

2892 Sycamore Way, Santa Clara, CA 95051

FIRE NOTES:

COMMENT #1: REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS AND WATER SUPPLY AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.

COMMENT #2: FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE- AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,000 SQUARE FEET. EXCEPTION: A ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1,000 SQUARE FEET OF BUILDING AREA. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-15) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY C.B.I.

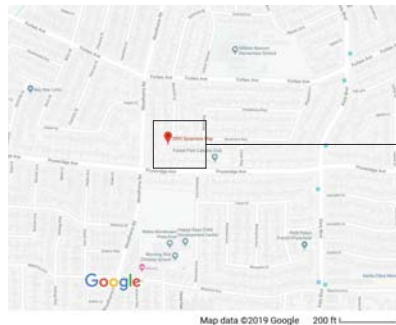
COMMENT #3: WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

COMMENT #4: CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33

COMMENT #5: ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1 TO PREVENT PLAN REVIEW AND INSPECTION DELAYS, THE ABOVE NOTED DEVELOPMENTAL REVIEW CONDITIONS SHALL BE ADDRESSED AS "NOTES" ON ALL PENDING AND FUTURE PLAN SUBMITTALS AND ANY REFERENCED DIAGRAMS TO BE REPRODUCED ONTO THE FUTURE PLAN SUBMITTAL. PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7



VICINITY MAP:



PROPERTY LOCATION

PROJECT DATA

A.P.N. 293-21-010
PROJECT LOCATION: 2892 Sycamore Way, Santa Clara, CA 95051
ZONING: R-1-6
OCCUPANCY GROUP: R - 3 / U
CONSTRUCTION TYPE: V - B
NUMBER OF FLOORS: TWO (2) STORY
FIRE PROTECTION: SPRINKLERED

SCOPE OF WORK:

NEW 2 STORY COSTUME HOME
3970 SQF BUILDING AREA INCLUDING 5 BEDROOMS
4 1/2 BATHS, 1 LAUNDRIES, 2 CAR GARAGE

SHEET INDEX

T.1.1	COVER SHEET
A0.1	SITE PLAN
A1.0	DEMOLITION PLAN
A1.1	EXISTING FLOOR PLAN
A1.2	PROPOSED 1ST FLOOR PLAN
A1.3	PROPOSED 2 ST FLOOR PLAN
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A3.1	SECTIONS& STREETScape ELEVATION
A4.1	MATERIAL& STREET VIEW
A5.1	ARCHITECTURAL DETAIL

AREA CALCULATION:

SITE AREA	APPROX.	11,589 S.F.
E FLOOR AREA		2,197 S.F.
N 1ST FLOOR LIVING AREA:		2,111 S.F.
N 2ST FLOOR LIVING AREA:		1,450 S.F.
N TOTAL LIVING AREA:		3,561 S.F.

WORKOUT AREA:	69 S.F.
N GARAGE:	436 S.F.
N TOTAL BUILDING:	4,066 S.F.

FLOOR AREA RATIO (FAR) = (4,066/11,589)X100=35%

LOT COVERAGE: 1st FLOOR BLDG AREA (2180+436) S.F	
FRONT COVERED PORCH	110 S.F.
REAR COVER PORCH	35.5 S.F.
REAR COVER SHED	132 S.F.
TOTAL:	2,893.5/11,589X100= %25



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RESIDENTIAL :
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Clara, CA 95051

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, SCALE, ELEVATION AND COMPLETION TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION BY THE CONTRACTOR IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE BEGINNING OF WORK. UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR PROCEEDS TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

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NO.	DESCRIPTION	DATE	BY
1			

PROGRESS

BUILDING OWNER APPROVAL DATE:	RESIDENTIAL ARCHITECTURE DATE:

RESIDENTIAL

COVER SHEET

NORTH	DATE	PROJECT NO.	SCALE	DRAWING

GRADING and DEMO NOTES:

1. CONTACT PUBLIC WORKS, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. ALL NEW ELECTRICAL SERVICE (POWER, PHONE, AND OR CABLE) SHALL BE UNDER GROUND.
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL. WITH EXCEPTION:
 - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION

TREE PROTECTION NOTES:

11. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.
 1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
 2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
 3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
 4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
 5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
 6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
 7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
 8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
 9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
 10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
 11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

LEGEND:



2nd FLOOR
PROPERTY LINE
BLDG 1st FLOOR FOOTPRINT LINE
BLDG 2nd FLOOR FOOTPRINT LINE

2 SITE PLAN
1/8" = 1'-0"



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Clara, CA 95051

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR ACCURACY AND COMPLIANCE WITH THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT ARISE OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE GOLDEN GATE GROUP ARCHITECT/ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION. IF THE CONTRACTOR CONSIDERS IT TO BE NECESSARY TO PRECEED AT HIS OWN RISK.

BASED UPON THE DRAWINGS AND SPECIFICATIONS FOR THE PROPOSED WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT RELY ON THE CONTRACTOR FROM PERFORMING SUCH LIMITED OR NO RESOURCES DETAIL OF THE WORK AS IT FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: AS CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY CONDITIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF DETECTING THE WORK IF VIOLATION, DISCREPANCY OR OMISSION.

BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS AND SPECIFICATIONS, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTY COLLECT DATA AND PREPARE DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM GOLDEN GATE GROUP ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH ANY RELATED WORK.

NO.	DESCRIPTION	DATE	BY
1			

PROGRESS

BUILDING OWNER APPROVAL DATE:	DESIGNER / ARCH SIGNATURE DATE:
RESIDENTIAL	

SITE PLAN			
NORTH	DATE	PROJECT	SCALE
DRAWN	CKD BY	FLOOR	A0.1



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OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: All CONTRACTORS and SUB-CONTRACTORS SHALL VERIFY DIMENSIONS and CONDITIONS at the SITE PRIOR to COMMENCEMENT of THEIR WORK. FAILURE to DO SO SHALL NOT RELEASE THEM FROM the RESPONSIBILITY of ESTIMATING and BIDDING. If a VARIANCY or DISCREPANCY is DISCOVERED (BETWEEN the INTENT of THESE CONTRACT DOCUMENTS and the EXISTING CONDITIONS are FOUND, the CONTRACTOR or SUBCONTRACTOR SHALL NOTIFY GOLDEN GATE GROUP INC. DESIGN IN WRITING and OBTAIN WRITTEN RESOLUTION FROM GOLDEN GATE GROUP INC. DESIGN PRIOR to PROCEEDING WITH ANY RELATED WORK.

1	ISSUED FOR -	06-12-2014	
NO	DESCRIPTION	DATE	BY

DESCRIPTION
PROGRERSS

_____ BUILDING OWNER APPROVAL DATE: _____	_____ DESIGNER / ARCH. SIGNATURE DATE: _____
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RESIDENTIAL

DEMOLITION PLAN

NORTH	DATE	PROJ.NO	SCALE	DRAWING
	08/20/18	1-018	1/8" = 1'-0"	A1.0
	DRAWN	CKD.BY	FLOOR	



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CHANGES FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS IMMEDIATELY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS NECESSARY TO PROTECT THE WORK, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH CHANGES OR MISDESCRIPTIONS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACTOR'S OBLIGATION TO FOLLOW THE CONTRACTOR'S OR SUB-CONTRACTOR'S DESIGN, THE CONTRACTOR OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE GROUP ARCHITECTS' WRITTEN AND DETAIL WRITTEN PERMISSION FROM GOLDEN GATE GROUP ARCHITECTS PRIOR TO PROCEEDING WITH ANY RELATED WORK.

1	DESCRIPTION	DATE	BY
NO	DESCRIPTION	DATE	BY

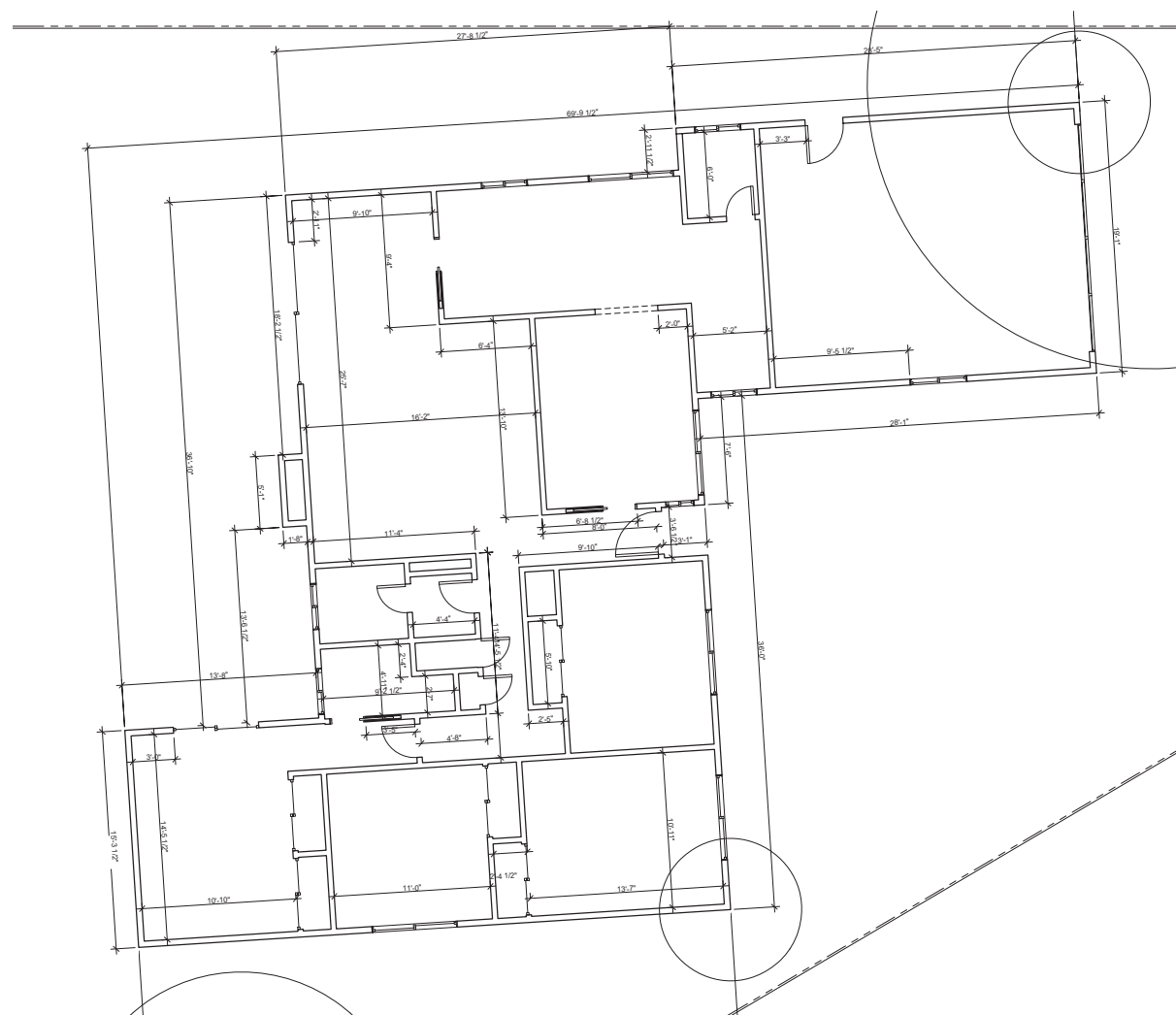
PROGRESS:

BUILDING OWNER APPROVAL DATE	CLIENT/ARCHITECT APPROVAL DATE	CLIENT/ARCHITECT SIGNATURE DATE
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RESIDENTIAL

EXISTING FLOOR PLAN

NORTH	DATE	PROJECT	SCALE	DRAWING
DRAWN	CHECKED	FLOOR	A1.1	



WALL

—————	EXISTING WALL TO REMAIN
-----	WALL TO BE REMOVED/ WDW. OR DR. TO INFILL

INTERIOR ENVIRONMENT

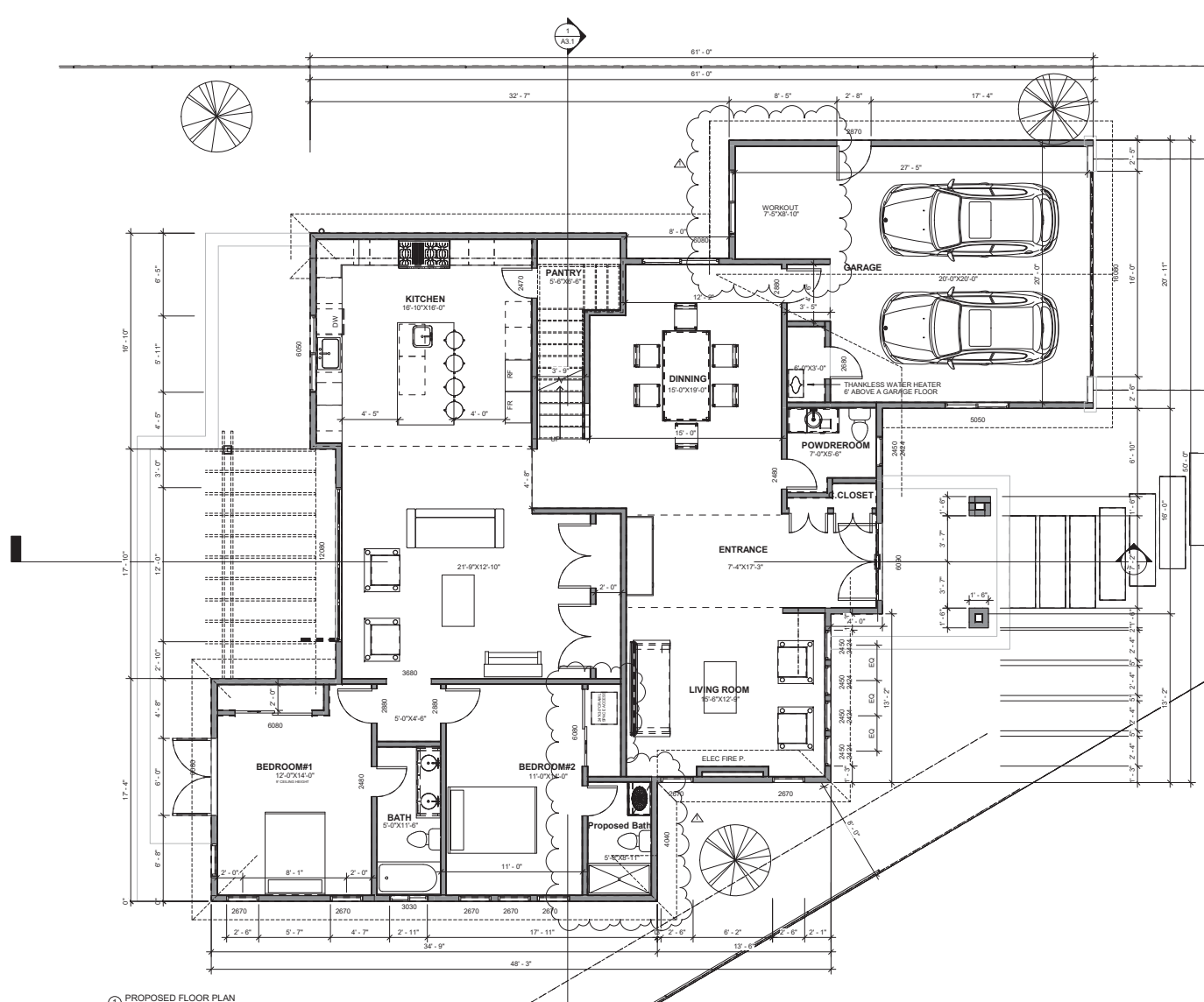
1. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1/150 OF UNDER FLOOR AREA. (R408.1)

BUILDING ENVELOPE

1. DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R408.1.

2. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

1 EXISTING FLOOR PLAN-
1/4" = 1'-0"



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"

LEGEND:



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CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES THAT ARE NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES THAT ARE NOT SHOWN ON THE DRAWINGS.

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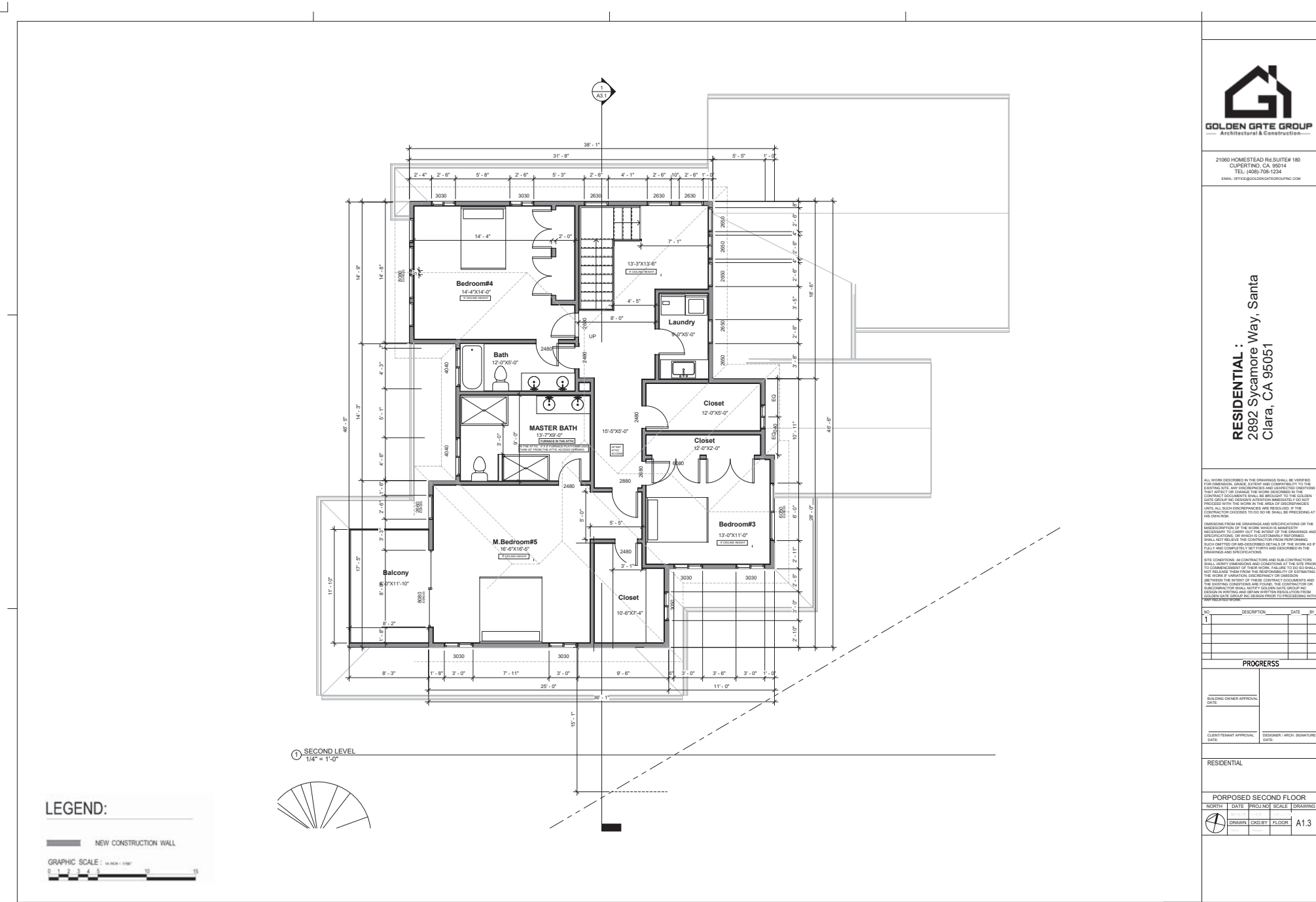
NO.	DESCRIPTION	DATE	BY
1	PROPOSED BATHROOM	July 26	
2	WORKOUT	July 26	

PROGRESS

BUILDING OWNER APPROVAL DATE:	CLIENT/ARCHITECT APPROVAL DATE:
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RESIDENTIAL

PROPOSED FLOOR PLAN			
NORTH	DATE	PROJECT NO.	SCALE
DRAWN	CHECKED	FLOOR	A1.2



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NO.	DESCRIPTION	DATE	BY
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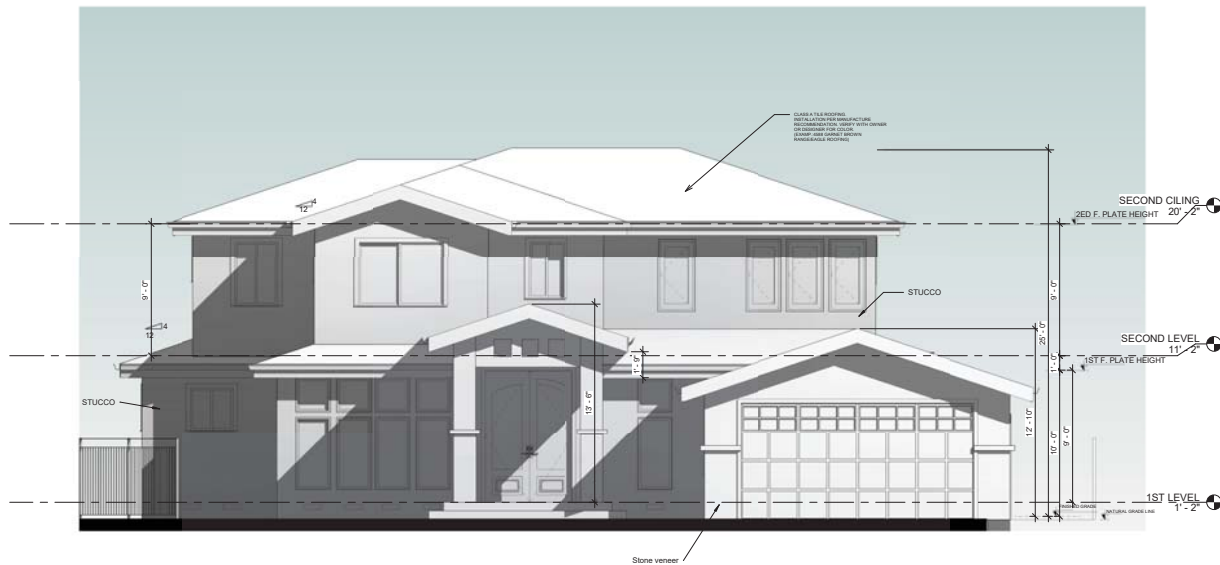
PROGRESS

BUILDING OWNER APPROVAL DATE:	CLIENT/ARCHITECT APPROVAL DATE:	CLIENT/ARCHITECT SIGNATURE DATE:
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RESIDENTIAL

PROPOSED SECOND FLOOR

NORTH	DATE	PROJECT	SCALE	DRAWING
DRAWN	CHECKED	FLOOR		A1.3



① FRONT ELEVATION
1/4" = 1'-0"



② BACK ELEVATION
3/16" = 1'-0"



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1			

PROGRESS

BUILDING OWNER APPROVAL DATE:	CLIENT/ARCHITECT APPROVAL DATE:	RESIDENTIAL ARCHITECT SIGNATURE DATE:
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RESIDENTIAL

EXTERIOR ELEVATIONS

NORTH	DATE	PROJECT	SCALE	DRAWING



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2892 Sycamore Way, Santa
Clara, CA 95051

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE GOLDEN GATE GROUP INC. DESIGNER'S ATTENTION IMMEDIATELY. WE DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

SITE CONDITIONS, AS CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK IF VARIATION, DISCREPANCY OR OMISSION
(BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY GOLDEN GATE GROUP INC. DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM GOLDEN GATE GROUP INC. DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

NO	DESCRIPTION	DATE	BY
1			

PROGRERSS

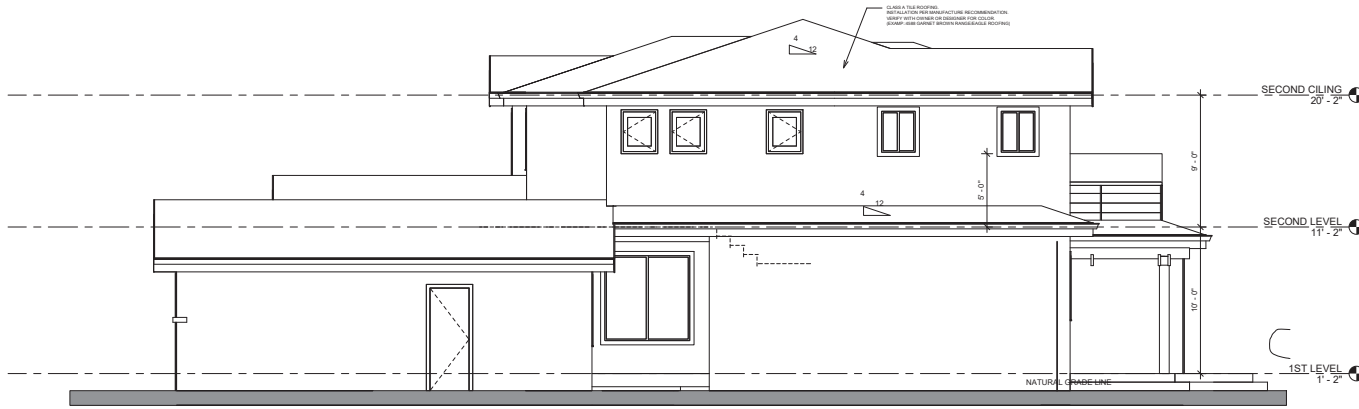
BUILDING OWNER APPROVAL DATE:		DESIGNER / ARCH. SIGNATURE DATE:	
CLIENT/TENANT APPROVAL DATE:			

RESIDENTIAL.

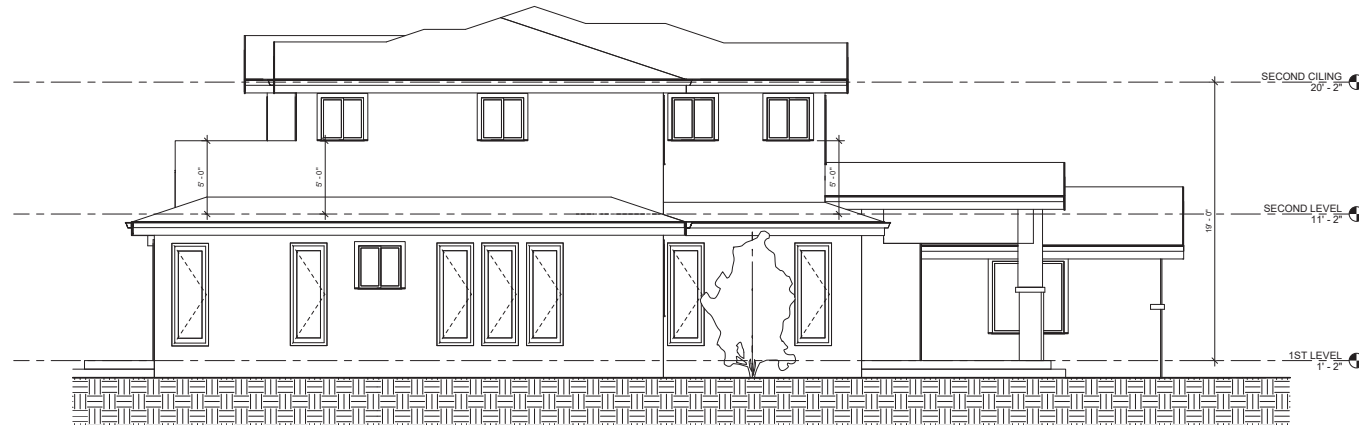
EXTERIOR ELEVATIONS

EXTERIOR01 ELEVATIONS				
NORTH	DATE	PROJ.NO	SCALE	DRAWING
	05/10/14	1-000	1/8" = 1'-0"	A2.2
	DRAWN	CKD.BY	FLOOR	

① NORTH ELEVATION
1/4" = 1'-0"



② SOUTH ELEVATION





21060 HOMESTEAD RD SUITE# 180
CUPERTINO, CA 95014
TEL: (408) 708-1234
EMAIL: OFFICE@GOLDENGATEGROUP.COM

RESIDENTIAL :
2892 Sycamore Way, Santa
Clara, CA 95051

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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA AND THE COUNTY OF SANTA CLARA. THE CONTRACTOR SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF OBTAINING THE NECESSARY PERMITS AND APPROVALS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SANTA CLARA AND THE COUNTY OF SANTA CLARA. THE CONTRACTOR SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF OBTAINING THE NECESSARY PERMITS AND APPROVALS.

NO.	DESCRIPTION	DATE	BY
1			

PROGRESS

BUILDING OWNER APPROVAL DATE:	RESIDENTIAL ARCH. SIGNATURE DATE:

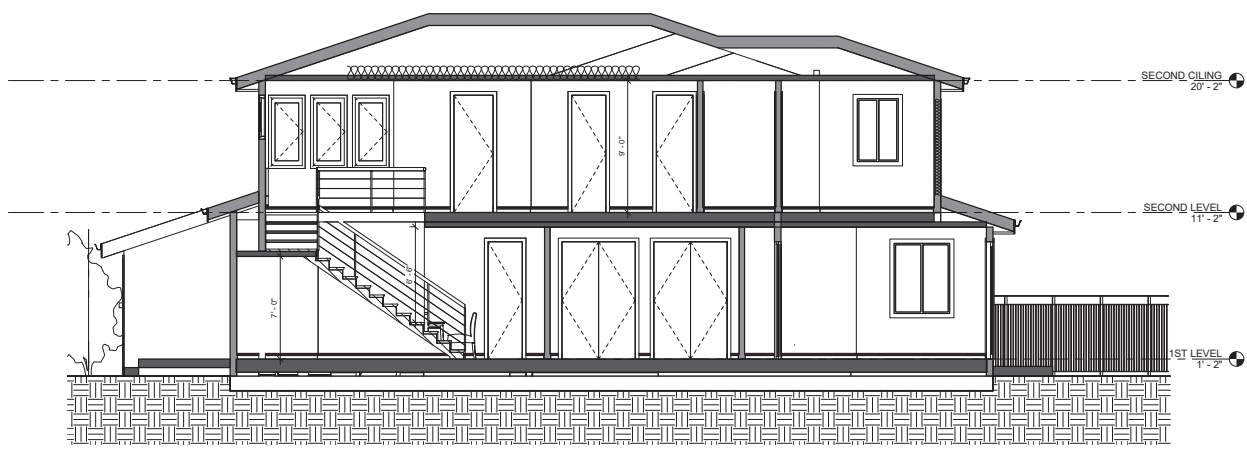
RESIDENTIAL

SECTIONS

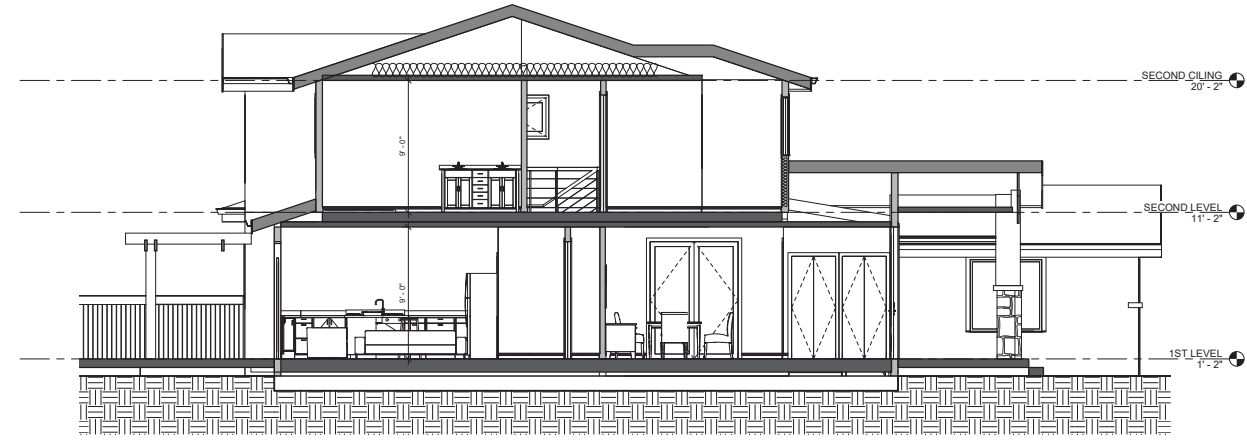
NORTH	DATE	PROJECT	SCALE	DRAWING

DRAWN	CHK BY	FLOOR	A3.0

1 A-A
1/4" = 1'-0"



2 B-B
1/4" = 1'-0"





Existing View



Front Rendering View



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CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL NOT RELY ON THE ARCHITECT FOR OBTAINING SUCH PERMITS OR APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL NOT RELY ON THE ARCHITECT FOR OBTAINING SUCH PERMITS OR APPROVALS.

SITE CONDITIONS, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. A VARIATION ORDER MAY BE REQUIRED.

NO.	DESCRIPTION	DATE	BY
1			

PROGRESS

BUILDING OWNER APPROVAL DATE:	RESIDENTIAL ARCH. SIGNATURE DATE:

RESIDENTIAL

MATERIAL & STREET VIEW

NORTH	DATE	PROJECT	SCALE	DRAWING

DRAWN: CKD BY: FLOOR: A4.1

EXTERIOR MATERIAL SCHEDULE

TITLE	TYPE	INFO
ROOF	TILE ROOFING	US TILE/ CARMEL BLEND
SIDING	STUCCO	SMOOTH/BEIGE
EXTERIOR TRIM	SQR. EDGE - 4" HT. X 2" DPT.	DECORAMOULD/WHITE
CLOUMAN	STONE VENEER	VERSETTA STONE VENEER
GARAGE DOOR	vinyl	Garage Door Windows Decals
DOOR	Feather River Doors	BROWN COLOR
WINDOWS	MILGARD	TUSCANY /BROWN

STUCCO



TILE ROOFING



versetta stone veneer



GARAGE DOOR

