

2892 Sycamore Way, Santa Clara, CA 95051

**FIRE NOTES:**

**COMMENT #1:** REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS AND WATER SUPPLY AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.

**COMMENT #2:** FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE- AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET. EXCEPTION: A ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1,000 SQUARE FEET OF BUILDING AREA. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY C.B.I.

**COMMENT #3:** WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

**COMMENT #4:** CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33

**COMMENT #5:** ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1 TO PREVENT PLAN REVIEW AND INSPECTION DELAYS, THE ABOVE NOTED DEVELOPMENTAL REVIEW CONDITIONS SHALL BE ADDRESSED AS "NOTES" ON ALL PENDING AND FUTURE PLAN SUBMITTALS AND ANY REFERENCED DIAGRAMS TO BE REPRODUCED ONTO THE FUTURE PLAN SUBMITTAL. PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7



**VICINITY MAP:**



PROPERTY LOCATION

**PROJECT DATA**

A.P.N	293-21-010
PROJECT LOCATION:	2892 Sycamore Way, Santa Clara, CA 95051
ZONING:	R-1-6
OCCUPANCY GROUP:	R - 3 / U
CONSTRUCTION TYPE:	V - B
NUMBER OF FLOORS:	TWO (2) STORY
FIRE PROTECTION:	SPRINKLERED

**SCOPE OF WORK:**

NEW 2 STORY COSTUME HOME  
3970 SQF BUILDING AREA INCLUDING 5 BEDROOMS  
4 1/2 BATHS, 1 LAUNDRIES, 2 CAR GARAGE

**SHEET INDEX**

- T.1.1 COVER SHEET
- A0.1 SITE PLAN
- A1.0 DEMOLITION PLAN
- A1.1 EXISTING FLOOR PLAN
- A1.2 PROPOSED 1ST FLOOR PLAN
- A1.3 PROPOSED 2 ST FLOOR PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A3.1 SECTIONS & STREETSCAPE ELEVATION
- A4.1 MATERIAL & STREET VIEW
- A5.1 ARCHITECTURAL DETAIL

**AREA CALCULATION:**

SITE AREA	APPROX.	11,589 S.F.
E FLOOR AREA		2,197 S.F.
N 1ST FLOOR LIVING AREA:		2,111 S.F.
N 2ST FLOOR LIVING AREA:		1,450 S.F.
N TOTAL LIVING AREA:		3,561 S.F.
WORKOUT AREA:		69 S.F.
N GARAGE:		436 S.F.
N TOTAL BUILDING:		4,066 S.F.

FLOOR AREA RATIO (FAR) = (4,066/11,589)X100=35%

LOT COVERAGE: 1st FLOOR BLDG AREA (2180+436) S.F	
FRONT COVERED PORCH	110 S.F
REAR COVER PORCH	35.5 S.F
REAR COVER SHED	132 S.F
TOTAL:	2,893.5/11,589X100= %25



21066 HOMESTEAD RD SUITE# 180  
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Clara, CA 95051

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, QUALITY AND COMPLIANCE TO THE EXISTING SITE. ANY DISCREPANCIES AND DEVIATED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY UPON DISCOVERY BY THE CONTRACTOR. UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR PROCEEDS TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED TO HIM BY THE OWNER. THE CONTRACTOR SHALL NOT RELY ON THE INFORMATION PROVIDED BY THE OWNER AS A BASIS FOR HIS DESIGN OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED TO HIM BY THE OWNER. THE CONTRACTOR SHALL NOT RELY ON THE INFORMATION PROVIDED BY THE OWNER AS A BASIS FOR HIS DESIGN OR CONSTRUCTION.

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NO.	DESCRIPTION	DATE	BY
1			

**PROGRESS**

BUILDING OWNER APPROVAL DATE:	ARCHITECT SIGNATURE DATE:
CONTRACTOR APPROVAL DATE:	ARCHITECT SIGNATURE DATE:

**RESIDENTIAL**

COVER SHEET			
NORTH	DATE	PLOTTING SCALE	DRAWING
			T.1.1

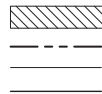
**GRADING and DEMO NOTES:**

1. CONTACT PUBLIC WORKS, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAINS/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. ALL NEW ELECTRICAL SERVICE (POWER, PHONE, AND OR CABLE) SHALL BE UNDER GROUND.
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL WITH EXCEPTION:
  - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
  - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION

**TREE PROTECTION NOTES:**

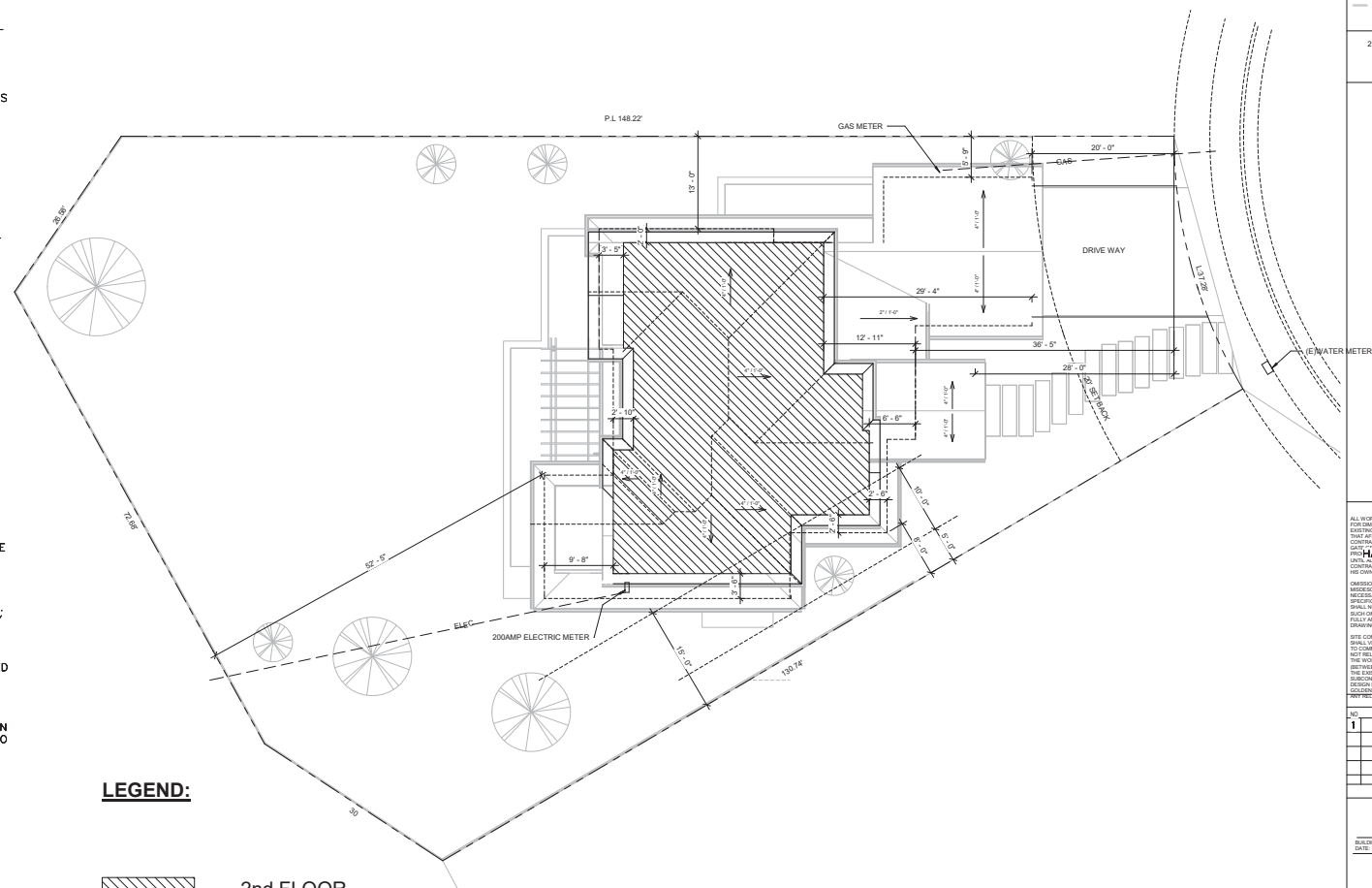
11. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.
1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREE(S).
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
3. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
4. IF THE TRENCHING IS REQUIRED TO PENETRATE THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS. PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
5. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
6. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
7. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
8. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSEE, AS DEFINED BY CALIFORNIA BUSINESS AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
9. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
10. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
11. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.

**LEGEND:**



2nd FLOOR PROPERTY LINE  
 BLDG 1st FLOOR FOOTPRINT LINE  
 BLDG 2nd FLOOR FOOTPRINT LINE

2 SITE PLAN  
 1/8" = 1'-0"



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ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR ACCURACY AGAINST THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE GOLDEN GATE ARCHITECTURAL GROUP IMMEDIATELY TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE PROCEEDING AT HIS OWN RISK.

BASED UPON THE DRAWINGS AND SPECIFICATIONS ON THE MEASUREMENTS OF THE WORK WHICH IS SHOWN. THE CONTRACTOR SHALL VERIFY CONDITIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF EXTRACTING THE WORK IF UNEXPECTED DISCREPANCY OR OMISSION.

STATE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY CONDITIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF EXTRACTING THE WORK IF UNEXPECTED DISCREPANCY OR OMISSION.

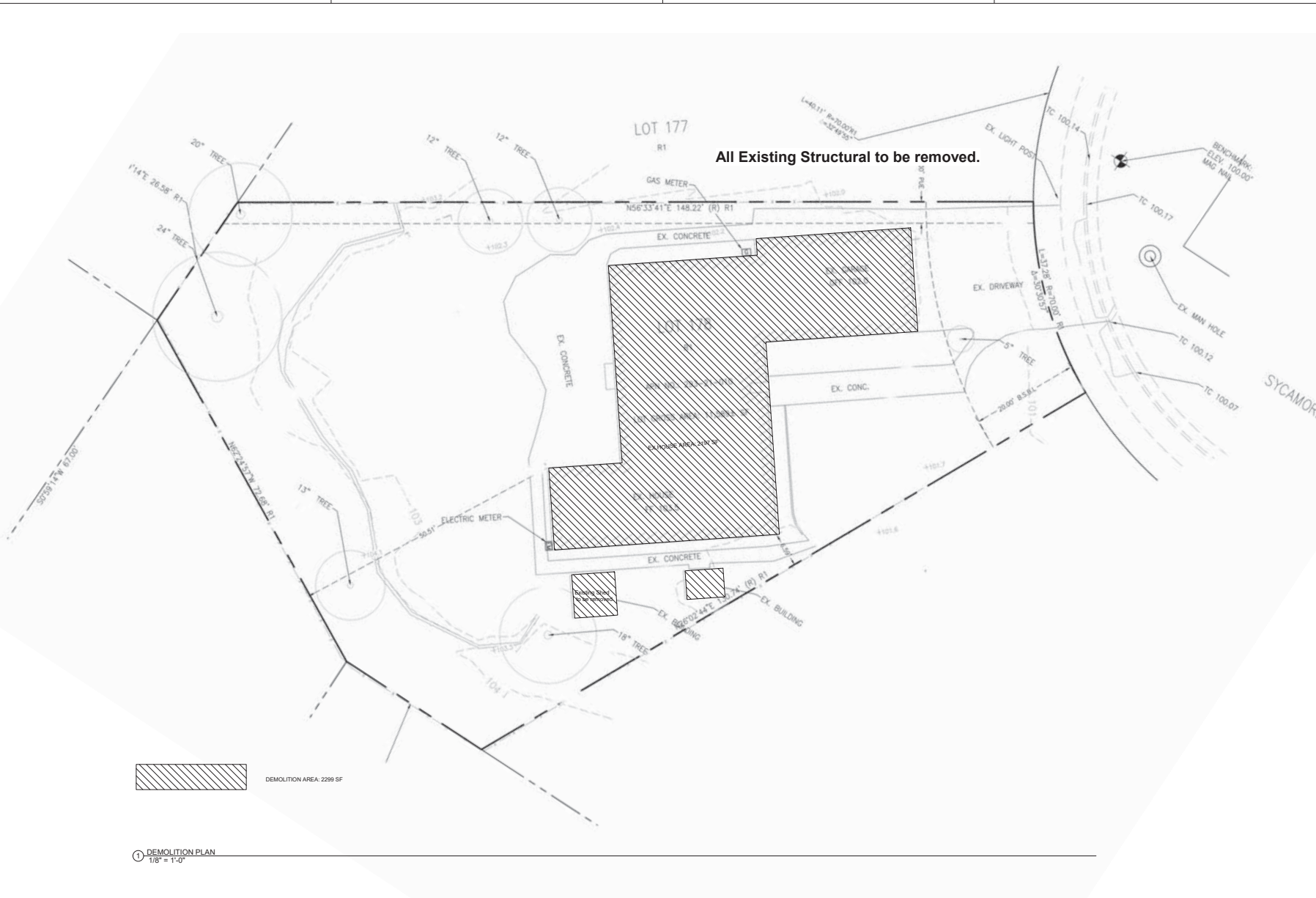
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**PROGRESS**

BUILDING OWNER APPROVAL DATE:	DESIGNER ARCH SIGNATURE DATE:

RESIDENTIAL

SITE PLAN			
NORTH	DATE	PROJECT	SCALE
DRAWN	CHK BY	FLOOR	DRAWING
			A0.1



All Existing Structural to be removed.

 DEMOLITION AREA: 2299 SF

1 DEMOLITION PLAN  
1/8" = 1'-0"



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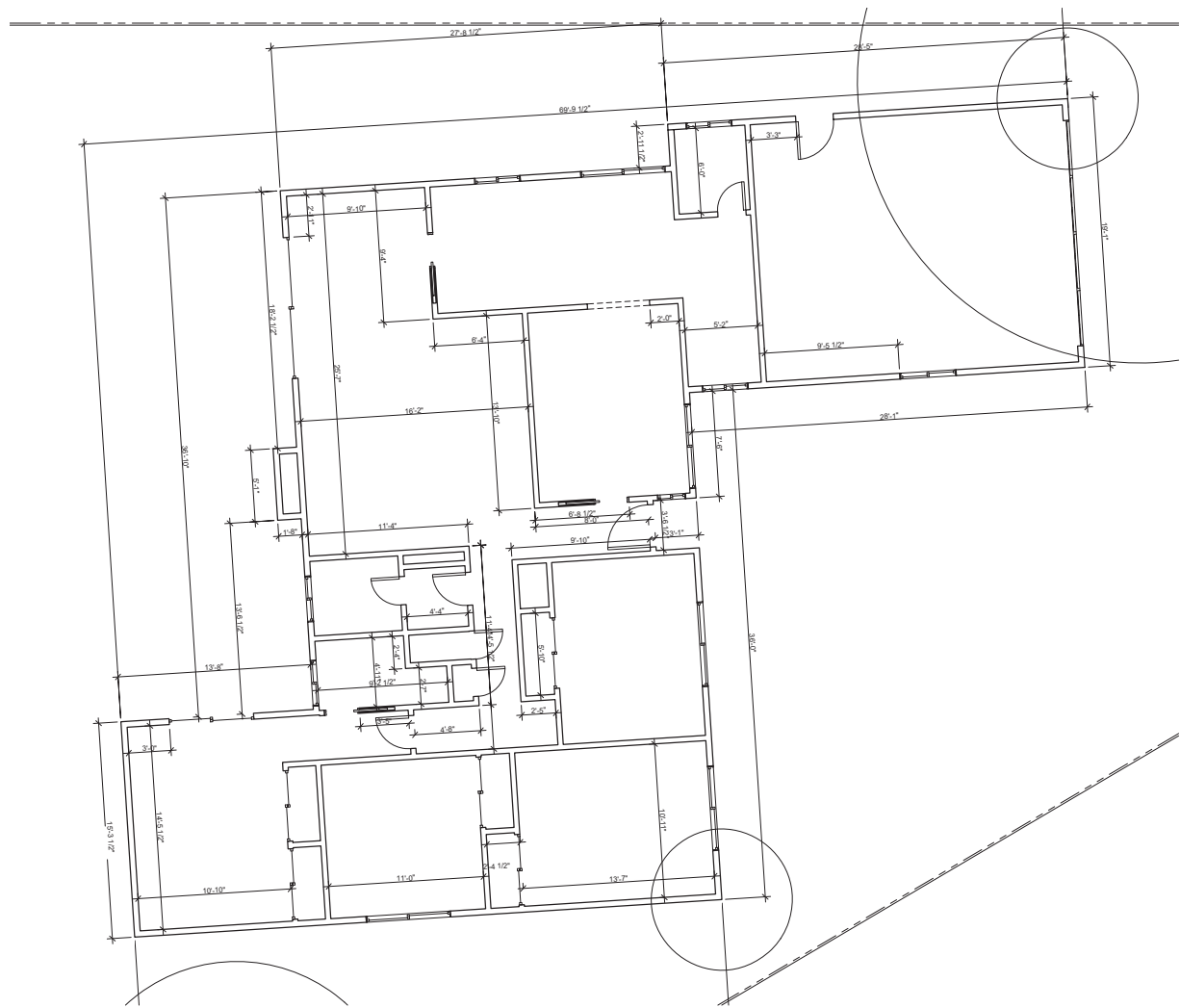
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**PROGRESS**

BUILDING OWNER APPROVAL DATE:	DESIGNER/ARCHITECT SIGNATURE DATE:
CLIENT/PROPERTY APPROVAL DATE:	

**RESIDENTIAL**

DEMOLITION PLAN			
NORTH	DATE	PROJECT NO.	SCALE
			
DRAWN	CHECKED	FLOOR	A1.0



1 EXISTING FLOOR PLAN  
1/4" = 1'-0"

**WALL**

- EXISTING WALL TO REMAIN
- - - - - WALL TO BE REMOVED/ WDW. OR DR. TO INFILL

- INTERIOR ENVIRONMENT**  
1. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1/150 OF UNDER FLOOR AREA. (R408.1)
- BUILDING ENVELOPE**  
1. DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1.
2. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.



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CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FROM THE DRAWINGS AND SPECIFICATIONS TO THE EXISTING SITE. THE CONTRACTOR SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH DUTIES OR BE DESCRIBED IN FULL OF THE WORKSHEETS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

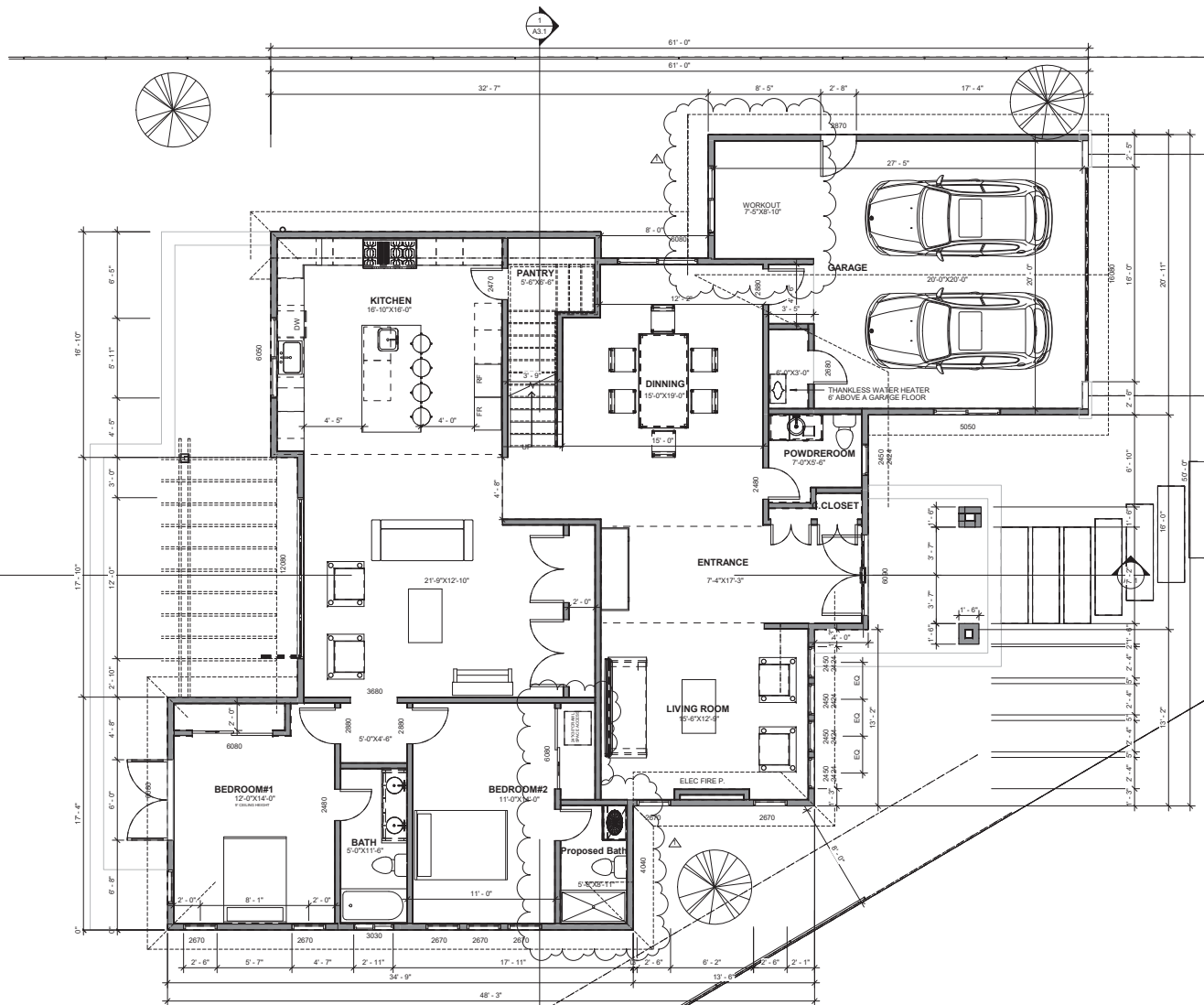
SITE CONDITIONS: ALL CONTRACTORS AND SUB-CRONTACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK'S VARIATION, DISCREPANCY OR DESIGN.

INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACTOR'S OBLIGATION TO FOLLOW THE CONTRACTOR'S DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM GOLDEN GATE GROUP ARCHITECTS PRIOR TO PROCEEDING WITH ANY RELATED WORK.

1	REVISION:	DATE:
NO	DESCRIPTION	DATE BY
(PROGRESS)		
BUILDING OWNER APPROVAL:		DATE:
CLIENT/ARCHITECT APPROVAL:		DATE:
CLIENT/ARCHITECT SIGNATURE:		DATE:

RESIDENTIAL

EXISTING FLOOR PLAN			
NORTH	DATE	PLOTTING SCALE	DRAWING
DRAWN	CHECKED BY	FLOOR	A1.1



1 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

**LEGEND:**



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THESE CONTRACT DOCUMENTS AND THE CONTRACTOR'S OBLIGATIONS ARE SUBJECT TO THE CONTRACTOR'S OBLIGATIONS UNDER THE DESIGN IN WRITING AND DESIGN WRITTEN DISCUSSION FROM GOLDEN GATE GROUP ARCHITECTURAL & CONSTRUCTION.

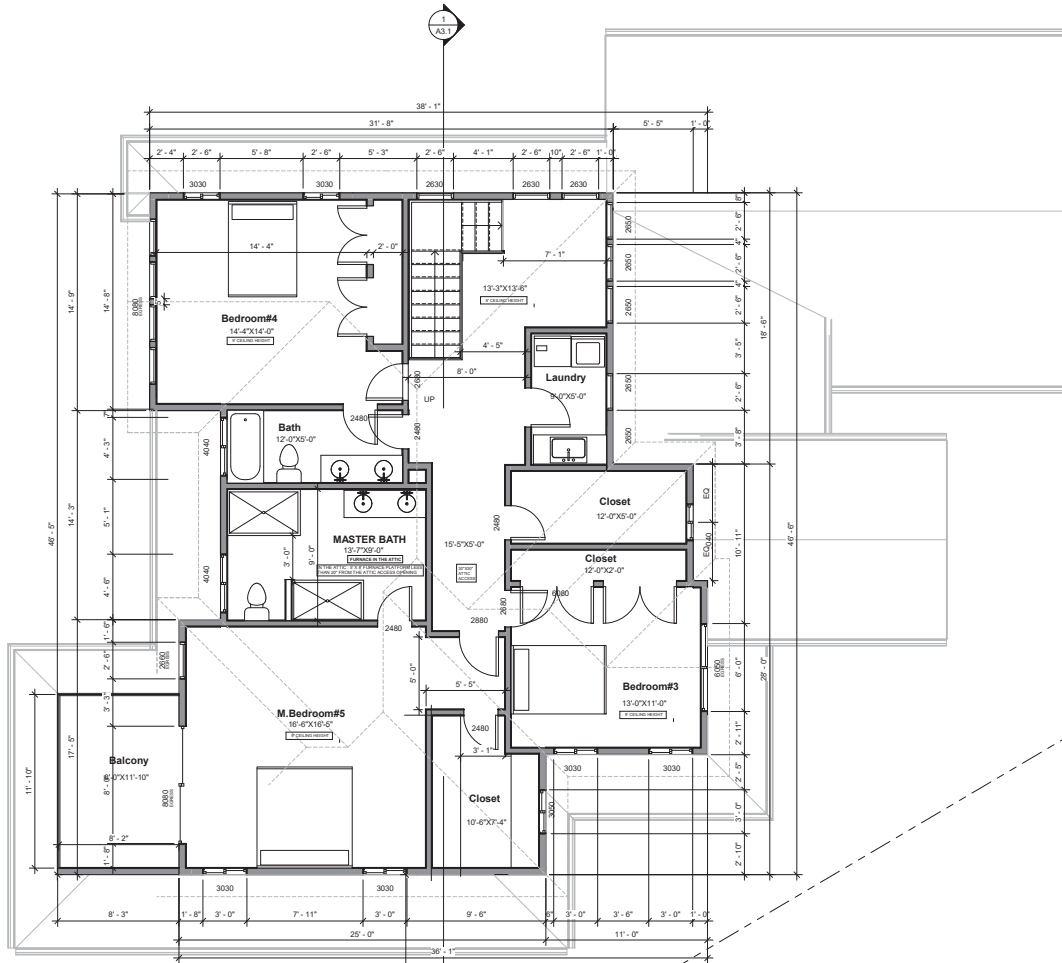
NO.	DESCRIPTION	DATE	BY
1	PROPOSED BATHROOM	July 26	
2	WORKOUT	July 26	

**PROGRESS**

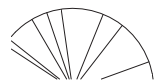
BUILDING OWNER APPROVAL DATE:	RESIDENTIAL ARCH. SIGNATURE DATE:
CLIENT/OWNER APPROVAL DATE:	

**RESIDENTIAL**

PROPOSED FLOOR PLAN			
NORTH	DATE	PROJECT NO.	SCALE
DRAWN	CHK'D BY	FLOOR	A1.2



① SECOND LEVEL  
1/4" = 1'-0"



**LEGEND:**

NEW CONSTRUCTION WALL



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CONDITIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS WAIVED BY NECESSITY TO COMPLY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR PERFORMING SUCH DUTIES OR BE DESCRIBED IN FULL OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

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BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACT CONDITIONS ARE VOIDED, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY GOLDEN GATE GROUP ARCHITECTURAL AND CONSTRUCTION IMMEDIATELY UPON DISCOVERY OF SUCH DISCREPANCIES OR OMISSIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

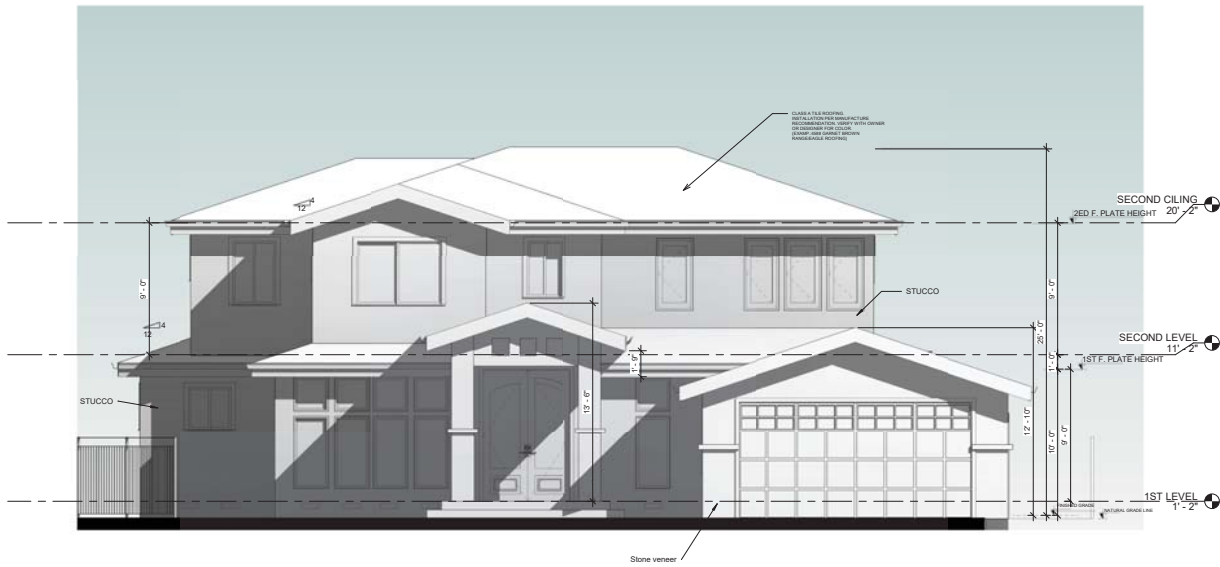
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**PROGRESS**

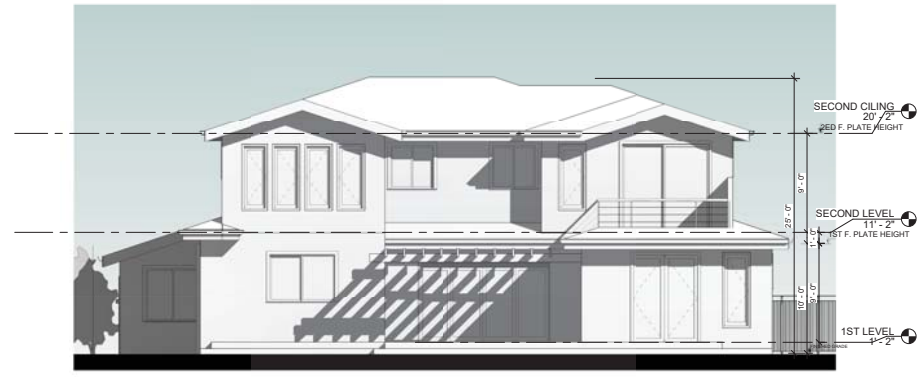
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CLIENT/OWNER APPROVAL DATE:	DESIGNER/ARCHITECT SIGNATURE DATE:

RESIDENTIAL

PROPOSED SECOND FLOOR			
NORTH	DATE	PROJECT SCALE	DRAWING
DRAWN	CHECKED	FLOOR	A1.3



1 FRONT ELEVATION  
1/4" = 1'-0"



2 BACK ELEVATION  
3/16" = 1'-0"



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Clara, CA 95051

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, QUANTITY, LOCATION AND COMPLETION TO THE EXISTING SITE. ANY DISCREPANCIES AND CORRECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE GOLDEN GATE GROUP ARCHITECTS AT THE END OF EACH WORK DAY. ALL SUCH DISCREPANCIES ARE RESOLVED IF THE CONTRACTOR AGREES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.  
DISCREPANCIES FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO COMPLY WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS EVIDENTLY FALSE, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK AS IS DESCRIBED IN FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.  
SITE CONDITIONS, ALL CONTRACTORS AND SUB-CRONTACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK IN VARIATION, DISCREPANCY OR OMISSION.  
BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACT CONDITIONS ARE VOID. THE CONTRACTOR OR SUB-CRONTACTOR SHALL NOT BE HELD LIABLE FOR ANY DESIGN IN WRITING AND DESIGN INTENTION FROM GOLDEN GATE GROUP ARCHITECTS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

NO.	DESCRIPTION	DATE	BY
1			

PROGRESS

BUILDING OWNER APPROVAL  
DATE: \_\_\_\_\_

CLIENT/TENANT APPROVAL  
DATE: \_\_\_\_\_

DESIGNER/ARCHITECT SIGNATURE  
DATE: \_\_\_\_\_

RESIDENTIAL

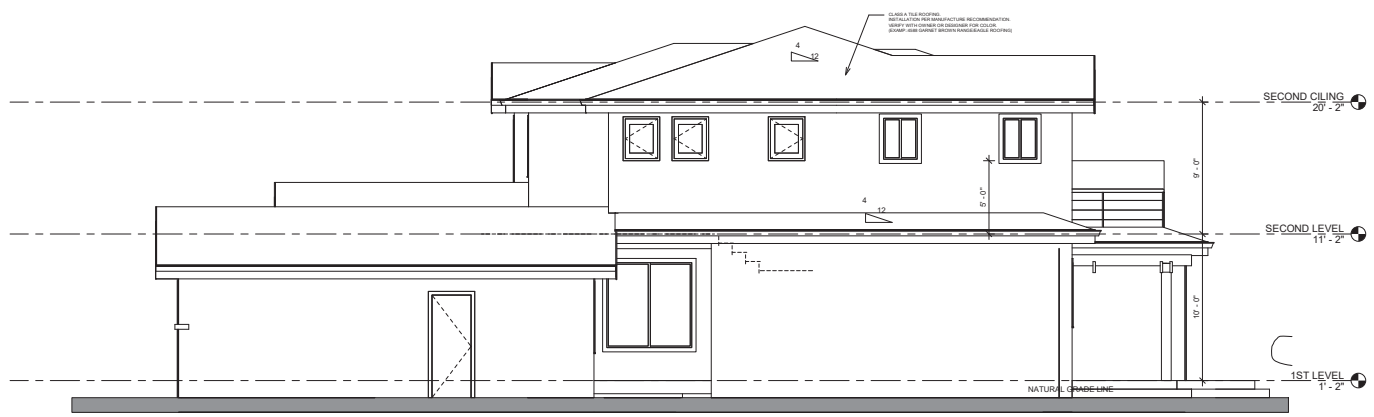
EXTERIOR ELEVATIONS

NORTH	DATE	PROJECT	SCALE	DRAWING



21066 HOMESTEAD RD SUITE# 180  
CUPERTINO, CA 95014  
TEL: (408) 708-1234  
EMAIL: OFFICE@GOLDENGATEGROUP.COM

**RESIDENTIAL :**  
2892 Sycamore Way, Santa  
Clara, CA 95051



1 NORTH ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, QUANTITY, LETTER AND CORRESPONDENCE TO THE EXISTING SITE. ANY DISCREPANCIES AND DEVIATED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE GOLDEN GATE GROUP ARCHITECTS AT THE EARLIEST OPPORTUNITY. UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR PROCEEDS TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS EVIDENTLY FALSE, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK OR FROM DESCRIBING DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

THE CONTRACTOR, ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK IN VARIATION, DISCREPANCY OR OMISSION.

IN THE EVENT OF ANY DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE CONTRACT CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY GOLDEN GATE GROUP ARCHITECTS IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM GOLDEN GATE GROUP ARCHITECTS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

NO.	DESCRIPTION	DATE	BY
1			

**PROGRESS**

BUILDING OWNER APPROVAL  
DATE: \_\_\_\_\_

CLIENT/TENANT APPROVAL  
DATE: \_\_\_\_\_

DESIGNER ARCHIT. SIGNATURE  
DATE: \_\_\_\_\_

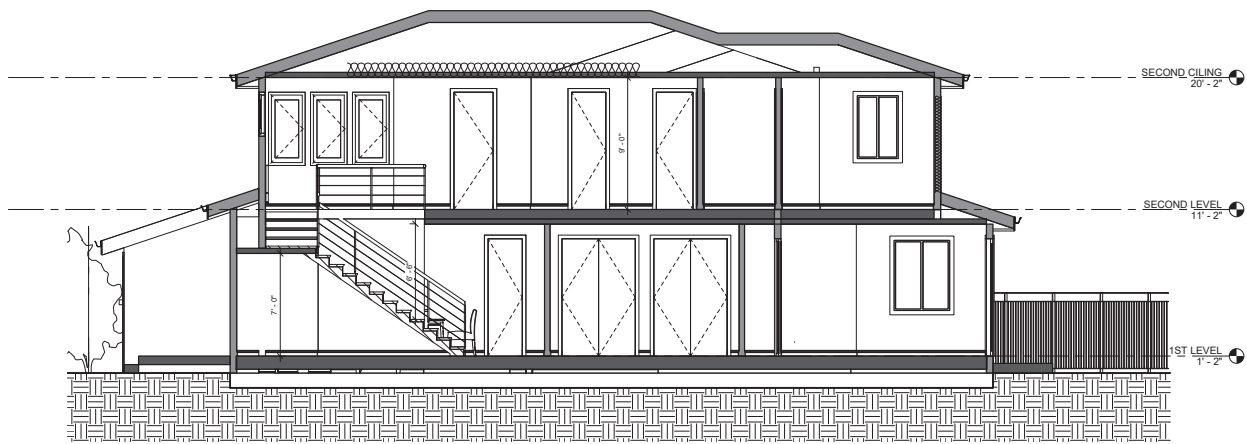
RESIDENTIAL

**EXTERIOR01 ELEVATIONS**

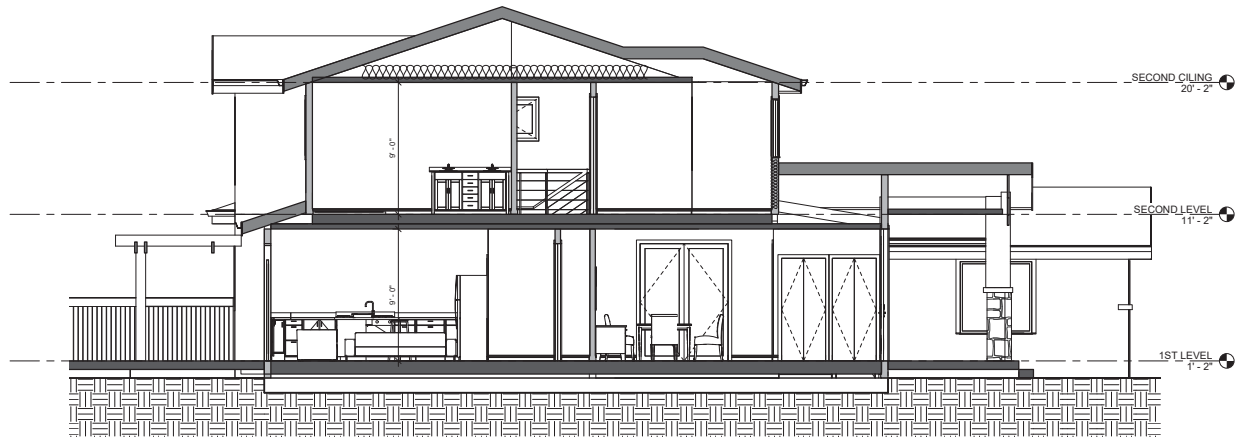
NORTH	DATE	PROJECT	SCALE	DRAWING

DRAWN	CHECKED	FLOOR	A2.2





1 A-A  
1/4" = 1'-0"



2 B-B  
1/4" = 1'-0"



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Clara, CA 95051

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, QUANTITY, LOCATION AND COMPLETION TO THE EXISTING SITE. ANY DISCREPANCIES AND CORRECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE GOLDEN GATE GROUP ARCHITECTS AT THE FIRST MEETING FOLLOWED BY THE ARCHITECTS' OFFICE. UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED, IF THE CONTRACTOR CHOOSES TO PROCEED, HE SHALL BE PROCEEDING AT HIS OWN RISK.

DISCREPANCIES FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CONTRADICTORY THEREIN, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK OR BE DESCRIBED IN FULL OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

THE CONTRACTOR, ALL CONTRACTORS AND SUB-CRONTACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTABLISHING THE WORK AS INTENTION, CORRECTNESS OR DESIGN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OBTAIN WRITTEN RESOLUTION FROM GOLDEN GATE GROUP ARCHITECTS PRIOR TO PROCEEDING WITH ANY CONTRACT WORK.

NO.	DESCRIPTION	DATE	BY
1			

**PROGRESS**

BUILDING OWNER APPROVAL DATE:	RESIDENTIAL ARCH. SIGNATURE DATE:

**RESIDENTIAL**

SECTIONS			
NORTH	DATE	PROJECT/SCALE	DRAWING

DRAWN: CKB/BJ FLOOR: A3.0



Existing View



Front Rendering View

## EXTERIOR MATERIAL SCHEDULE

TITLE	TYPE	INFO
ROOF	TILE ROOFING	US TILE/ CARMEL BLEND
SIDING	STUCCO	SMOOTH/BEIGE
EXTERIOR TRIM	SQR. EDGE - 4" HT. X 2" DPT.	DECORAMOULD/WHITE
CLOUMAN	STONE VENEER	VERSETTA STONE VENEER
GARAGE DOOR	vinyl	Garage Door Windows Decals
DOOR	Feather River Doors	BROWN COLOR
WINDOWS	MILGARD	TUSCANY /BROWN

STUCCO



TILE ROOFING



versetta stone veneer



GARAGE DOOR



ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSIONS, QUALITY, LETTERING AND COMPLIANCE TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES UNLESS ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR PROCEEDS TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL CITY, COUNTY AND STATE REGULATIONS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR OBTAINING PERMITS OR FOR THE COST OF SUCH PERMITS OR FOR THE COST OF THE WORK AS FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

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NO.	DESCRIPTION	DATE	BY
1			

### PROGRESS

BUILDING OWNER APPROVAL DATE:

CLIENT/ARCHITECT APPROVAL DATE:

RESIDENTIAL

### MATERIAL & STREET VIEW

NORTH	DATE	PROJECT	SCALE	DRAWING

DRAWN: CKB BY: FLOOR: A4.1