUM GEOTECHNICAL, INC.
1008 SAN Geronimo AVE, SUITE B
SAN JOSE, CA 95119
(408) 620-3022
SARON MARDESSA, P.E., C.E., G.E.

ABBREVIATIONS

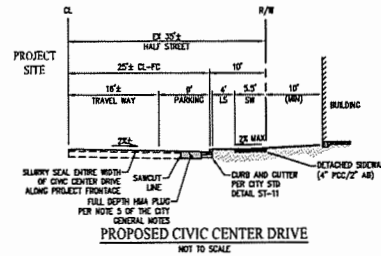
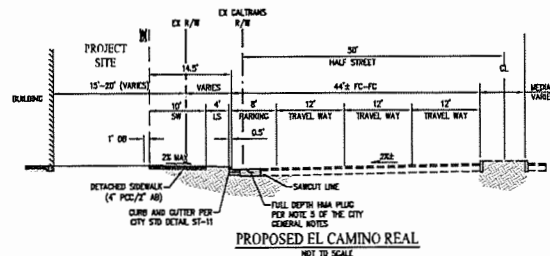
BD	BOUNDARY
CL	CONTOUR LINE
DU	DWELLING UNIT
EAC	EMERGENCY VEHICLE ACCESS EASEMENT
FC	FACE OF CURB
HOA	HOMEOWNERS ASSOCIATION
L	LENGTH
LS	LANDSCAPE
PL	PROPERTY LINE
PRAC	PRIVATE ACCESS EASEMENT IN FAVOR OF TRACT 1047
PRAC	PRIVATE ACCESS EASEMENT IN FAVOR OF TRACT 1047
R	RADIUS
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
SW	SEWER
SNE	SEWER EASEMENT
UCL	UNDERGROUND ELECTRICAL EASEMENT

LEGEND

PROPOSED	DESCRIPTION
---	BOUNDARY
---	EASEMENT
---	PROPERTY LINE
---	RIGHT-OF-WAY

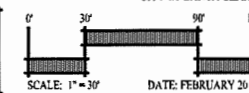
SHEET INDEX

Sheet Number	Sheet Title
C-1	VESTING TENTATIVE MAP
C-2	EXISTING CONDITIONS PLAN
C-3	PRELIMINARY SITE PLAN
C-4	PRELIMINARY GRADING AND DRAINAGE PLAN
C-5	PRELIMINARY UTILITY PLAN
C-6	SECTIONS
C-7	PRELIMINARY STORMWATER CONTROL PLAN
C-8	FIRE ACCESS PLAN
C-9	OPEN SPACE EXHIBIT



VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES CATALINA II

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

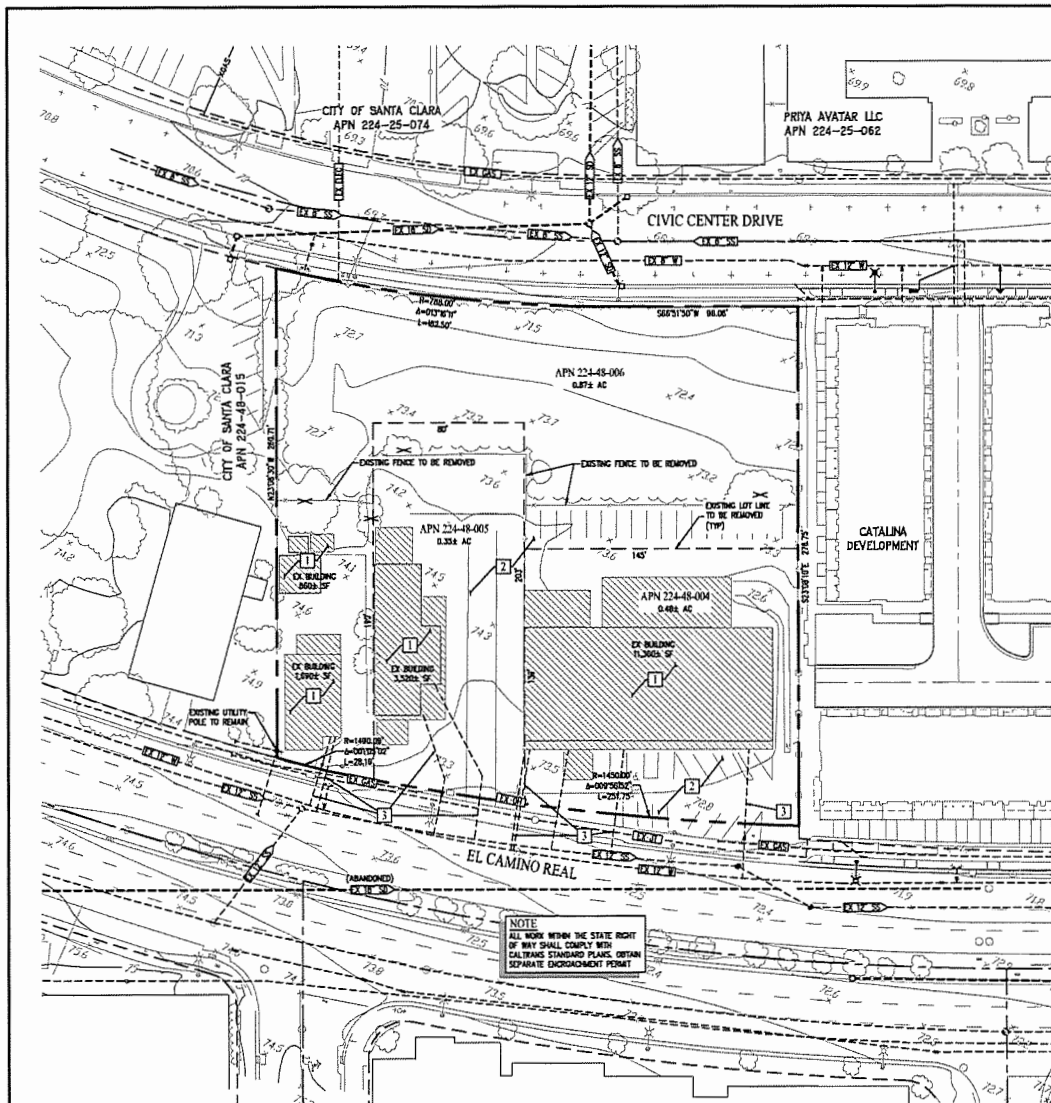


DATE: FEBRUARY 2014



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SHEET NO.
C-1



LEGEND

---	PROJECT BOUNDARY
- - -	EASEMENT
□	CATCH BASIN
△	FIRE HYDRANT
○	MANHOLE
⊙	STREET LIGHT
---	STORM DRAIN
---	SANITARY SEWER
---	WATER LINE
---	GAS
---	OVERHEAD LINE
▨	EXISTING BUILDING TO BE DEMOLISHED
⊗	EXISTING TREE TO BE REMOVED

ABBREVIATIONS

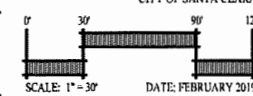
EX	EXISTING
JT	JOINT TRENCH
OH	OVERHEAD
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER

DEMOLITION NOTES

NOTE	DESCRIPTION
1	REMOVE EXISTING BUILDING STRUCTURE AND FOUNDATION
2	REMOVE EXISTING ASPHALT CONCRETE AND PARKING LOT CURB AND GUTTER
3	REMOVE EXISTING SERVICE/LATERAL

EXISTING CONDITIONS PLAN CATALINA II

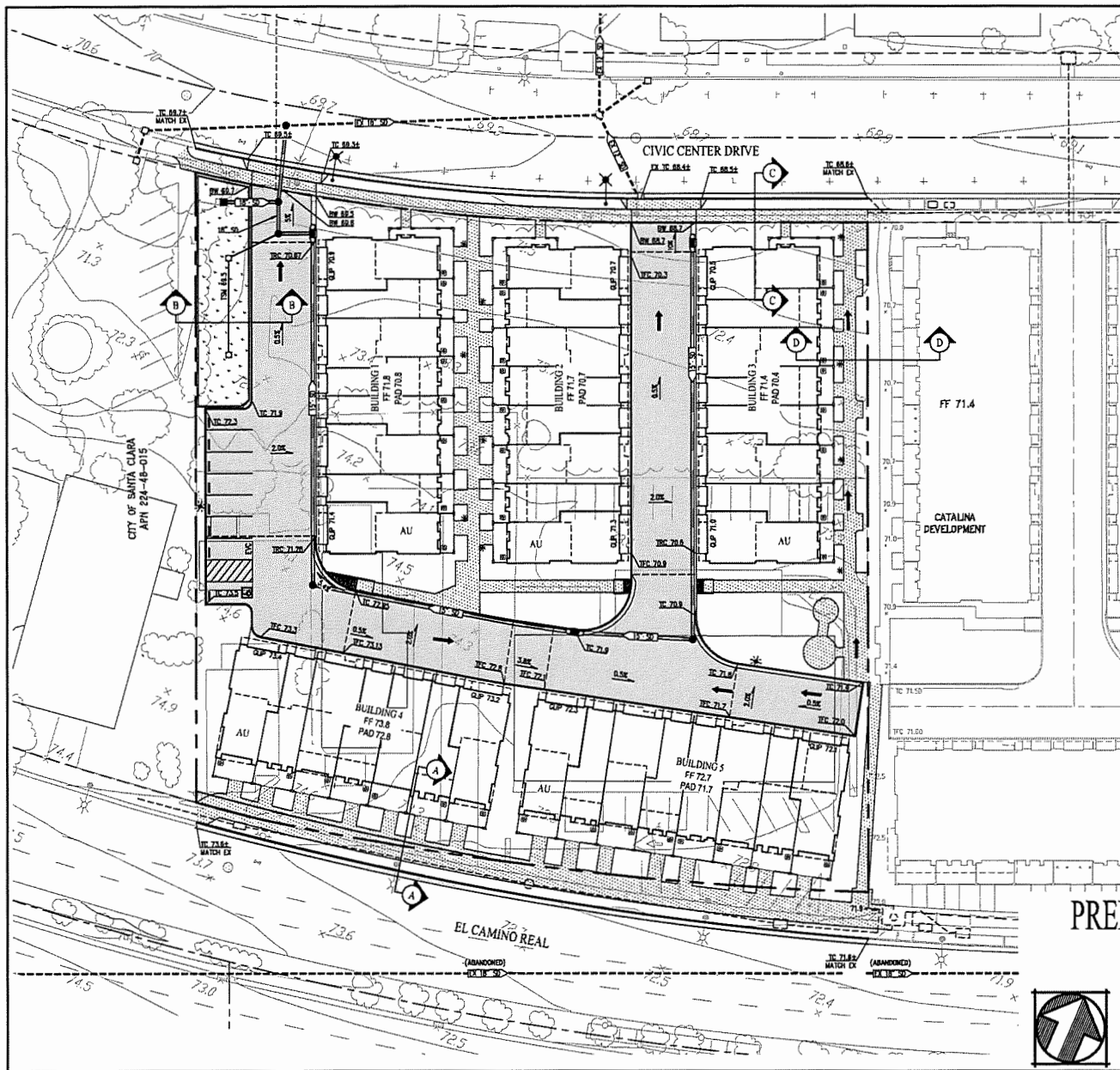
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



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SHEET NO.
C-2

137324046CATALINA2.DWG

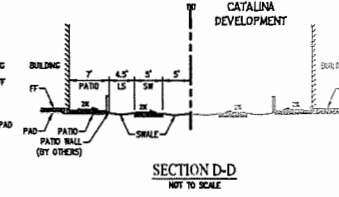
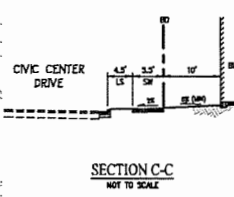
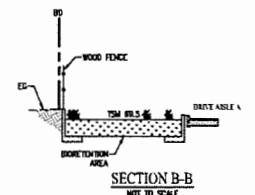
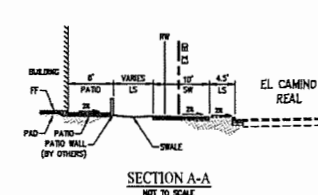


100-YEAR STORM EVENT
ALL GRADE ELEVATIONS ARE ABOVE THE
OVERLAND RELEASE ELEVATIONS. THE
ONLY DITCH FLOWING WILL BE
CONTAINED WITHIN THE DRAINAGE
BASIN.

EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		SIDEWALK AND TOP OF CURB
		INBREEDING AREA
		OVERLAND RELEASE
		PERMETER WALL ONLY
		WOOD FENCE ONLY
		WOOD FENCE ON RETAINING WALL

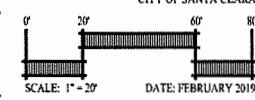
ABBREVIATIONS

BO	BACK OF REVEALED CURB
BO	BOUNDARY
EG	EXISTING GRADE
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
CLP	GARAGE LIFT
LS	LANDSCAPE
RS	RIGHT OF WAY
SW	SEWER
TC	TOP OF CURB
TTC	TOP OF FLUSH CURB
TSW	TOP OF SOIL, MAX



PRELIMINARY GRADING AND DRAINAGE PLAN

CATALINA II



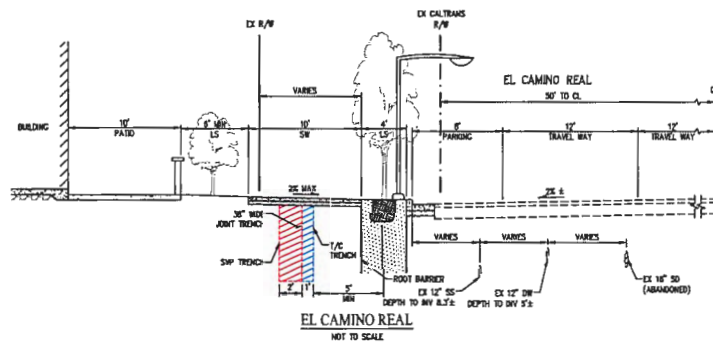
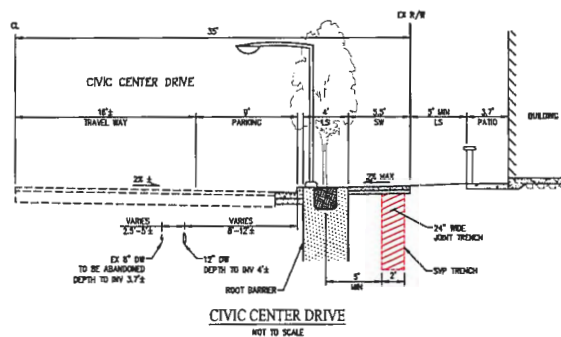
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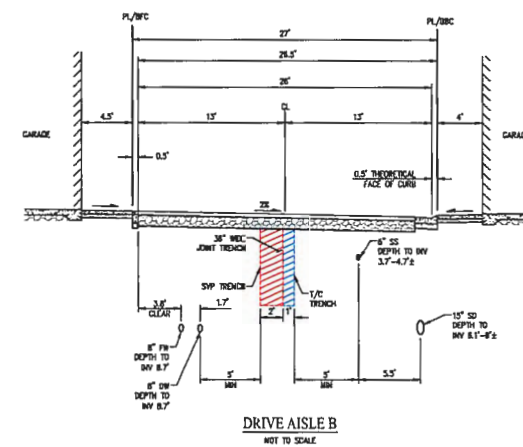
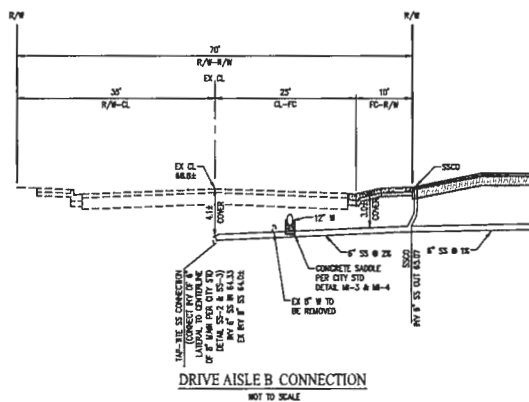
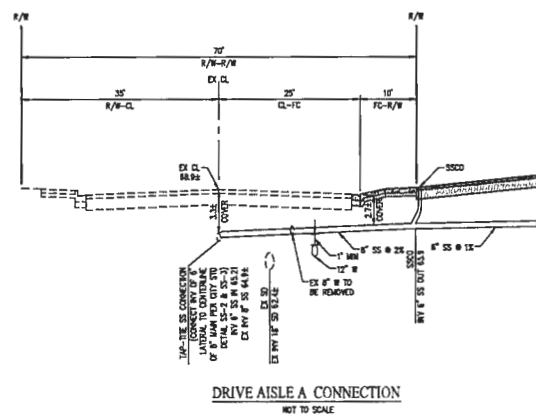
SHEET NO.
C-4

DATE: FEBRUARY 2019



ABBREVIATIONS

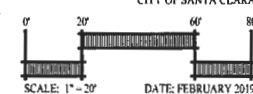
BBC	BACK OF BICYCLED CURB
BFC	BACK OF FLUSH CURB
CL	CENTERLINE
DM	DOMESTIC WATER
DX	EXISTING
FC	FACE OF CURB
FW	FIRE WATER
INV	INVERT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
PL	PROPERTY LINE
R/W	RIGHT-OF-WAY
SSCO	SANITARY SEWER CLEAMOUT
SS	SANITARY SEWER
SW	SIDEWALK
W	WATER



PRELIMINARY UTILITY SECTIONS

CATALINA II

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



DATE: FEBRUARY 2019



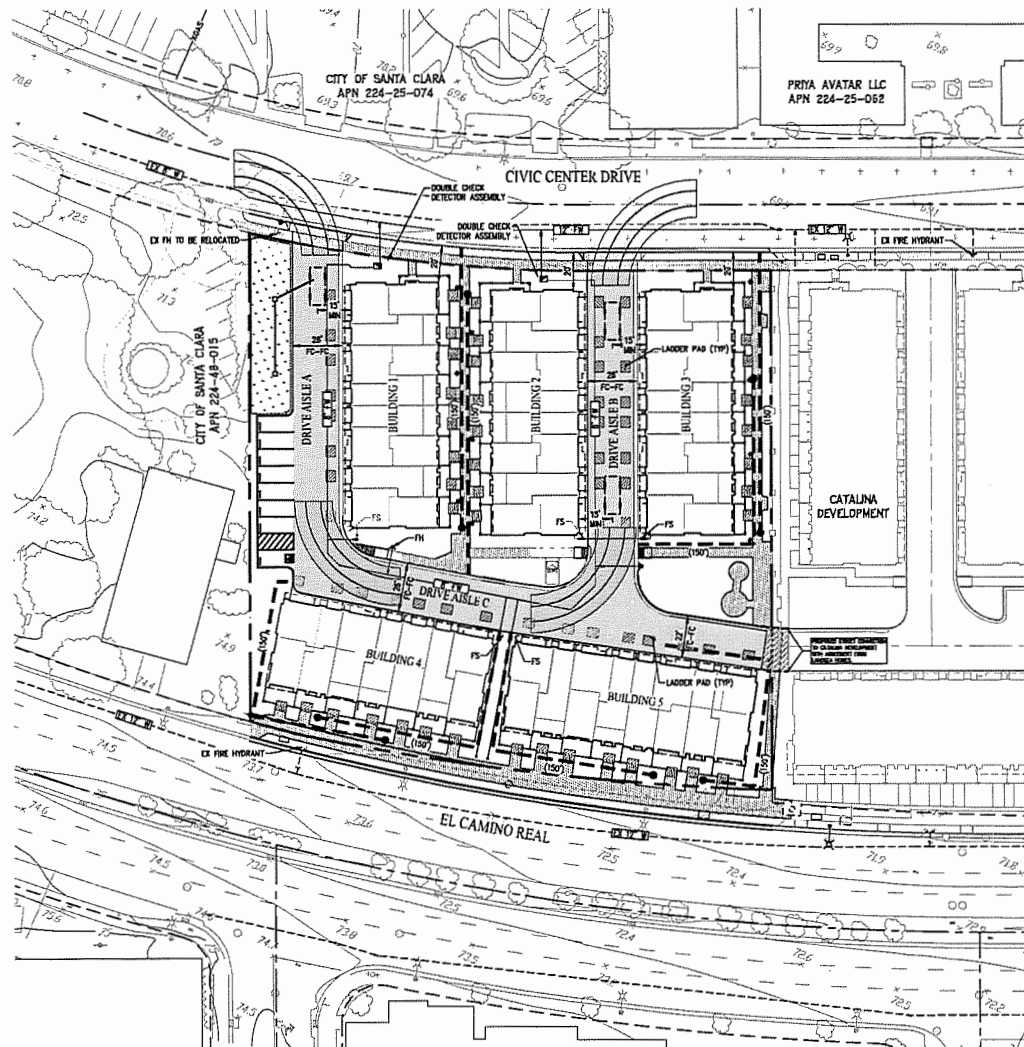
CIVIL ENGINEER:

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SHEET NO.
C-6

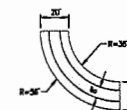
11



EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		FIRE AERIAL APPARATUS ACCESS ROAD
		5' X 6' LADDER PAD
		FIRE HYDRANT
		FIRE AERIAL APPARATUS ACCESS (MINIMUM ONE PARALLEL FIRE PER THE CA FIRE CODE, APPENDIX D SECTION 0105.3)
		FIRE DEPARTMENT HOSE REACH FROM APPARATUS ACCESS ROAD (100' MAX)

FIRE FLOW NOTES:

- BUILDING CONSTRUCTION TYPE: TYPE IV
- MAXIMUM BUILDING SQUARE FOOTAGE: 18,490 SF
- REQUIRED FIRE FLOW PER CFC, APPENDIX B: 2,000 GPM
- AVAILABLE FIRE FLOW AT PROJECT SITE: 2,340 GPM (PER FIRE FLOW TEST #022)
- MINIMUM NUMBER OF HYDRANTS: 2
- AVERAGE HYDRANT SPACING: 450 FEET
- PROJECT TO PROVIDE INCREASED NUMBER OF FIRE SPRINKLER HEADS OR OTHER APPROVED ALTERNATIVE.

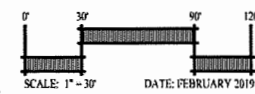


FIRE TRUCK TURNING TEMPLATE

NOT TO SCALE

FIRE ACCESS PLAN CATALINA II

CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA



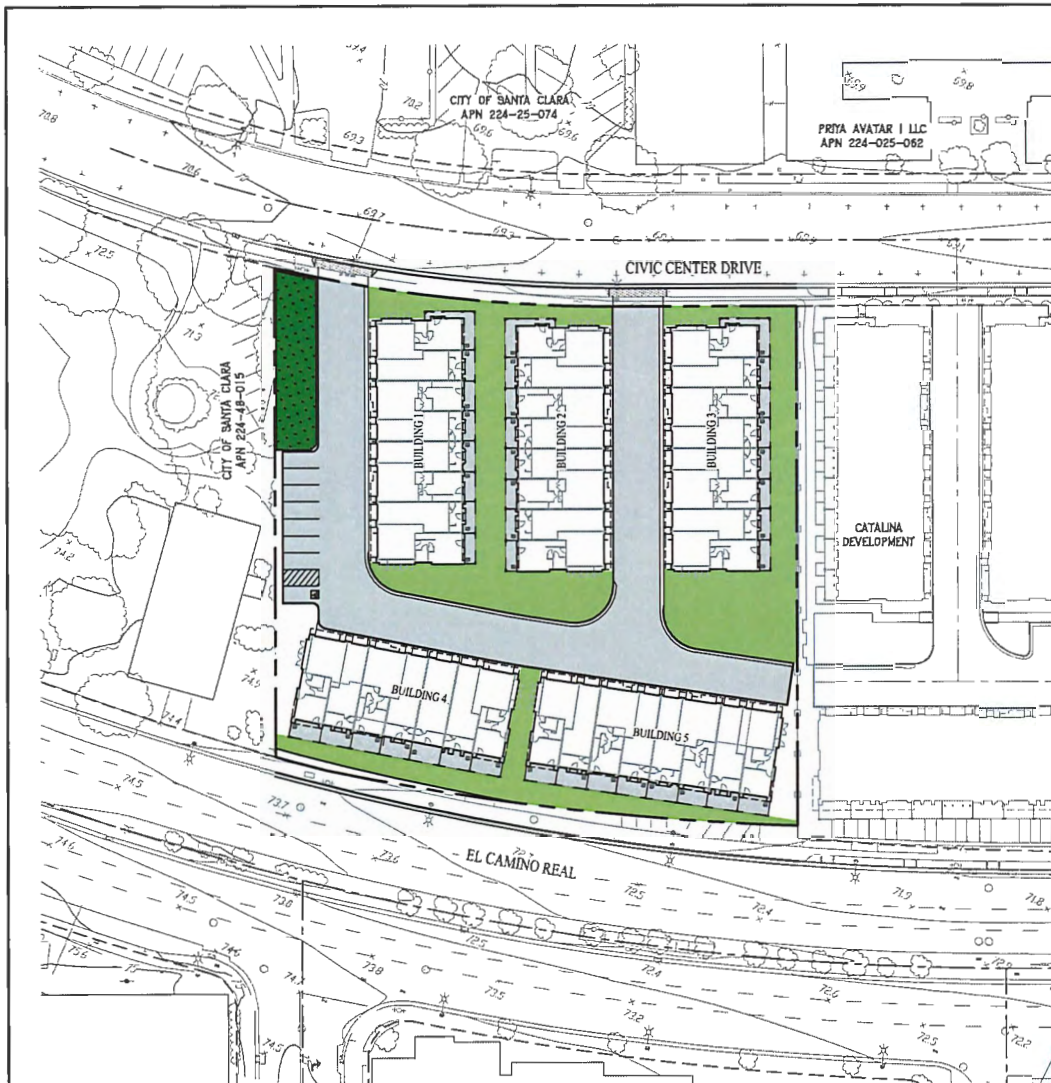
DATE: FEBRUARY 2019



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SHEET NO.
C-8

1/17/2019 10:41 AM



LEGEND:

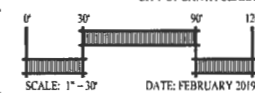
- PROJECT BOUNDARY
- PROPOSED FACE OF CURB
- PROPOSED CENTERLINE
- ADJACENT PARCEL BOUNDARY
- PAVEMENT
- COMMON OPEN SPACE
- BIORETENTION
- PRIVATE PORCH

OPEN SPACE SUMMARY

PROVIDED COMMON OPEN SPACE	14,780 SF
----------------------------	-----------

OPEN SPACE EXHIBIT CATALINA II

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SHEET NO.
C-9

JOINT TRENCH INTENT

CATAPUNA II
1483 & 1493 EL CAMINO REAL
RA
CALIFORNIA

GIACALONE
DESIGN SERVICES, INC.

PROJECT MANAGER:
B. FULLINGTON

DRAWN BY:
KSC

CHECKED BY:
DAVID CROWFOOT

SCALE:
1"=20'

JOB NUMBER:
18-210

DATE LAST MODIFIED:
02-20-18

SHEET
INT2
OF 2 SHEETS

INT2

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

NOTE TO UTILITIES:
PLEASE INDICATE TIE-IN
POINTS ON INTENT RESPONSE

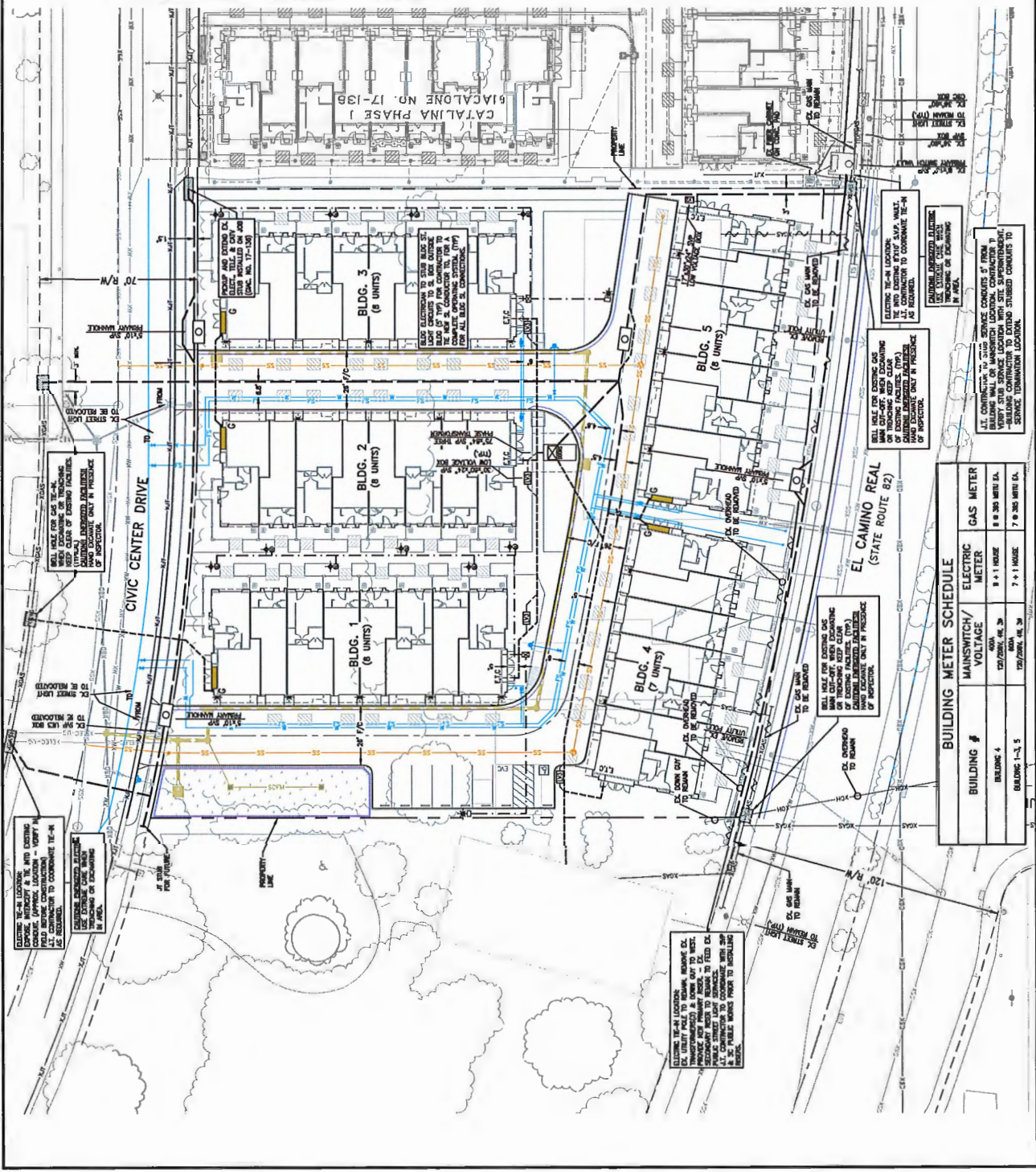
NOTE

PLEASE VERIFY THAT THE SERVICE POINTS IN THIS DRAWING MATCH YOUR DESIGN. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE PROJECT MANAGER IN OUR OFFICE.



LEGEND

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|----|----|----|------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13</ | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



BUILDING METER SCHEDULE			
BUILDING #	MAINSWITCH/ VOLTAGE	ELECTRIC METER	GAS METER
BUILDING 4	400A 120/208V, 60 3P	1 + 1 HOUSE	0 0 300 METU EA.
BUILDING 1-3, 5	800A 120/208V, 60 3P	7 + 1 HOUSE	7 0 300 METU EA.

TREES



CRAP MYRTLE



LITTLE LEAF LINDEN



PURPLE LEAF PLUM



CHINESE PISTACHE



CALLERY PEAR



BLOODGOOD JAPANESE MAPLE

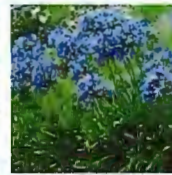
TYPICAL SHRUBS AND PERENNIALS



DAYLILIES



LOROPETALUM



AGAPANTHUS



ROSES



RHAPHIOLEPIS



ROSEMARY

PAVING AND WALLS



PERMEABLE PAVING



LOW WALL AT PATIO



STORMWATER TREATMENT



BIORETENTION AREA

ENTRY FEATURES



GANG MAILBOX



SITE FURNISHINGS



BENCH



BARBECUE



ACCESSIBLE TABLE

Illustrative Images

CATALINA II SCS DEVELOPMENT

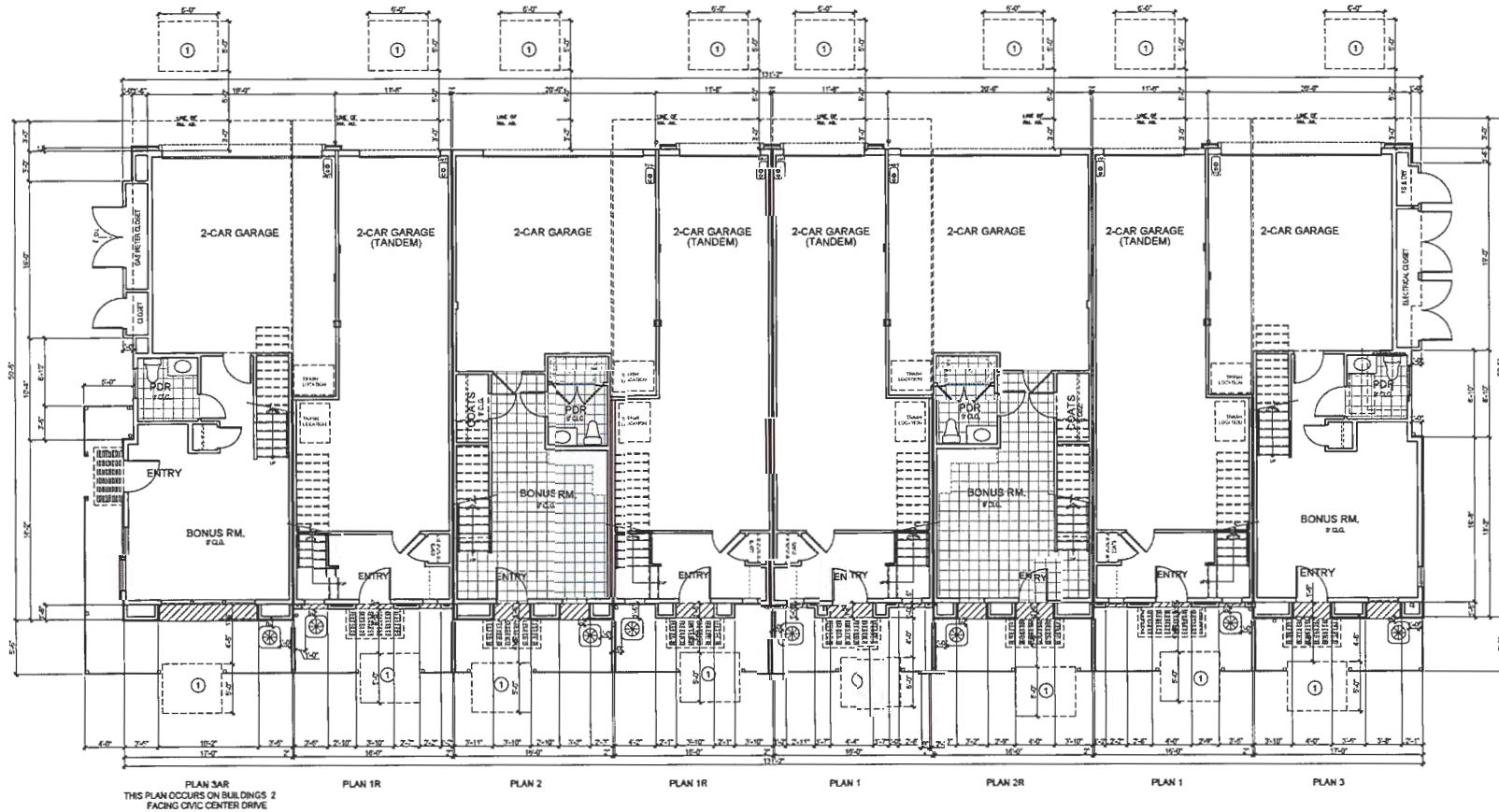
CITY OF SANTA CLARA SANTA CLARA COUNTY CALIFORNIA

FEBRUARY 19, 2019



RANDALL PLANNING & DESIGN, INC.
Landscape Architecture • Golf Facilities
Site and Environmental Planning
119 Paseo Padre Parkway, Suite 100, Fremont, CA 94539
Office: (925) 706-0000 • Fax: (925) 706-0001

SHEET NUMBER
L-2



KEYNOTE:

- ① FIRE DEPT. LADDER PAD 5'X5' CENTERED WITH EGRESS WINDOW ABOVE STANDARD, LADDER SET-UP SHALL NOT BE OBSTRUCTED BY ARCH. FEATURES, FENCING, TREES, LANDSCAPE, PLANTERS OR OTHER OBSTRUCTIONS, REFER TO SHEET A-F1 FOR CITY OF SANTA CLARA FIRE DEPARTMENT LADDER PAD REQUIREMENTS. LADDER PAD POSITION IS BASED ON THE EGRESS WINDOW LOCATED ON THE THIRD FLOOR OF EACH UNIT.

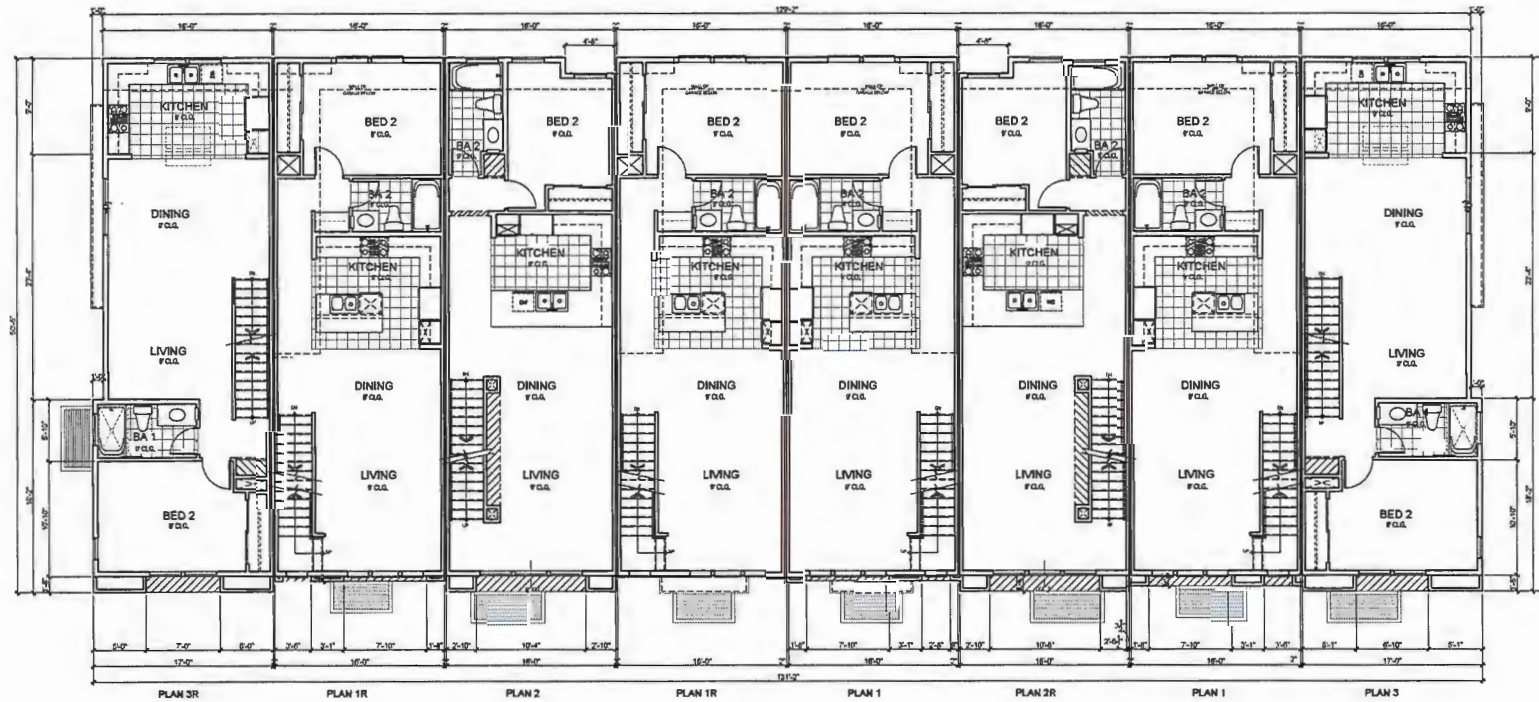
SCALE: 3/16" = 1'-0"
FIRST FLOOR

CATALINA II
SCS DEVELOPMENT CO.
SANTA CLARA, CALIFORNIA

BLDG 2_8- PLEX A FIRST FLOOR PLAN
MODERN FARM

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A-81A
18111.00

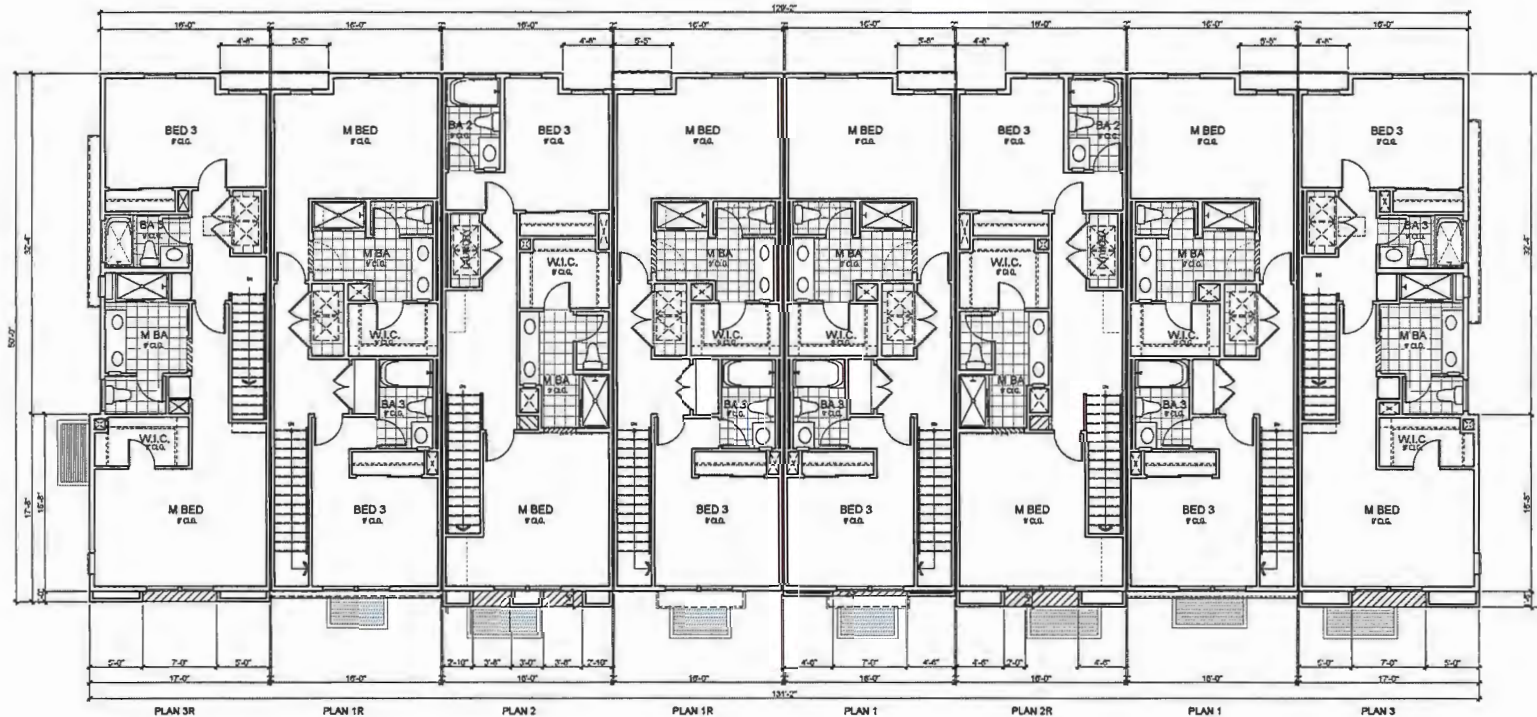


SCALE: 3/16" = 1'-0"
SECOND FLOOR

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BLDG 2_8- PLEX A SECOND FLOOR PLAN
MODERN FARM

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SCALE: 3/16" = 1'-0"
THIRD FLOOR

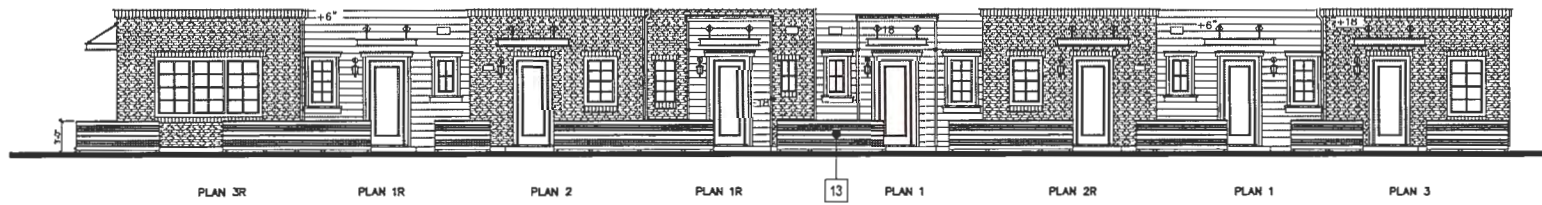
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BLDG 2_8- PLEX A THIRD FLOOR PLAN
MODERN FARM

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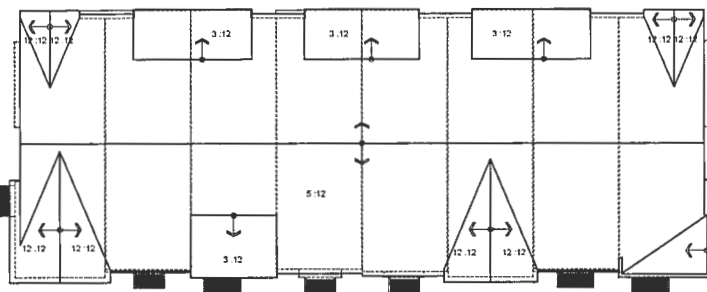
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN AT A MINIMUM OF 6" WITH A COLOR CONTRASTING WITH BACKGROUND MATERIAL
11. BUILDING ADDRESS SIGN
12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTITIOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



ROOF PLAN
SCALE: 3/32" = 1'-0"

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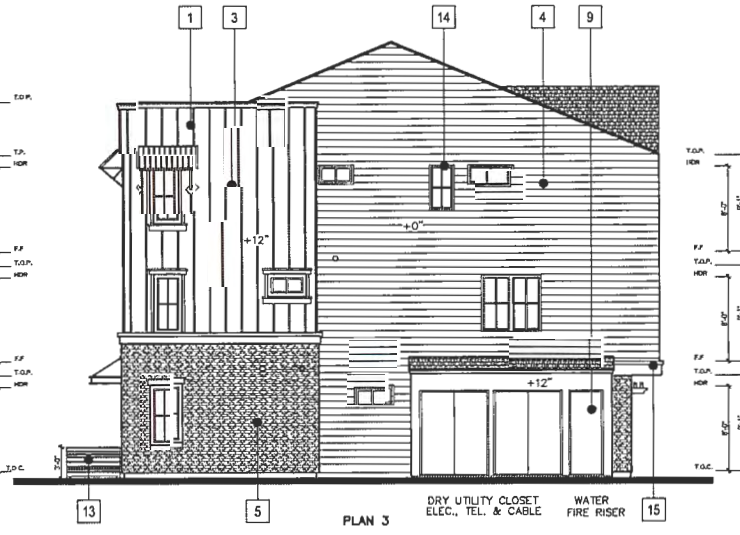
BLDG 2_8 - PLEX A FRONT ELEVATION
MODERN FARM

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A-84A



MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
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9. SERVICE DOORS
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15. CEMENTATION TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



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SANTA CLARA, CALIFORNIA

BLDG 2_8- PLEX A REAR AND SIDE ELEVATIONS
MODERN FARM

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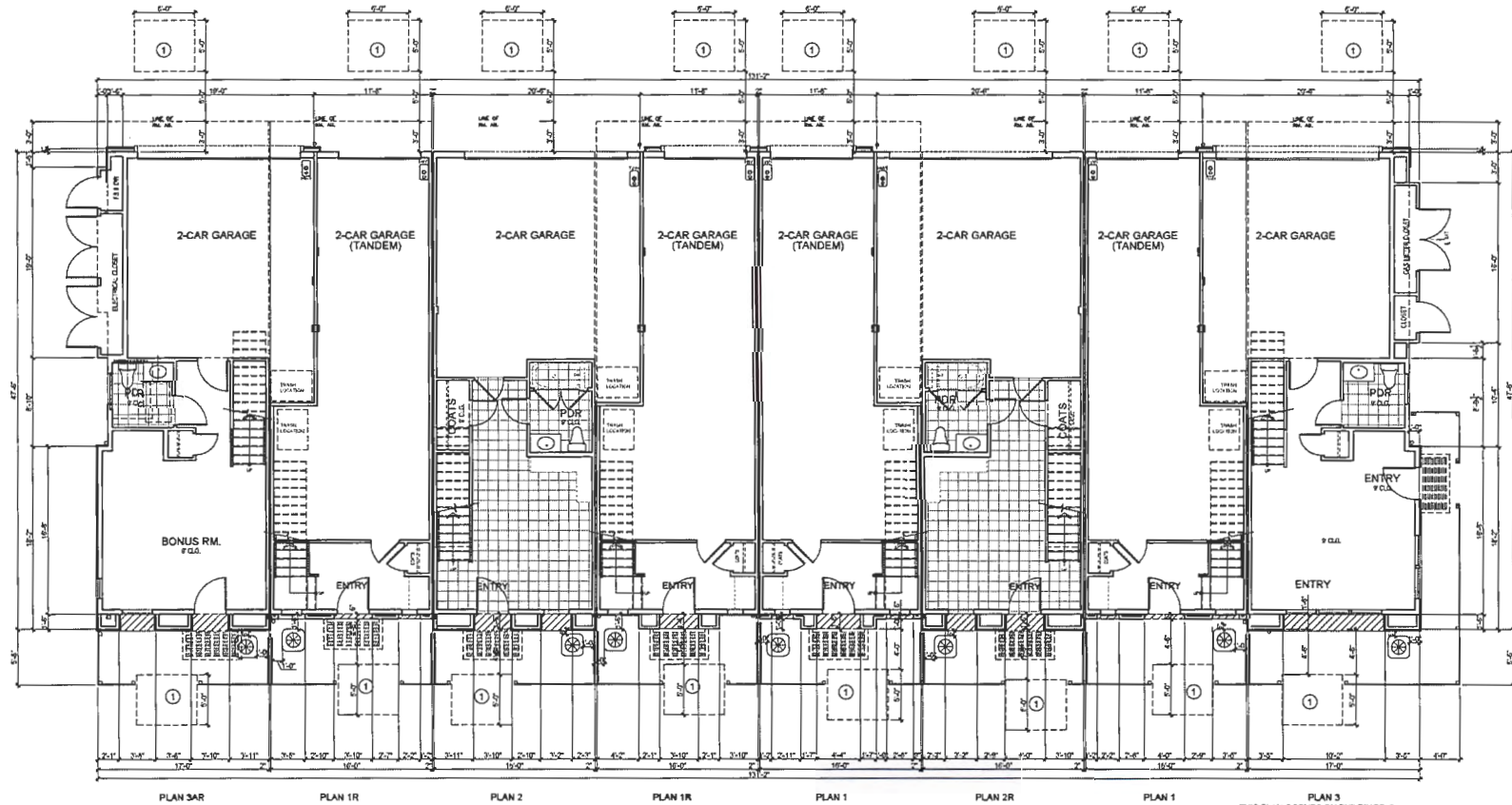
PLAN 3

FRONT ELEVATION

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BLDG 2_8 - PLEX A RENDERED ELEVATION
MODERN FARM

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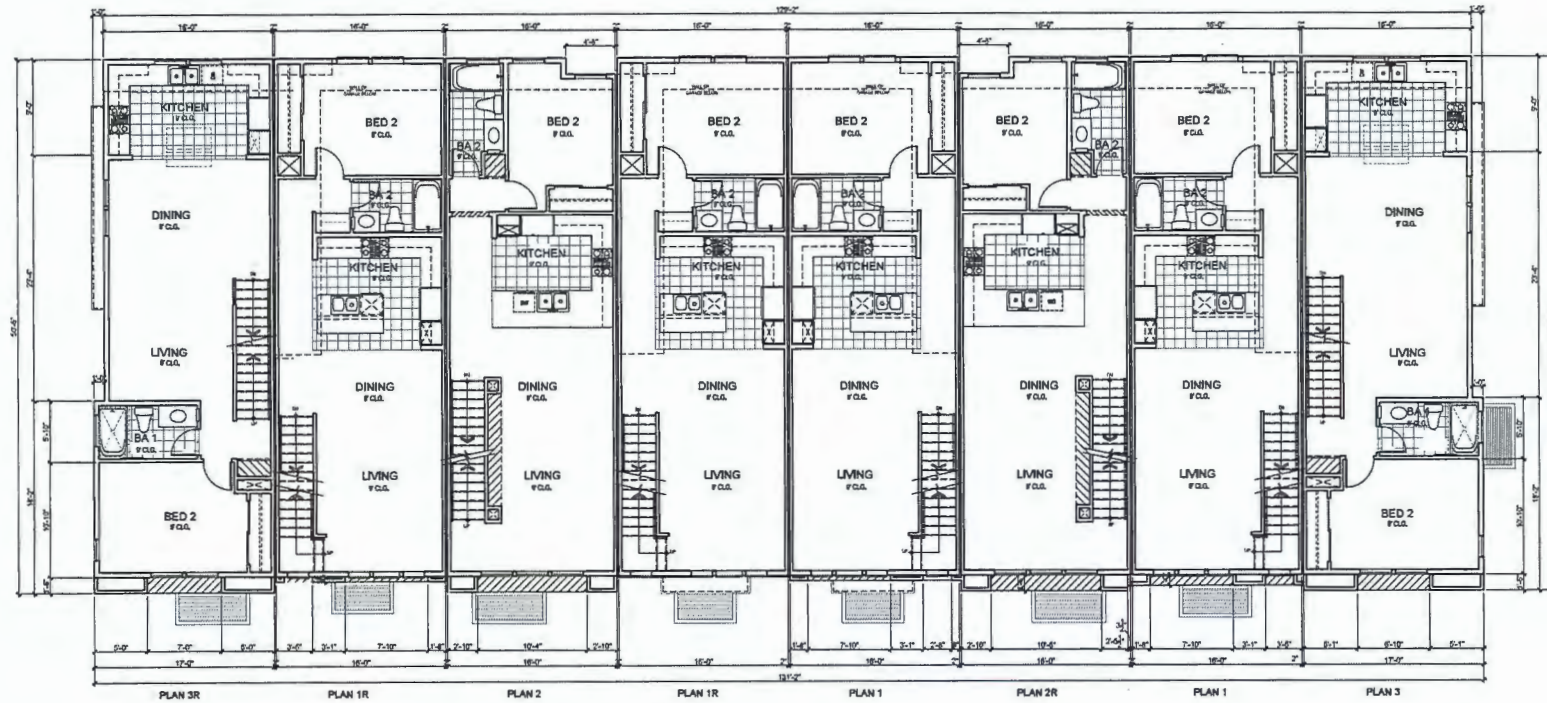


SCALE: 3/16" = 1'-0"
FIRST FLOOR

CATALINA II
SCS DEVELOPMENT CO.
SANTA CLARA, CALIFORNIA

BLDGS 1&3_8 - PLEX B FIRST FLOOR PLAN
MODERN FARM

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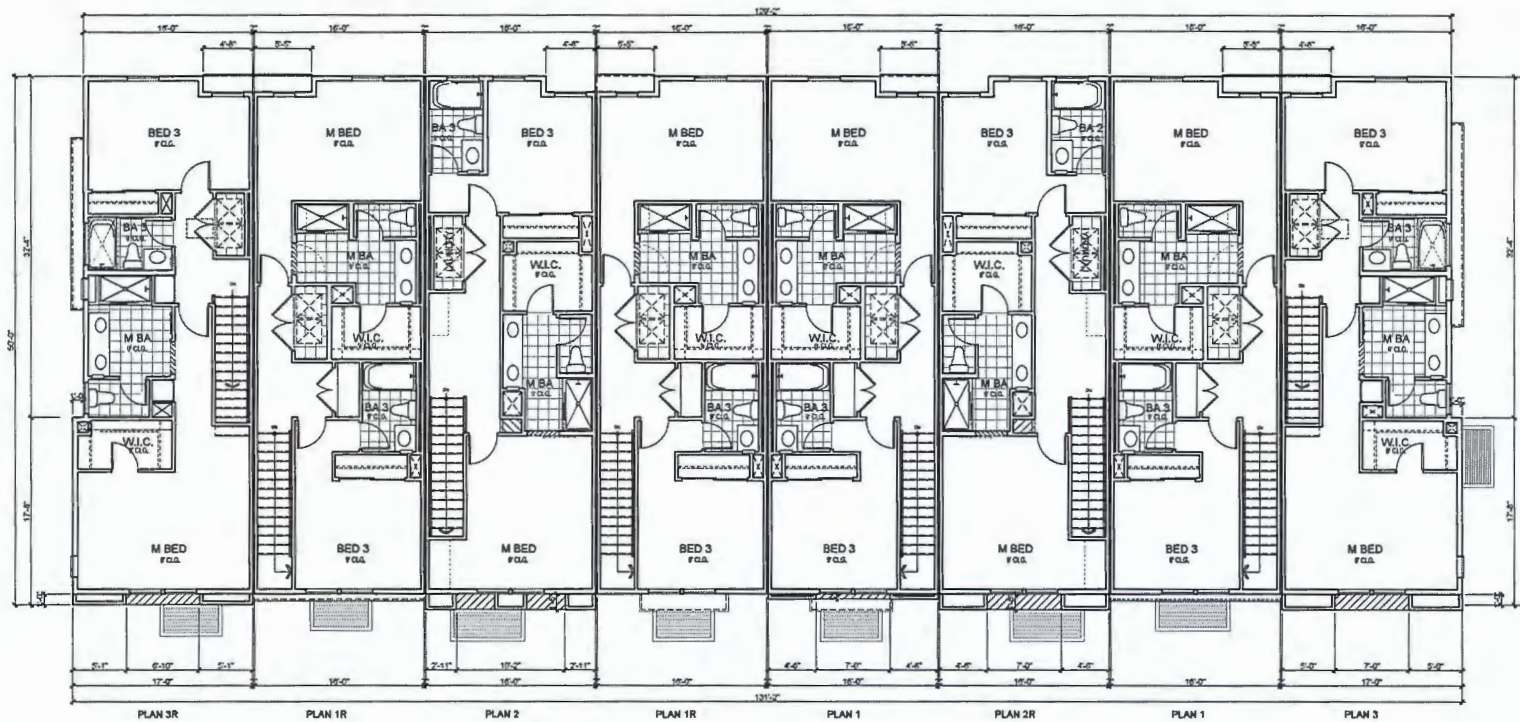


SCALE: 3/16" = 1'-0"
SECOND FLOOR

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SANTA CLARA, CALIFORNIA

BLDGS 1&3_8-PLEX B SECOND FLOOR PLAN
MODERN FARM

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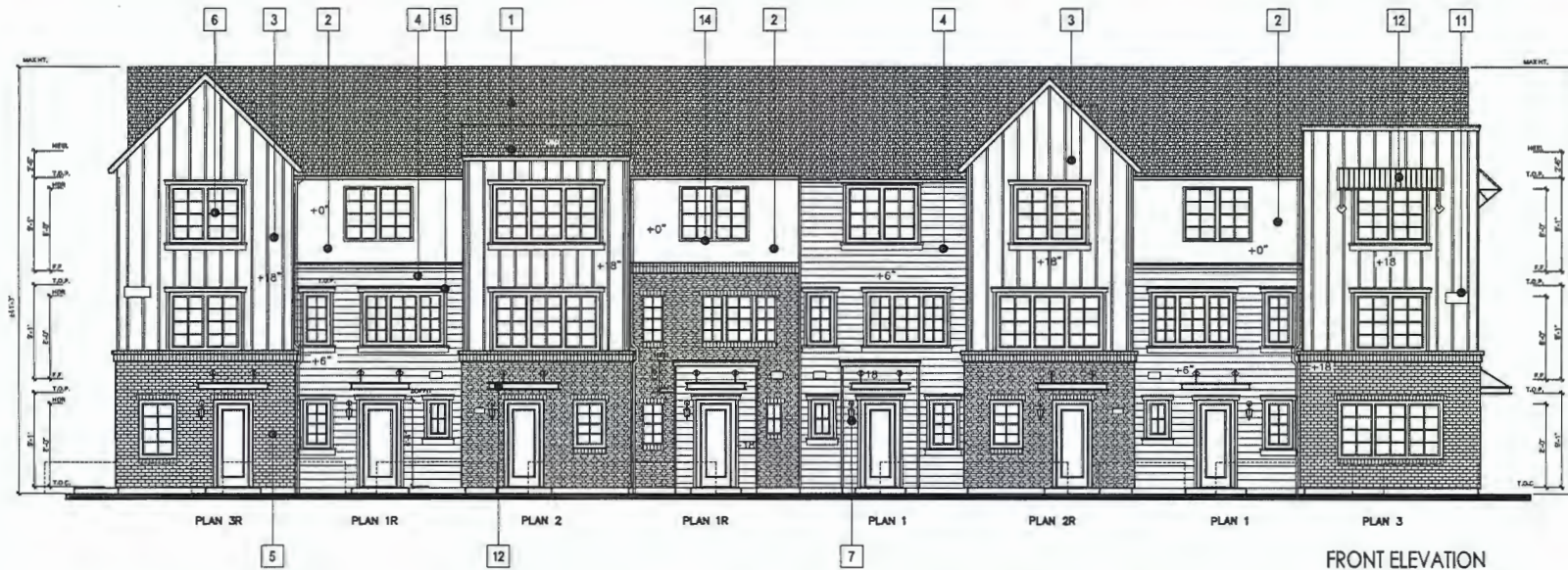


SCALE: 3/16" = 1'-0"
THIRD FLOOR

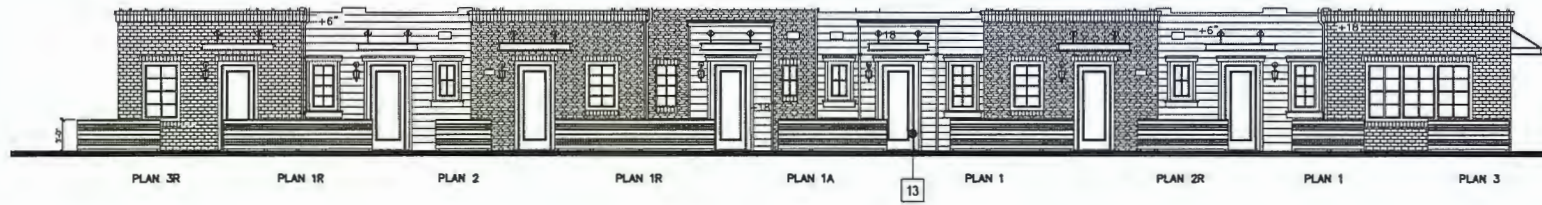
CATALINA II
SCS DEVELOPMENT CO.
SANTA CLARA, CALIFORNIA

BLDGS 1&3_8- PLEX B THIRD FLOOR PLAN
MODERN FARM

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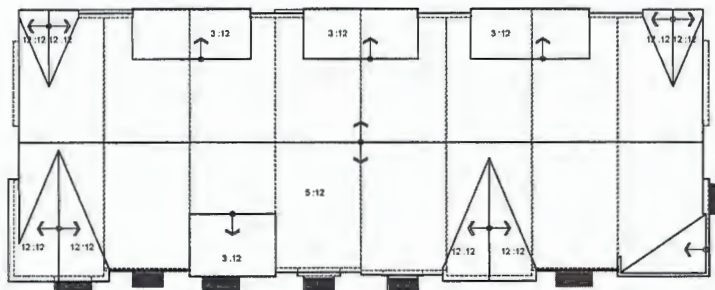
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
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14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTITIOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



ROOF PLAN
SCALE: 3/32" = 1'-0"

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BLDGS 1&3_8 - PLEX B FRONT ELEVATION
MODERN FARM

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PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

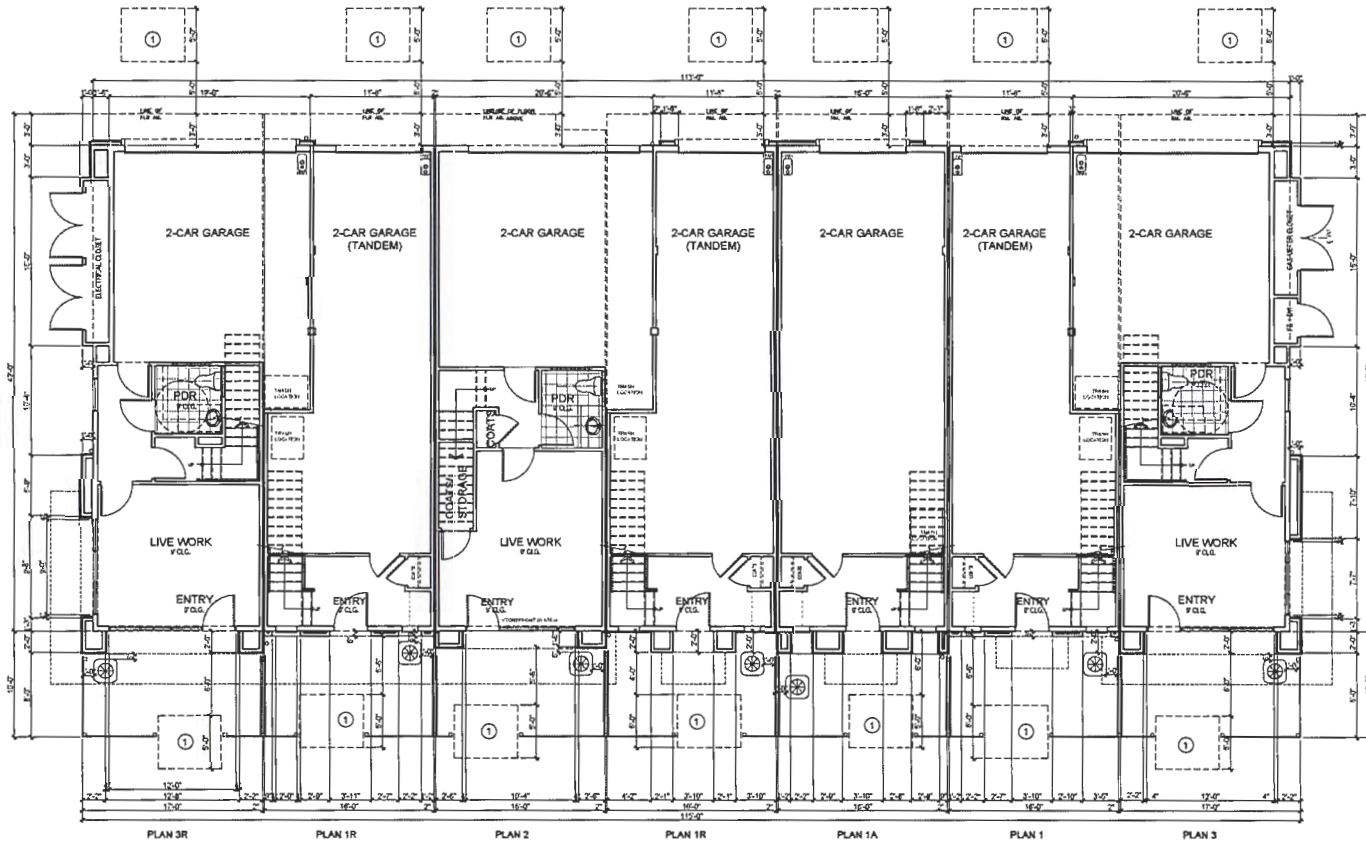
PLAN 3

FRONT ELEVATION

CATALINA II
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SANTA CLARA, CALIFORNIA

BLDGS 1&3_8 - PLEX B RENDERED ELEVATION
MODERN FARM

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SCALE: 3/16" = 1'-0"
FIRST FLOOR

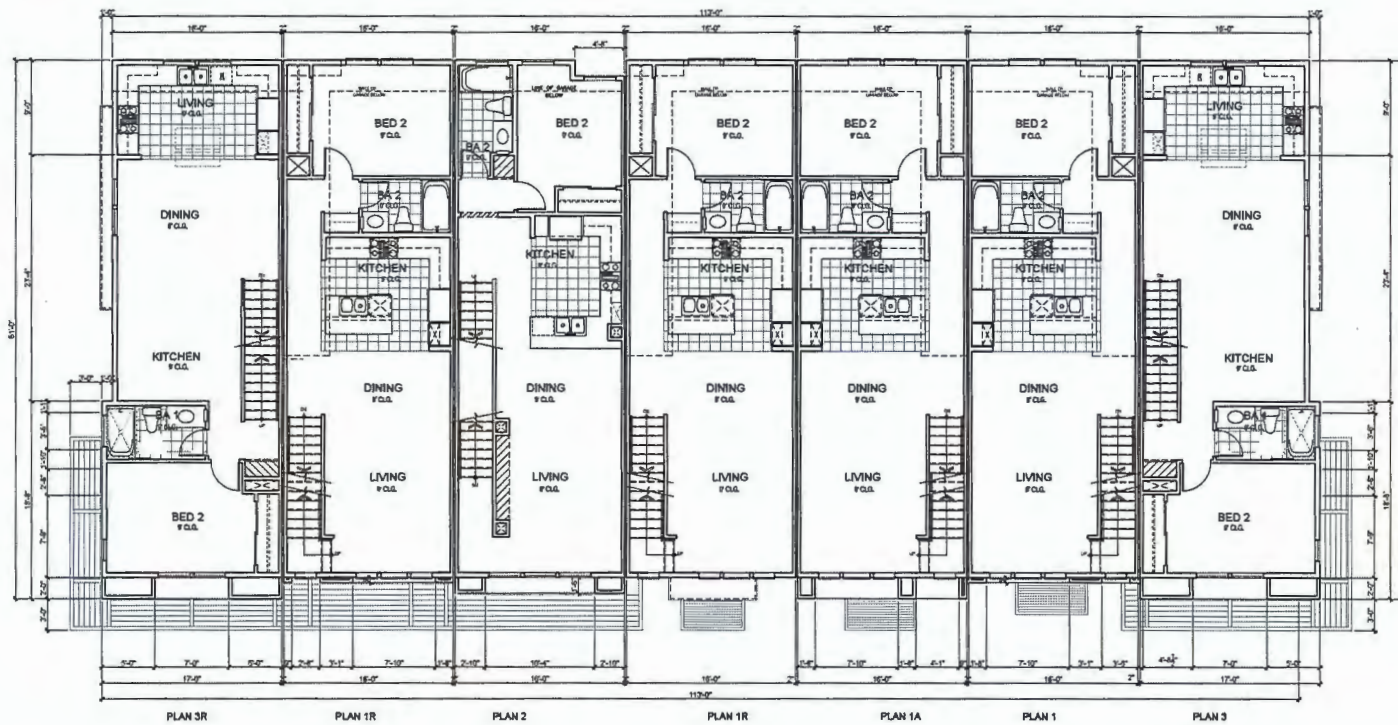
KEYNOTE:

- ① FIRE DEPT. LADDER PAD 5'x6' CENTERED WITH EGRESS WINDOW ABOVE STANDARD. LADDER SET-UP SHALL NOT BE OBSTRUCTED BY ARCH. FEATURES, FENCING, TREES, LANDSCAPE, PLANTERS OR OTHER OBSTRUCTIONS. REFER TO SHEET A-F1 FOR CITY OF SANTA CLARA FIRE DEPARTMENT LADDER PAD REQUIREMENTS. LADDER PAD POSITION IS BASED ON THE EGRESS WINDOW LOCATED ON THE THIRD FLOOR OF EACH UNIT.

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SCS DEVELOPMENT CO.
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BLDG 4_7-PLEX LIVE/WORK FIRST FLOOR PLAN
MODERN FARM

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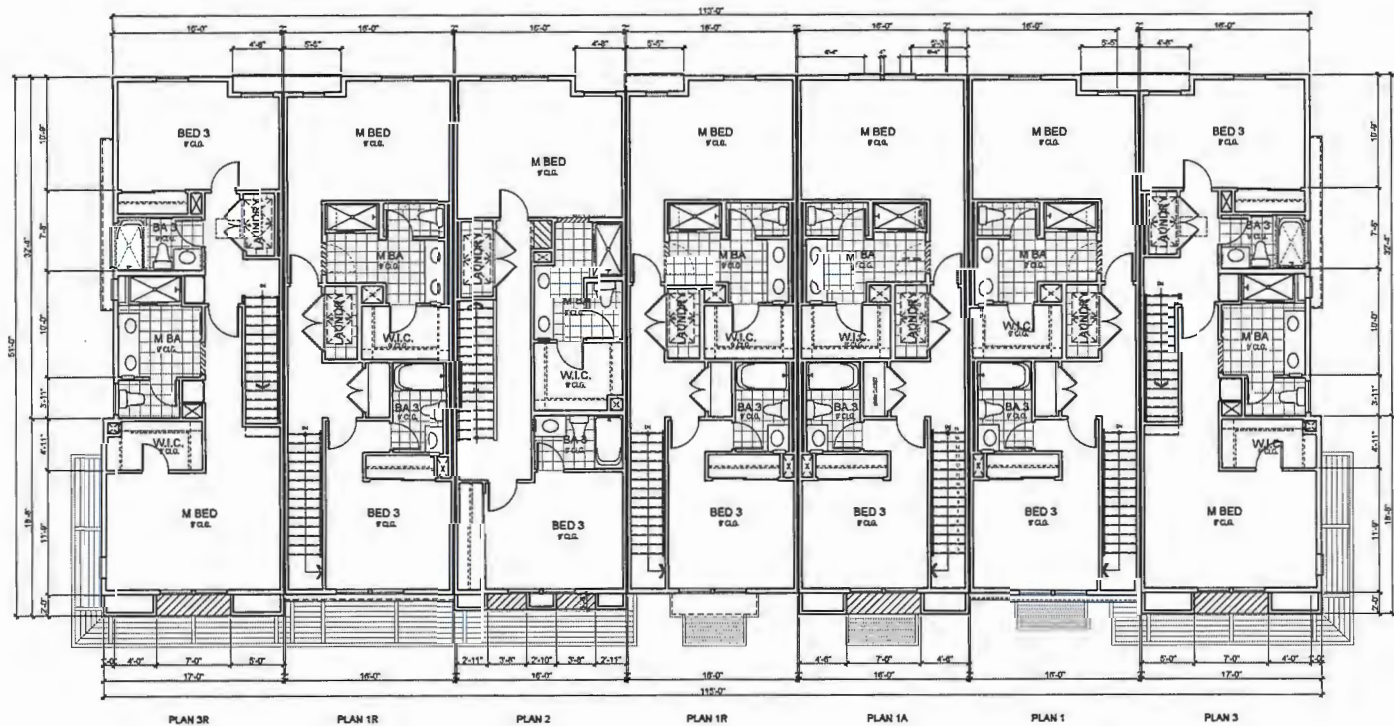


SCALE: 3/16" = 1'-0"
SECOND FLOOR

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BLDG 4_7 - PLEX LIVE/WORK SECOND FLOOR PLAN
MODERN FARM

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SCALE: 3/16" = 1'-0"
THIRD FLOOR

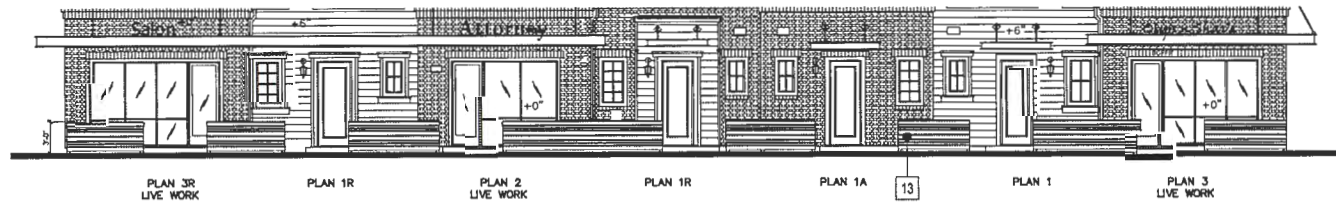
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BLDG 4_7 - PLEX LIVE/WORK THIRD FLOOR PLAN
MODERN FARM

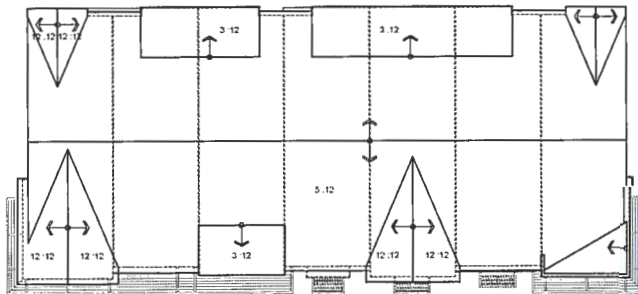
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FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"



ROOF PLAN
SCALE: 3/32" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
9. SERVICE DOORS
10. UNIT ADDRESS SIGN AT A MINIMUM OF 6" WITH A COLOR CONTRASTING WITH BACKGROUND MATERIAL
11. BUILDING ADDRESS SIGN
12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTATIONOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING

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BLDG 4_7 - PLEX LIVE/WORK FRONT ELEVATION
MODERN FARM

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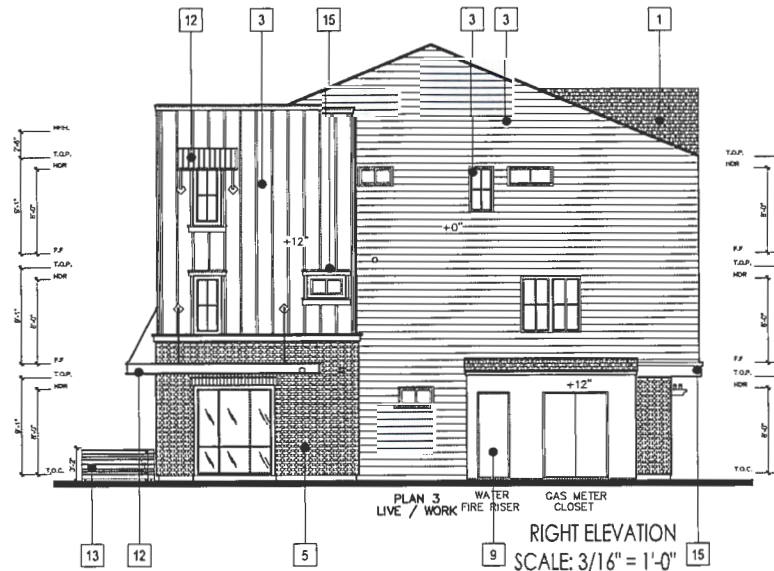
A-LW74



REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
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12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTIOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



PLAN 3R
LIVEWORK

PLAN 1R

PLAN 2
LIVEWORK

PLAN 1R

PLAN 1A

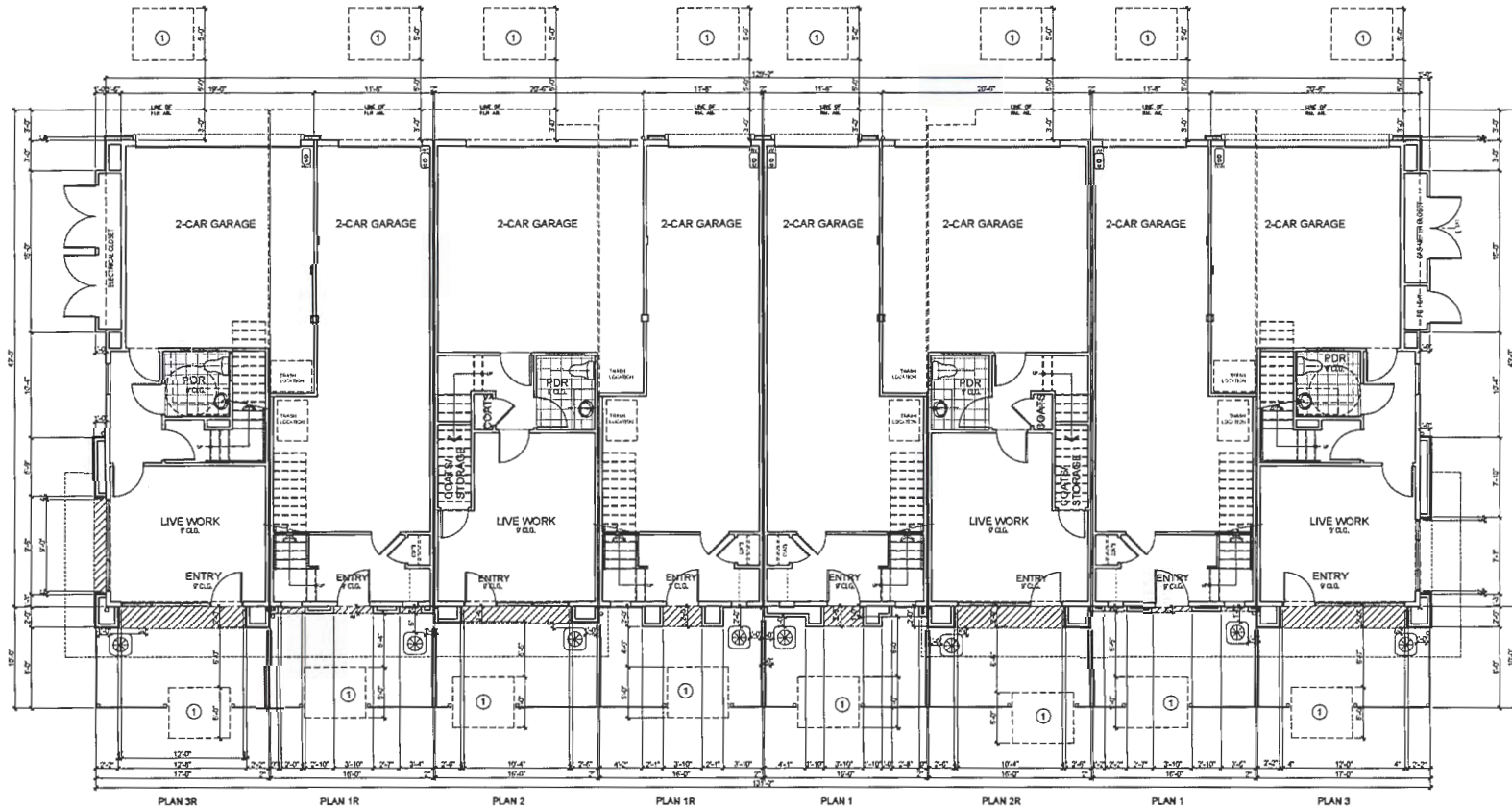
PLAN 1

PLAN 3
LIVEWORK

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SANTA CLARA, CALIFORNIA

BLDG 4_7 - PLEX LIVE/WORK RENDERED ELEVATION
MODERN FARM

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KEYNOTE:

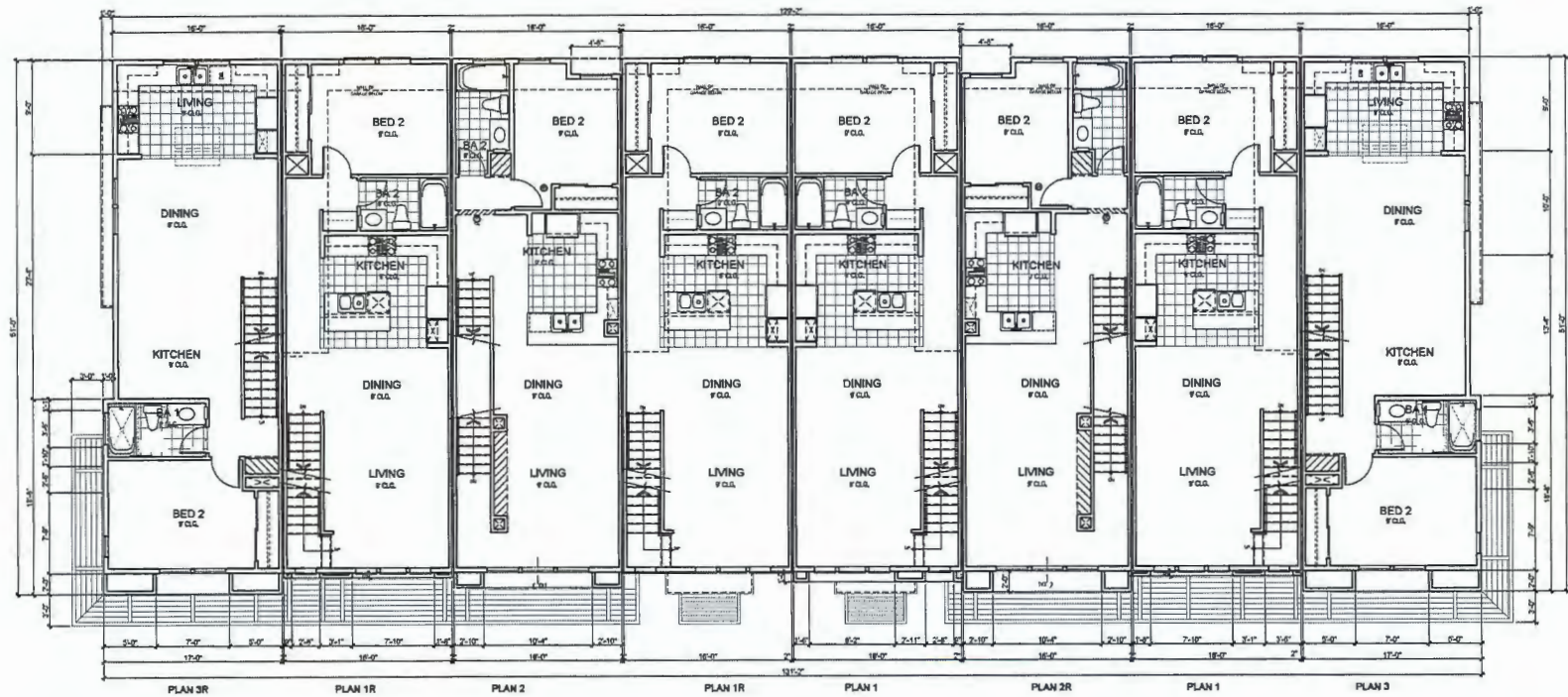
- ① FIRE DEPT. LADDER PAD 5'X6' CENTERED WITH EGRESS WINDOW ABOVE STANDARD. LADDER SET-UP SHALL NOT BE OBSTRUCTED BY ARCH. FEATURES, FENCING, TREES, LANDSCAPE, PLANTERS OR OTHER OBSTRUCTIONS. REFER TO SHEET A-F1 FOR CITY OF SANTA CLARA FIRE DEPARTMENT LADDER PAD REQUIREMENTS. LADDER PAD POSITION IS BASED ON THE EGRESS WINDOW LOCATED ON THE THIRD FLOOR OF EACH UNIT.

SCALE: 3/16" = 1'-0"
FIRST FLOOR

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BLDG 5_8- PLEX LIVE/WORK FIRST FLOOR
MODERN FARM

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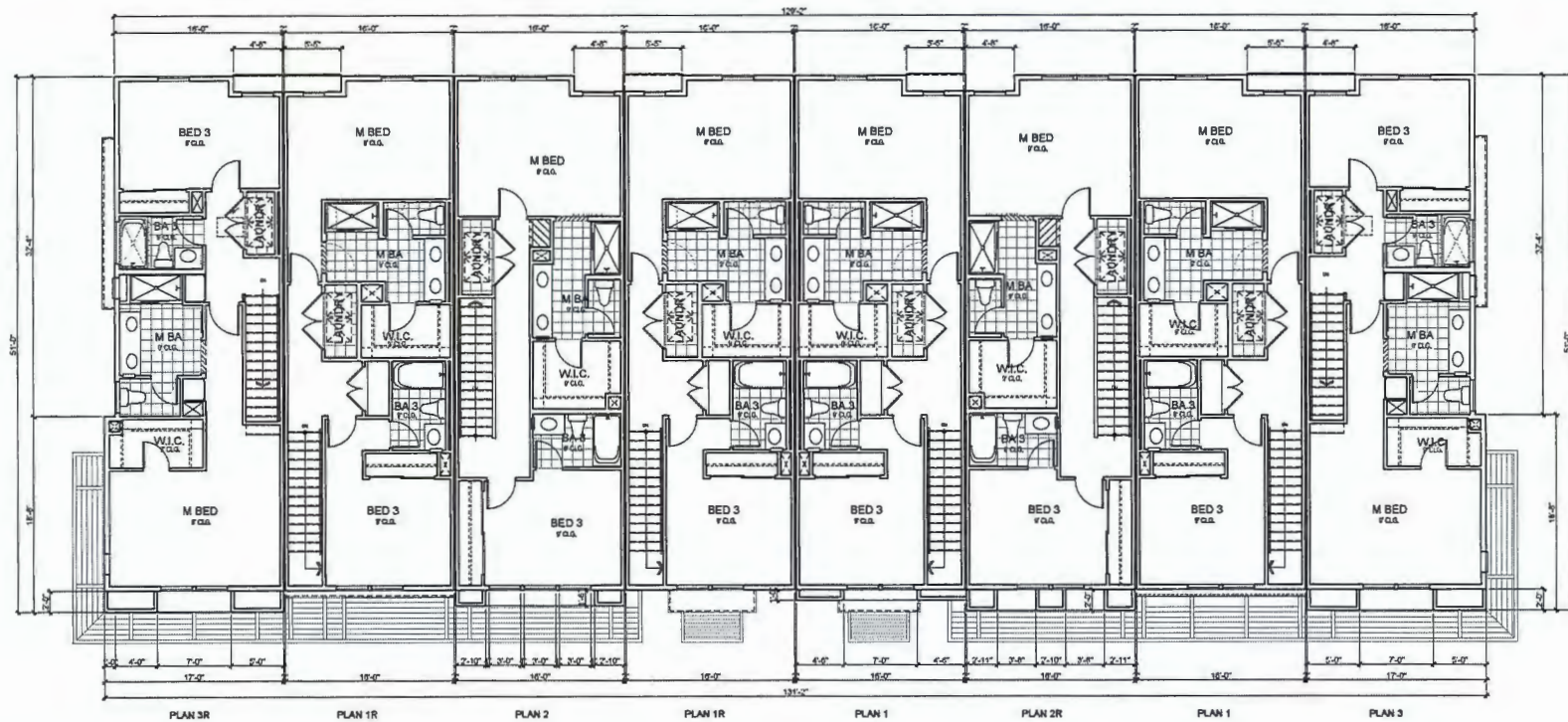


SCALE: 3/16" = 1'-0"
SECOND FLOOR

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BLDG 5_8-PLEX LIVE/WORK SECOND FLOOR
MODERN FARM

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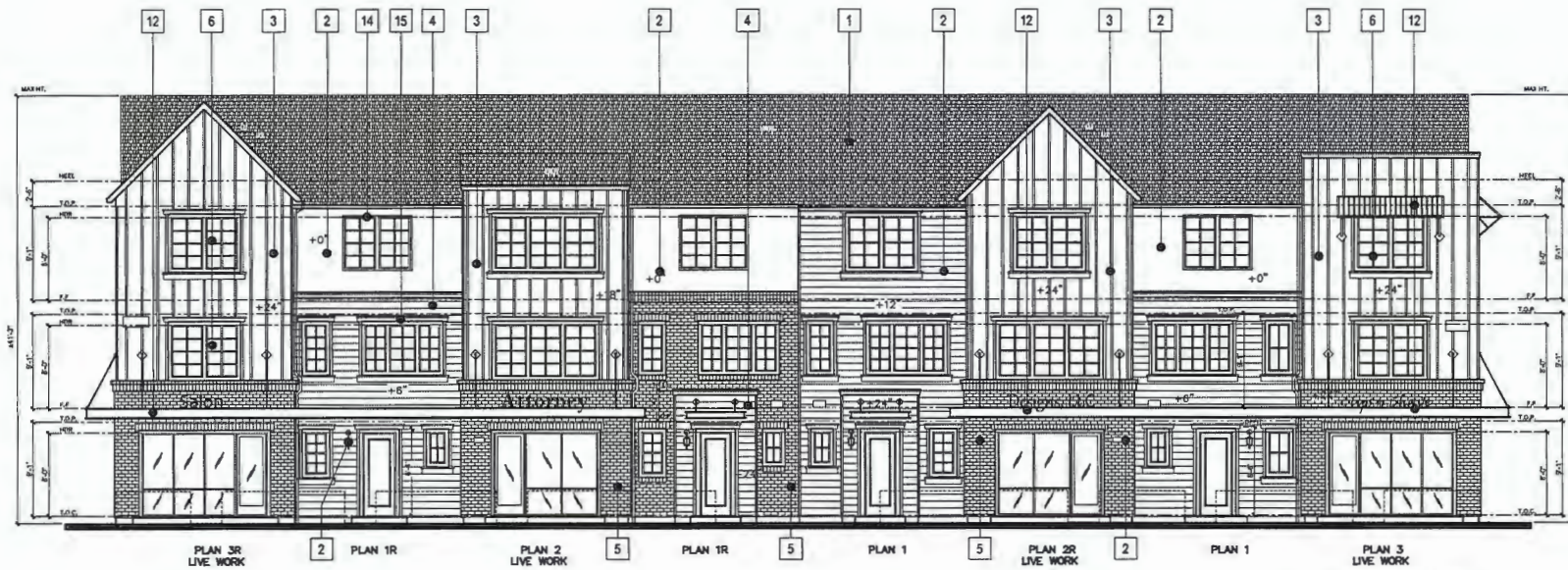


SCALE: 3/16" = 1'-0"
THIRD FLOOR

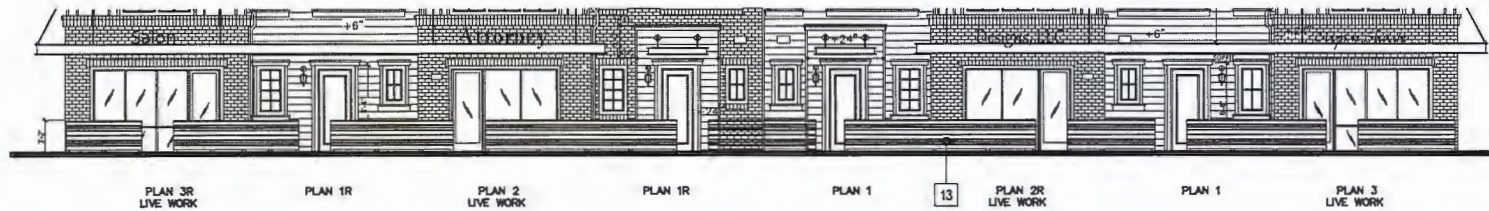
CATALINA II
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BLDG 5_8- PLEX LIVE/WORK THIRD FLOOR
MODERN FARM

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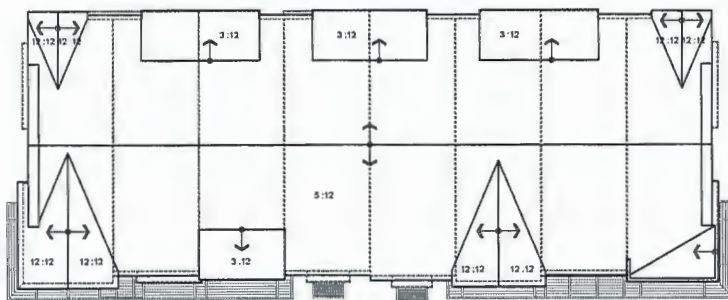
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



GARDEN WALL
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
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12. LIGHTWEIGHT METAL AWNING
13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTATION TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



ROOF PLAN
(5:12 TYP. ROOF PITCH)
SCALE: 3/32" = 1'-0"

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BLDG 5_8- PLEX LIVE/WORK FRONT ELEVATION
MODERN FARM

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REAR ELEVATION
SCALE: 3/16" = 1'-0"



LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

1. ASPHALT SHINGLE ROOF
2. SMOOTH STUCCO FINISH
3. FIBER CEMENT VERTICAL SIDING
4. FIBER CEMENT HORIZONTAL SIDING
5. REFINED / SMOOTH STONE / WHITE BRICK
6. RECESSED WINDOW
7. DECORATIVE LIGHT FIXTURE
8. GARAGE DOORS WITH WINDOWS
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13. HORIZONTAL WOOD FENCE
14. 2" FIBER CEMENT WINDOW TRIM
15. CEMENTATIONOUS TRIM
16. WOOD FASCIA
17. DECORATIVE WOOD AWNING



PLAN 3R

PLAN 1R

PLAN 2

PLAN 1R

PLAN 1

PLAN 2R

PLAN 1

PLAN 3

CATALINA II
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BLDG 5_8 - PLEX LIVE/WORK RENDERED ELEVATION
MODERN FARM

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City of Santa Clara
Santa Clara Fire Department
FIRE PREVENTION AND HAZARDOUS MATERIALS DIVISION
 1675 Linden Street, Santa Clara, CA 95050
 PHONE: (408) 815-4775

Emergency Escape and Rescue Windows Access

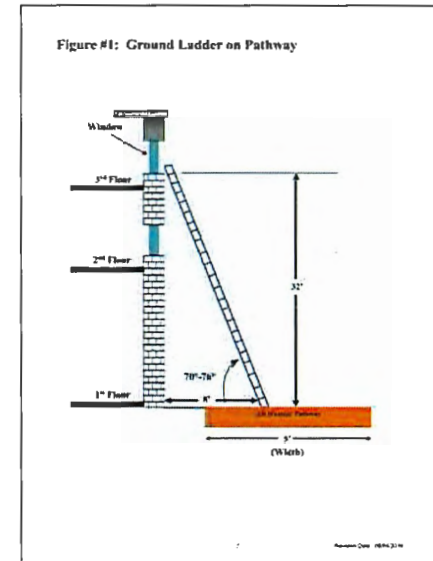
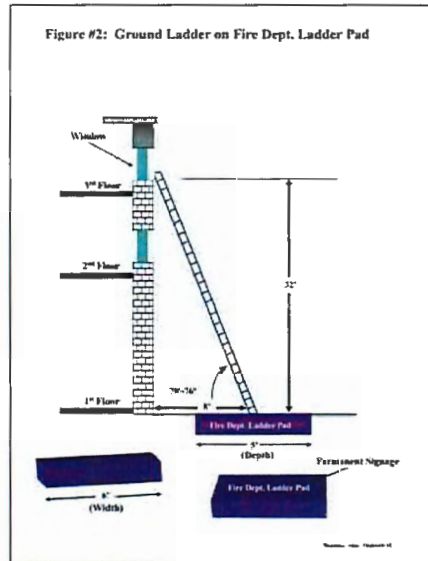
PURPOSE
 This standard was established in order to ensure code compliant access to emergency escape and rescue windows where fire truck access is not feasible due to irregular conditions.

DEFINITIONS
AS-Weather Protection Surface Concrete, masonry, plaster, or other approved impervious surface.
Ladder Pad A level, impervious, all-weather surface, capable of supporting the weight of the ladder, firefighters in gear, equipment, and personnel to be rescued. Ladder pads shall be engineered to support a minimum 1,000 pound load.
Emergency Escape and Rescue Windows Any operable window, or other similar device that provides for a means of escape and access for rescue in the event of an emergency.
Ladder Pad A level, impervious, all-weather surface, capable of supporting the weight of the ladder, firefighters in gear, equipment, and personnel to be rescued. Ladder pads shall be engineered to support a minimum 1,000 pound load.

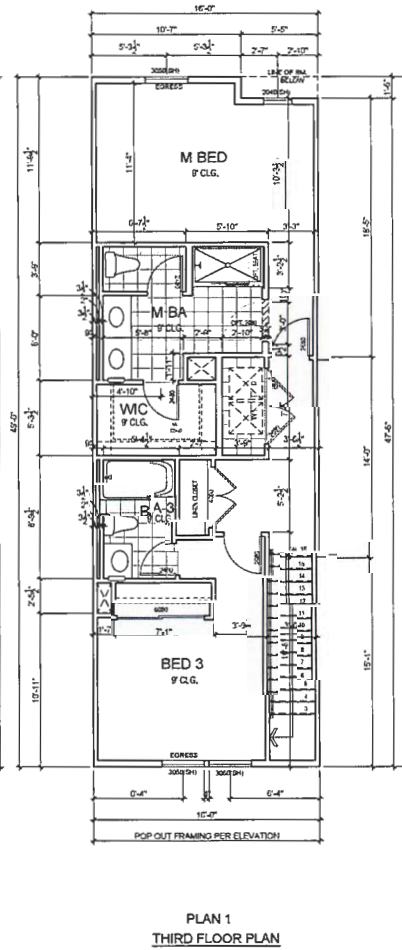
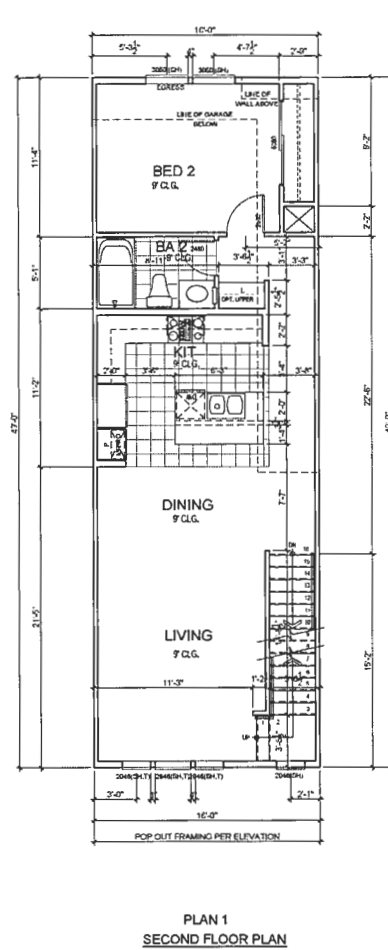
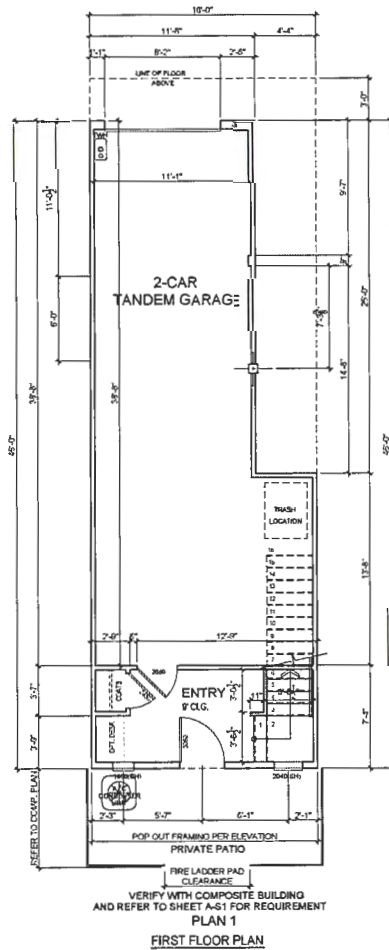
REQUIREMENTS
Building Protection
 Ground ladder access shall comply with all of the following:
 1. All-weather surface shall be provided around the entire perimeter of the building.
 2. Padways shall be a minimum of 40 inches wide.
 3. Padways shall be designed and installed so that the extended ladder angle of inclination is at least 70° and no greater than 75° from horizontal. As a way to determine the proper distance to be divide the required length of ladder by four. For example, if 12 feet of ladder is needed to reach a window on the third floor, the feet of the ladder should be placed a minimum of 3 feet from the building face (see Figure 1).
 4. Ladder set-up shall not be obstructed by architectural features, trees, or landscaping.

Ladder Cases
 When an all-weather padway is not a desirable option, ladder cases complying with all of the following requirements, shall be used:
 1. A straight padway from the padway to the building face shall be provided (code compliant entry are acceptable).
 2. Padways shall be a minimum of 40 inches wide.
 3. Ladder pads shall not be less than 8' x 10' wide by 1' x 1' deep and shall allow the unobstructed raising of the ladder free of obstructions.
 4. Ladder pads shall be designed and installed so that the extended ladder angle of inclination is at least 70° and no greater than 75° from horizontal. As a way to determine the proper distance to divide the required length of ladder by four. For example, if 12 feet of ladder is needed to reach a window on the 3rd floor, the feet of the ladder should be placed a minimum of 3 feet from the building face (see Figure 1).
 5. Ladder Pads shall be permanently marked "Fire Dept. Ladder Pad".
 6. Ladder set-up shall not be obstructed by architectural features, trees, or landscaping.

Revised Date: 09/14/2014

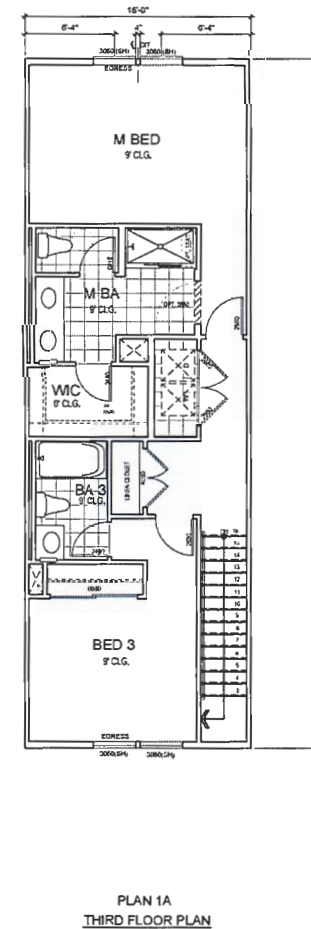
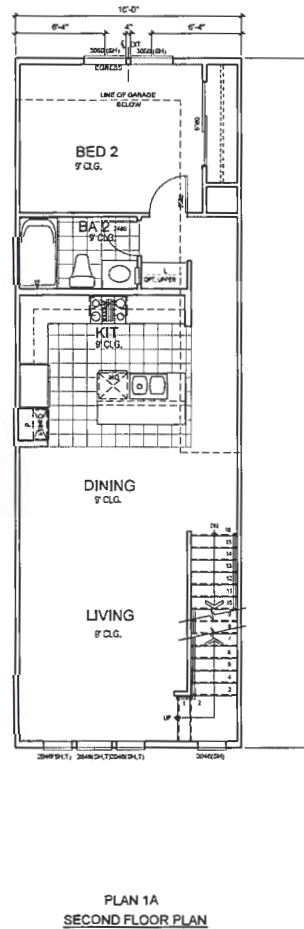
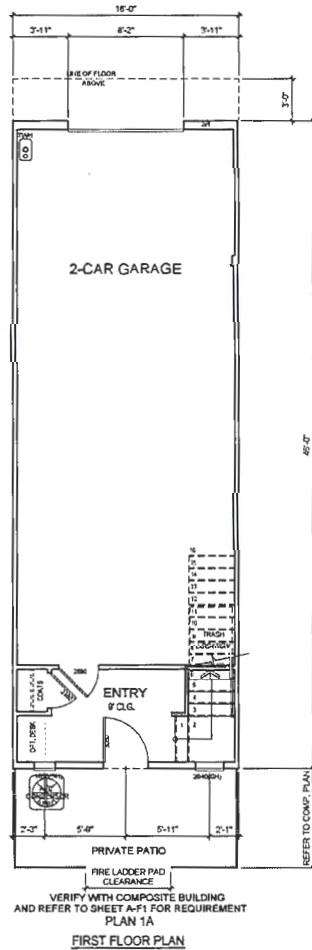


TYPICAL DIAGRAM LADDER PAD LOCATION FOR CATALINA II
 SIMILAR CONDITION FOR ALL BUILDING TYPES INCLUDING LIVE/WORK



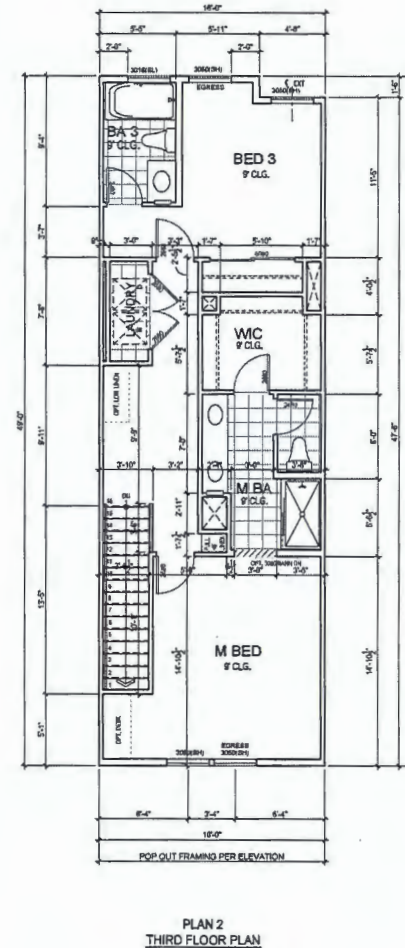
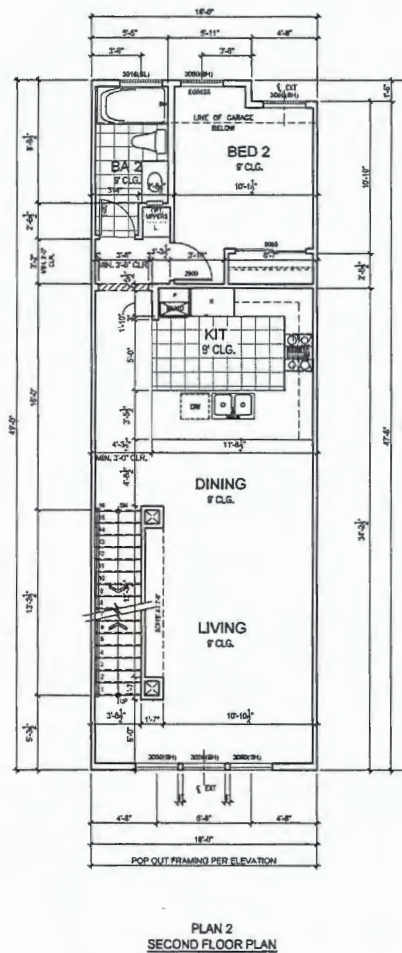
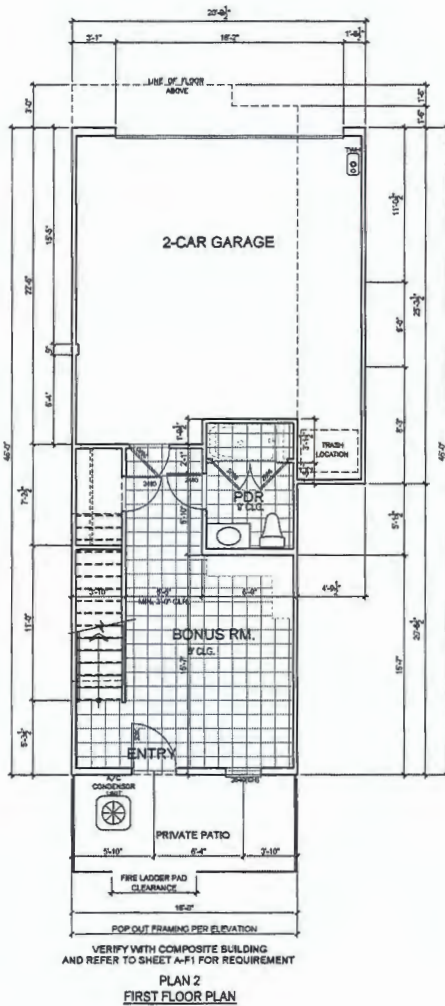
PLAN 1 GROSS AREA TABULATION

FIRST FLOOR	= 117 SQ.FT.
SECOND FLOOR	= 727 SQ.FT.
THIRD FLOOR	= 776 SQ.FT.
TOTAL LIVING AREA	= 1,620 SQ.FT.
GARAGE AREA	= 506 SQ.FT.



PLAN 1A GROSS AREA TABULATION

FIRST FLOOR	= 117 SQ.FT.
SECOND FLOOR	= 733 SQ.FT.
THIRD FLOOR	= 784 SQ.FT.
TOTAL LIVING AREA	= 1,634 SQ.FT.
GARAGE AREA	= 619 SQ.FT.



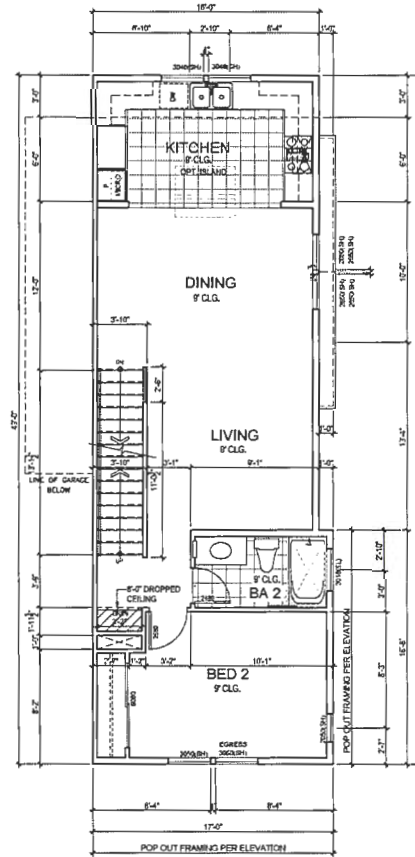
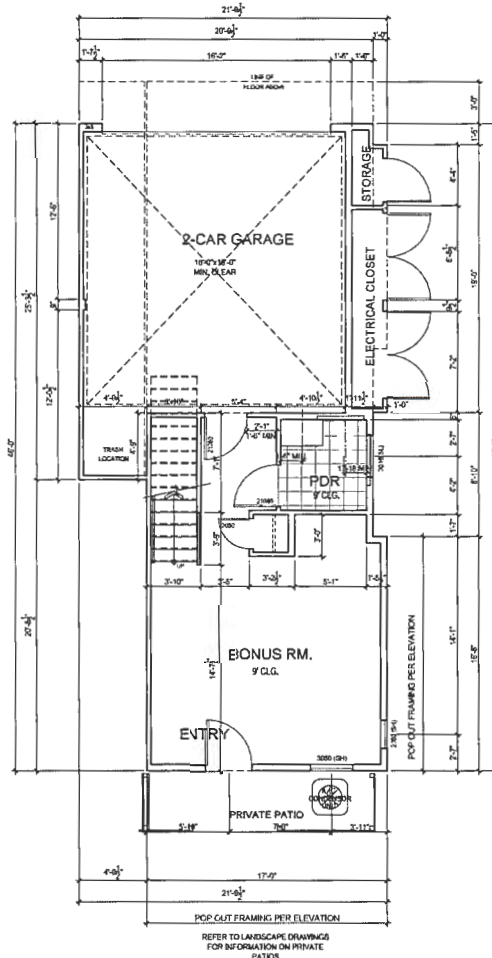
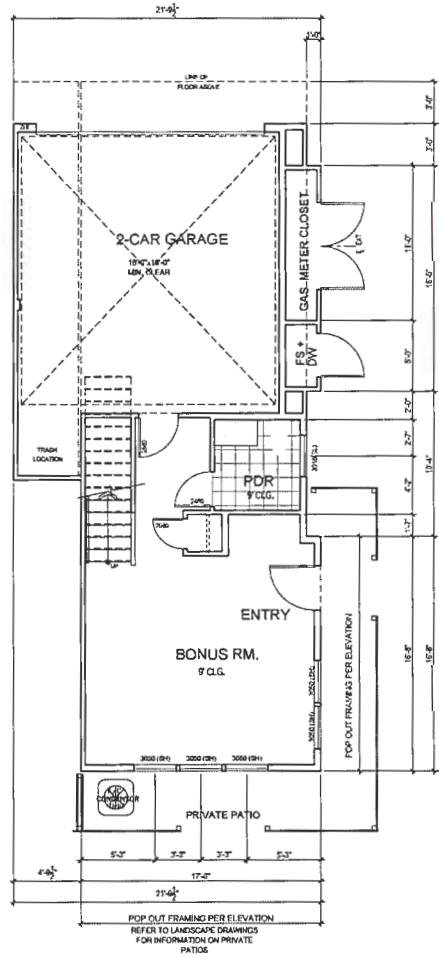
PLAN 2 GROSS AREA TABULATION

FIRST FLOOR	= 388 SQ.FT.
SECOND FLOOR	= 730 SQ.FT.
THIRD FLOOR	= 777 SQ.FT.
TOTAL LIVING AREA	= 1,895 SQ.FT.
GARAGE AREA	= 468 SQ.FT.

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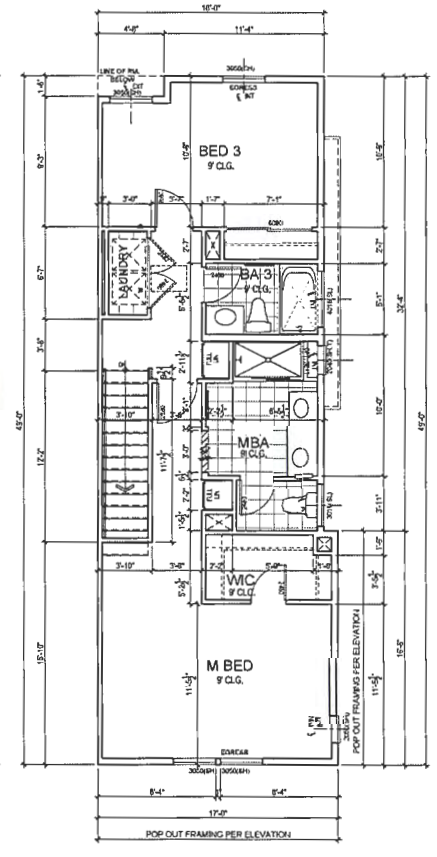
UNIT PLAN 3

SCALE: 1/4" = 1'-0"



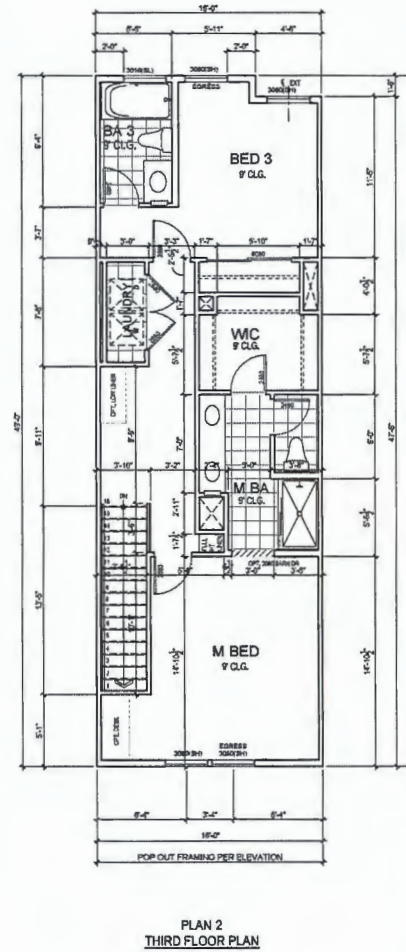
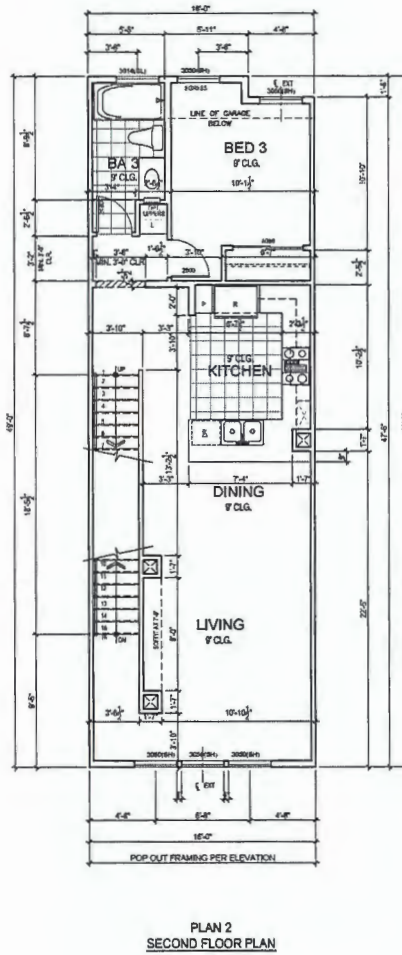
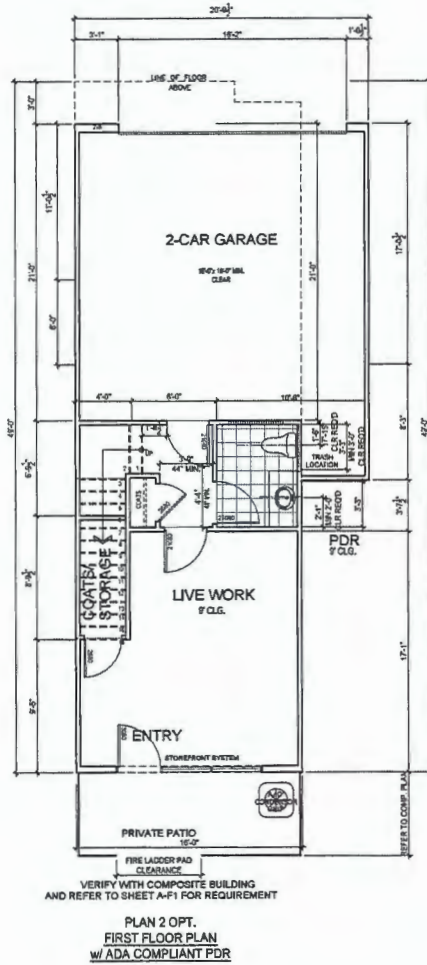
PLAN 3 GROSS AREA TABULATION

FIRST FLOOR	=	424 SQ.FT.
SECOND FLOOR	=	754 SQ.FT.
THIRD FLOOR	=	794 SQ.FT.
TOTAL LIVING AREA	=	1,972 SQ.FT.
GARAGE AREA	=	415 SQ.FT.
UTILITY CLOSET	=	50 SQ.FT.



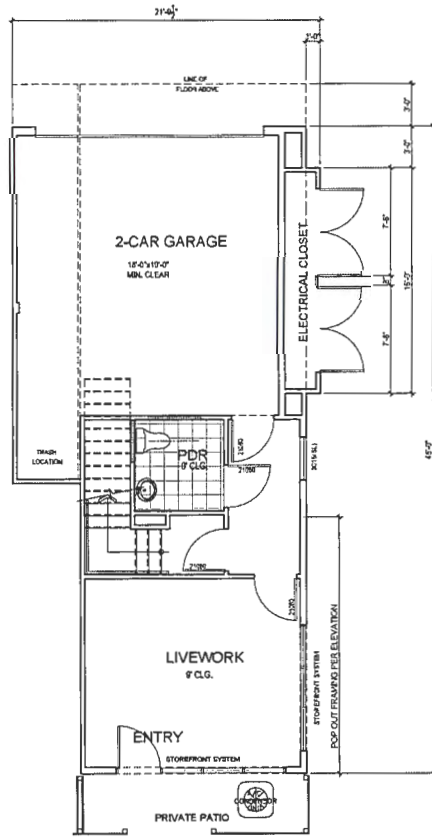
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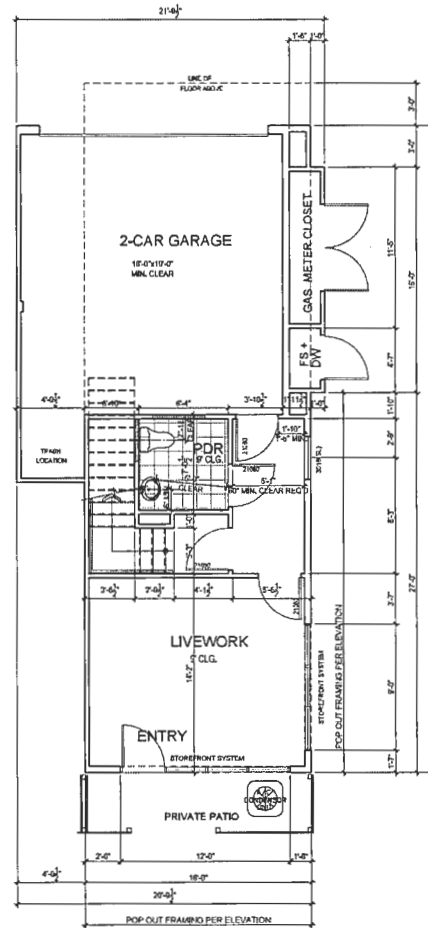


PLAN 2 GROSS AREA TABULATION

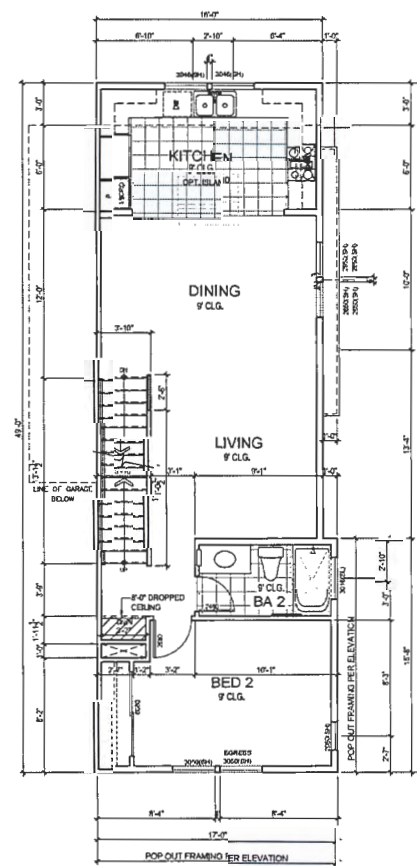
FIRST FLOOR	= 388 SQ.FT.
SECOND FLOOR	= 730 SQ.FT.
THIRD FLOOR	= 777 SQ.FT.
TOTAL LIVING AREA	= 1,895 SQ.FT.
GARAGE AREA	= 468 SQ.FT.



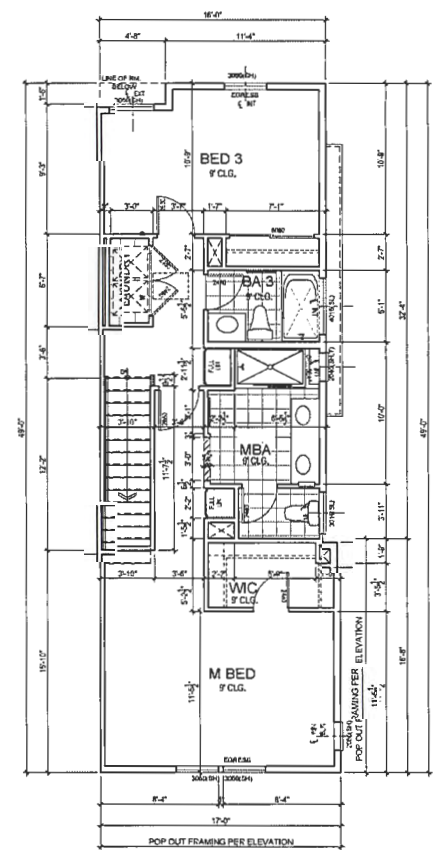
PLAN 3
FIRST FLOOR PLAN
DRY UTILITY CLOSET SIDE



PLAN 3
FIRST FLOOR PLAN
GAS METER CLOSET SIDE



PLAN 3
SECOND FLOOR PLAN



PLAN 3
THIRD FLOOR PLAN

PLAN 3 LIVE/WORK GROSS AREA TABULATION

FIRST FLOOR (WORK)	=	407 SQ.FT.
SECOND FLOOR	=	754 SQ.FT.
THIRD FLOOR	=	794 SQ.FT.
TOTAL LIVING AREA	=	1,955 SQ.FT.
GARAGE AREA	=	415 SQ.FT.
UTILITY CLOSET	=	47 SQ.FT.

CATALINA II
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UNIT PLAN 3 LIVE WORK

SCALE: 1/4" = 1'-0"

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