

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary# _____
HRI# _____
Trinomial _____
NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 22

*Resource Name or #: (Assigned by recorder) *Joseph Pereira House*

P1. Other Identifier: *688 Monroe St., Santa Clara. CA.*

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Santa Clara

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Jose West Date 1980 photo revised T 7S; R 1W; unsectioned; Mt. Diablo B.M.

c. Address 688 Monroe Street City Santa Clara Zip 95050

d. UTM: (Give more than one for large and/or linear resources) Zone _____, _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: *269-36-04*

Southwest corner of Monroe and Santa Clara Streets

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The subject property at 688 Monroe Street is located in the urban setting of a block of houses with tree lined streets that was primarily developed in the first quarter of the twentieth century. The homes have similar setbacks from the street with urban sized front yards. The lots have varying widths, ranging from 45' to 110.' The block is currently a mixture of historic homes, such as those which front on Monroe and Santa Clara Streets, and ones which are of later construction (currently the block has five homes listed on the City's Inventory of Architecturally or Historically Significant properties, with others eligible). Like the that of the neighboring blocks in the "Old Quad," the streetscape is a pleasant one and, to a large part, evokes the sense of an early twentieth century neighborhood.

(Continued on page 2, form 523L)

*P3b. Resource Attributes: (List attributes and codes) *HP2 Single – Family Property*

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P5b. Description of Photo: (view, date, accession #)

Front façade (view toward West) Photo No: 100_2689, 08/2020

*P6. Date Constructed/Age and Source:

☒ Historic ☐ Prehistoric ☐ Both
ca, 1893

Assessor's Records, Census Records, City Directories, Sanborn Maps,

*P7. Owner and Address:

*Mark Rogers and Genevieve Bever Rogers
688 Monroe Street
Santa Clara, CA 95050*

*P8. Recorded by: (Name, affiliation, and address)

*Lorie Garcia
Beyond Buildings
P.O. Box 121
Santa Clara, California 95052*

*P9. Date Recorded: *September 13, 2020*

*P10. Survey Type: (Describe) *Intensive*

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *Historic Resources Inventory Form "688 Monroe St.," dated Nov. 10, 1980.*

*Attachments: ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 2 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 1, Form 523A, P3a. Description)

The primary building on the site is a 2783 sq. ft., two-story residence, which was constructed circa 1893 as a small one-story house, designed in the Queen Anne Cottage architectural style and remodeled in 1975 with the addition of a second story. The addition was sensitively done and today the building resembles an oversized Queen Anne cottage. Situated on a 70' x 10,' 7,209 sq. ft lot at the south-west corner of Monroe and Santa Clara Streets, the house fronts roughly east onto Monroe Street and is set back from the street allowing for a large cultivated lawn with trees, narrow planting beds and ornamental shrubbery. As it is offset on its corner lot, ample yard space also exists on the north side of the property. A wide concrete driveway, edged with a narrow planting strip is located at the rear of the house. This driveway opens onto Santa Clara Street. There is no garage. (The original garage was removed for the 1975 extension of the house with only part of its foundation remaining to mark the original location.)

A straight concrete walkway, leads from the Monroe Street sidewalk to the front entry. Narrow concrete walkways, which branch off from this walkway, lead to both sides of the house. That on the home's north (Santa Clara Street) side, leads to a secondary entry near the rear of the north side-elevation. The walkway providing access to the south side of the property leads to a smaller side yard, which is mainly finished in concrete and square pavers. A high wood fence with an access gate, which runs between the house and a similar fence on the south property line, separates this elevation from the front. A high wood gate, which runs between the rear of the house and a fence on the west property line secures access from Santa Clara Street. There is no rear yard.

Designed in an asymmetrical plan with a rectangular footprint, this wooden, single family residence is set on a concrete foundation over a partial basement, which elevates the living area approximately 4 feet above the ground. Characteristic of the Queen Anne style, it is distinguished by a wide variety of roof planes, with cross-gables dominating the lines. A large dormer (original) punctuates the lower gabled roof (original) with a very low relief hipped roof (original) covering the small, square, wrap-around front porch. A two-story, square tower (not original although a common Queen Anne feature) with a front facing gable roof, is placed at the SE corner of the front façade. On the south-side elevation, a narrow, shed roof (not original) projects between the first and second story of the 1975 addition and runs from the tower to the rear. Composition shingles sheathe the various roof forms. The roof planes are further distinguished by molded cornices, gable returns and moderately projecting boxed eaves (all character defining features of the Queen Anne architectural style).

Supplemental Photograph or Drawing



According to McAlester, the "Queen Anne [architectural style] uses wall surfaces as primary decorative elements." Among the ways this could be accomplished was by avoiding flat wall surfaces by devices such as incorporating bay windows (primarily angled [cut-away] bay windows) with gables that project beyond the bays or by incorporating inserts or projections which "provide random changes in the flat horizontality of the wall plane" and by wall texture variations such as the use of patterned shingles. Several of these "devices" are utilized in the construction of the subject residence at 688 Monroe Street.

The residence is sheathed in wide, horizontal wood siding (the 1975 siding matches the original) and vertical corner boards finish the wall ends. On the front (east) façade, brick sheathes the base of the

(Continued on page 3, Form 523L)

Description of Photo: (view, date, accession #)
(Camera pointing S) North side-elevation and partial front facade, from the corner of Monroe and Santa Clara Streets. Photo No: 100_2646; 8/2020.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 3 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 2, Form 523L)

porch and tower from ground to floor level (not original). A full-height, gable roofed, angled bay (original) projects from the north side-elevation. The areas above and beneath the bay's windows are filled with framed wooden panels, which highlight the angled bay (original). A front facing gable sheathed with a pattern of both square-butt and fish-scale shingles (typical to the Queen Anne "Spindlework" decorative detail subtype) overhangs the bay. Similar fish-scale shingles sheathe the face of the gabled projection on the front façade. Additional elements of the "Spindlework" subtype, which this home exhibits, are the delicate turned posts and carved brackets used to support the porch roof and the carved brackets and pendants which trim the angled bay's cut-away windows. (All the "Spindlework" details are character-defining features and are original.)

A brick fireplace chimney from the 1975 modification, which projects from the two-story rear (west) façade and breaks up the flat horizontality of that elevation, provides another example of avoidance of flat wall surfaces.

Originally the front porch was full width. However, the 1975 addition of the gable-roofed, two-story tower truncated the porch to the left of the original gable-roofed projection containing the main entry door and today it is approximately two-thirds its original size. The porch railing consists of a balustrade with simple balusters (original) that connects to the house at the open corner of the porch and to the turned porch posts. Running from a turned porch column to a newel post with a ball cap on a bottom step, a similar balustrade edges each side of the entry stairs. (The balustrade and newel posts are original.)

The main entry is on the front (east) façade and is accessed by seven (7) wide, brick steps (not original) that lead from the walkway from Monroe Street to the wood porch. The front door is set into center of the original gable-roofed projection that now abuts the two-story tower and faces Monroe Street. The wooden front door (original) has a design of three narrow, rectangular, horizontally orientated, wood panels surmounted by a single large clear glass pane with three small square wood panels inset above the glass pane. All the wood panels and glass pane are trimmed with molding. It is set into its original opening. As is typical in Queen Anne homes, the door surround is simple. All the trim on the entry is original.

A secondary entrance set near the rear of the Santa Clara Street side-elevation's 1975 addition, is accessed by six (6) wide wooden steps that lead to a wide, medium depth, wood landing and a pair of wood-framed, glass French doors, which open outward. A plain wood railing with simple balusters lines each side of the steps. Simple wood trim surrounds the entry doors.

Three secondary entrances into the 1975 extension are located on the south side-elevation. Set into the middle of this elevation and accessed by six (6) wood steps with simple wood railings, which lead to a small railed wood deck, that's supported on wood posts, the frontmost entry leads into the main body of the house. The remaining two entrances are located in the shed and gable-roofed, enclosed extension that projects at the rear of the home's south side-elevation. Set at ground level, the innermost entry provides access to a basement living unit. Accessed by three (3) wood and one concrete step, with simple wood railings and balusters and set on a concrete landing, the furthestmost entry opens into the house. Both entry doors opening into the house are wooden, inset with four large wood vertical panels surmounted by two small panels. The entry door into the basement unit is plain unembellished wood.

Other character-defining features of this home include its windows and window trim, which are mainly typical Queen Anne style where one-over-one sash windows are common. Fenestration is simple, mainly rectangular in form, vertically oriented, paired and single double-hung wooden windows, trimmed with wide boards.

Fenestration of the first story is rectangular in form, vertically oriented, 1-over-1, double-hung wooden windows with projecting sills. The original windows have a molded apron and are supported by decorative brackets. They are trimmed with wide boards. Those on the 1975 addition's north side-elevation and rear facade closely match the original. A distinction lies in the window trim, which is somewhat narrower in the addition's windows, and in that the windows have no aprons or brackets. Metal framed and vinyl-clad windows are set into the single-story rear projection of the south side-elevation. Fenestration of the second story is rectangular in form, mainly horizontally oriented, 1-over-1, double-hung wooden windows with a small pair of casement windows set near the front of the north side-elevation.

Fenestration of the angled bay on north side elevation, consists of a large, square, fixed, clear glass window surmounted by a smaller, horizontally orientated, rectangular, decorative window, which has a design of diamond shaped panes with crossed muntins surrounded

(Continued on page 4, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 4 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 3, Form 523L)

by rectangular panes. Decorative molding separates the two central windows. Each cut-away side window is a rectangular, narrow, 1-over-1 double-hung window. A medium size, vertically orientated, 1-over-1 double-hung window is set near the apex of the bay's gable face. (All of the angled bay's windows are original.)

An unusual feature is the ornamental, round-arched window set into a rectangular opening in the gable façade of the two-story tower.

The property is in good condition and appears to have had minimal change since its 1979 designation as a "Remodeled Queen Anne Cottage" and placement on the City's Inventory of Historically Significant Properties.

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code *N/A*

Page 5 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

B1. Historic Name: *None*

B2. Common Name: *None*

B3. Original Use: *Single family residential*

B4. Present Use: *Single family residential*

*B5. Architectural Style: *Remodeled Queen Anne Cottage*

*B6. Construction History: (Construction date, alterations, and date of alterations)

The residence was constructed circa 1893. House enlarged; extended to rear with original rear porch removed, second story and two-story tower constructed truncating original front porch, side entries added as a result of 1975 remodel. Accessory vehicle-structure demolished.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features: *None.*

B9a. Architect: *Not known*

b. Builder: *Not known*

*B10. Significance: Theme *Architecture and Shelter* Area *Santa Clara Old Quad*

Period of Significance *1893-1975* Property Type *Residential* Applicable Criteria *none*

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The parcel located at 688 Monroe Street is a portion of a larger parcel that had originally been identified as Block 4 South, Range 4 West, of the original survey of the City of Santa Clara. This survey was done July 1866 by J. J. Bowen and recorded on August 22 of that same year. (It is this survey that forms the basis for the part of Santa Clara known as the "Old Quad.")

As shown in J. J. Bowen's survey, in 1866 Block 4 South, Range 4 West (B4S, R4W) encompassed the entire block framed by Santa Clara, Madison, Market and Monroe Streets. According to the list of property owners and their improvements, which accompanied the survey, Lot 1 was a 91500 sq. ft. tract that contained a frame house and an orchard. The owner of that lot was shown to be a Mr. Levy. When the Plat of Santa Clara was drawn in the period between 1873 and 1875, it showed no change in the configuration of the block that had been surveyed nine years earlier. However, the ownership of the block had changed and it was now owned by W. J. Chapman. A wealthy real estate developer who resided in San Francisco, William J. Chapman did not live on the site and if someone did occupy the property, his identity is not known.

A successful gold miner, Harvey Morgan Leonard arrived in Santa Clara County in 1861 where he purchased the 280-acre Quito ranch. After improving it, in 1875 H. M. Leonard sold the ranch and moved into Santa Clara. Here he became a prominent businessman, serving on the Santa Clara County Board of Supervisors and as a trustee of the Santa Clara School Board. Among other business enterprises, in

(Continued on page 6, Form 523L)

B11. Additional Resource Attributes: (List attributes and codes) *HP2 – Single Family Property*

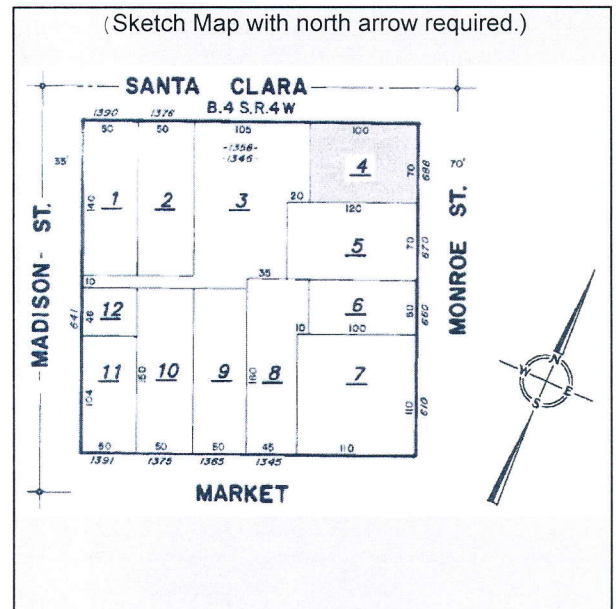
*B12. References: *Carter, Jill (Hughes), Communication with Lorie Garcia, July-August, 2020; Garcia, Lorie, "Santa Clara: From Mission to Municipality," 1997, Franklin Street: A Journey Through Time," 2020; Manifest of the SS "Monarch," Consulado Geral de Portugal Em Hawaii, 1882; Map of the Town of Santa Clara, drawn by C. E. Moore, 1893; McAlester, Virginia Savage, "A Field Guide to American Houses," Revised ed., 2013; Polk and Husted City Directories, 1891-1974; Sanborn Fire Insurance Maps, 1891, 1901, 1915, 1930, 1950; Santa Clara Commercial League, "Progressive Santa Clara," 1904; San Jose Mercury News, 01/06/1955; The Evening News, 03/02/1889, 08/27/1901, 11/21/1902, 07/25/1918; Thrum, Thomas G., "Hawaiian Almanac and Annual for 1887," 1886; United States Census, 1870, 1880, 1900, 1910, 1920, 1930, 1940.*

B13. Remarks:

*B14. Evaluator: *Lorie Garcia*

*Date of Evaluation: *September 13, 2020*

(This space reserved for official comments.)



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 6 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 5, Form 523B, B10. Significance)

Santa Clara, Leonard was on the Bank of Santa Clara County's Board of Directors and the bank's Vice-President and manager, along with serving on the Board of Directors of the Garden City National Bank in San Jose.

Upon his arrival in Santa Clara, H. M. Leonard had also invested in real estate and by the end of the 1880s had purchased Block 4 South, Range 4 West along with other Santa Clara properties, such as the south half of Block 4 North, Range 1 West. A period of growth in Santa Clara during the last decade of the nineteenth century would result in the expansion of residential development and several of the large tracts in the town were subdivided. Starting in 1890, with his Harrison Street property, Harvey M. Leonard was among the first large property owners to start developing his land-holdings in the town. However, as illustrated on the 1891 Sanborn Fire Insurance map, at this time his B4S, R4W property was still an intact block of undeveloped land with only the orchard and no structures shown.

By December 1893, the Map of the Town of Santa Clara, compiled in by C. E. Moore, the Official Surveyor of Santa Clara, shows that Harvey M. Leonard maintained ownership of B4S, R4W however, at some time during the previous two years, a section of land at the Block's NE corner had been platted into two residential lots, while the balance remained undeveloped. Both lots fronted on Monroe Street and that at the corner of Monroe and Santa Clara Streets is where the subject property at 688 Monroe Street would be constructed. In 1894, H. M. Leonard, was convicted of embezzlement from the Bank of Santa Clara, which had led to its failure the previous May. He was sentenced to San Quentin and filed for insolvency. At this time, his Block 4S, Range 4W property was sold to unknown purchaser(s).

By the time Leonard lost this property there appears to have been a residence in existence on at least one of the lots, as the 1893 City Directory lists Clarence C. and Raymond Peppin, both employed at the Pacific Manufacturing Company, as residing on this block at "Monroe near Santa Clara Street."

The 1900 Census shows that by now Clarence C. Peppin is the owner of the subject residence. Still employed as a carpenter at the Pacific Manufacturing Company, C. C. Peppin had married in 1898 and now lived here with his wife, Carrie, and his 16-year-old brother, Arthur.

Due to the work of entities like the Santa Clara Commercial League, which promoted the area's beautiful climate and the opportunities to be found, at the turn of the 20th century more and more people were attracted to the region. In the Town of Santa Clara, agricultural production expanded and manufacturing enterprises began to grow. This would lead to a rise in the population of Santa Clara during the first decade and one-half of the 20th Century, resulting in an even greater building boom than before.

The first time any structures on this block were depicted on a Sanborn Fire Insurance map was in 1901. The map shows that by now, four residential structures had been constructed on the block, three on the Monroe Street block face and one on the Santa Clara Street block face. Interestingly, only the lot with the subject residence is shown with well-defined property lines marked. The immediately adjacent house and a newer home, which had been constructed on Monroe near Bellomy Street, along with a new home fronting on Santa Clara Street, are all shown on the block with the orchard still in existence in the block center.

The 1910 Census indicates that no additional homes had been constructed on the block during the previous decade and that the occupants of these residential structures had remained the same, with the exception of the subject property. According to this Census, by then the Peppin family had moved to another residence and the home was now rented by 28-year-old Ralph Eaton, an Automobile Dealer for the Maxwell Automobile Company. R. Eaton, occupied the subject home with his wife, Beulah, and their baby daughter, Joyce.

The 1915 Sanborn Fire Insurance map shows that during the preceding five years, the block had been further subdivided and five additional residences constructed. The Block's first four homes occupied two-thirds of the block with the remaining third of block being the area in which the new ones were located; two fronting in Santa Clara, one on Madison and two on Bellomy Street. During this period of time, the subject residence continued to be alternately rented or simply vacant, as it was from 1913-1915. According to the City Directories, by 1916, the residence at 688 Monroe Street was occupied by Francis J. A. O'Farrell, a clerk at Oberdeener's Pharmacy. He moved into the home with his wife, Ann, and his mother, Mrs. Mary J. O'Farrell. In 1920 the O'Farrell's left and moved

(Continued on Page 7, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 7 of 22
Recorded by: Lorie Garcia

*Resource Name or # (Assigned by recorder) Joseph Pereira House

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 6, Form 523L)

to San Francisco and William J. Soares moved into the home. A cannery worker, 26-year-old William rented the home and lived here with his 24-year-old wife, Mary and his 15-year-old, sister-in-law, Josephine Miller. During the 1920s, the home appears to have continued to be used as a rental property with at times being vacant.

In 1930, the residence at 688 Monroe Street was purchased by Frederick W. Fronicke. Born in Germany in 1883, Frederick had immigrated to the United States with his family in 1886 and was a naturalized citizen. He moved into this home from the one he had been renting around the corner at 1393 Santa Clara Street. At the time he purchased the home, Fronicke was employed as a cannery worker at the Pratt-Low Cannery and he lived here with his 44-year-old wife Nora M. Three years later the Fronicke's left this home, moved to San Jose and rented the subject residence to 44-year-old Thomas H. Vodden. An Engineer, Thomas Vodden worked at the City's Municipal Plant and moved into the home with his family. They were his wife, Minnie, who was employed as a sorter at Rosenberg Bros. & Co., and their three sons, Herbert, age 19 and employed as a bank teller, Ward, age 13 and 7-year-old Kent. The Vodden family continued to rent and occupy the home until 1938, it was purchased by Joseph J. Pereira. Joseph and then his descendants would own 688 Monroe Street for the following eight decades.

Among the earliest of the Portuguese families to settle in Santa Clara, after immigrating from Madeira and the Azores Islands via Hawaii, was that of Joseph Pereira. The Pereira family arrived in 1885, while the majority of the immigrant families who comprised Santa Clara's Portuguese community would not arrive in Santa Clara until after 1910, where their compatriots and relatives had located earlier.

The first immigration from Madeira and the Azores Islands to Hawaii had occurred as a result of a suggestion made in 1876 to the Hawaiian plantation owners of the Planters Society (the forerunner of the Hawaiian Sugar Planters Association) that "to give an impetus to sugar growing, in the midst of a scarcity of labor . . . a good class of helpers could be provided from Portugal." Both the environment and economy of Madeira and the Azores Islands were very similar to that of the Hawaiian Islands; they had a subtropical climate and sugarcane had been the mainstay of the economy for over 400 years. Thus, it was felt that Portuguese immigrants could provide the necessary reliable and stable work force needed for the sugarcane plantations. Immigration began in 1878, with the arrival of the bark, "Priscilla," from Madeira carrying 180 passengers. In 1880, immigration from Madeira was suspended and the Hawaiian representative applied to San Miguel in the Azores Islands. In May 1881, the first ship from the Azores Islands arrived in Honolulu.

Born in January 1875, in San Miguel in the Azores Islands, Portugal, in April 1882, 7-year-old Joseph Pereira, his parents, Jacinto and Francisca, along with his brothers and sisters, Manuel (Peter), James (Sigismunde), Mary, Josephine, Joseph and Anthony, left San Miguel on the British steamship, "Monarch," to emigrate to Hawaii. Unlike the previous five sailing ships to make the long and arduous voyage to Hawaii, which took up to 130 days, the journey on this, the first steamship, was 57 days and on June 8th the Pereira family reached Honolulu. Like the other 857 Portuguese passengers, men, women and children, the "Monarch" had carried, the Pereira family was sent to one of the sugar plantations. Finding conditions in Hawaii to be not what they had been promised, at the expiration of their contracts some of these early Portuguese immigrants returned home or "left the country for California." In 1885, the Pereira Family chose the latter. Following their arrival in California, the family settled in Santa Clara.

Here, Jacinto Pereira and his children, moved into a home on Jackson Street, near the corner of Poplar, (420 Jackson St.), an area where many of the early Portuguese immigrants would locate. During the following years, the Pereira family would become important members of this immigrant Portuguese community.

After reaching Santa Clara, Jacinto found employment at the Eberhard Tannery and his oldest sons, Manuel and James went to work at Emig Brothers, a bottling plant that bottled beer for the Santa Clara Brewery and San Jose's Fredericksburg Brewery. Joseph, and his younger brother, Antonio, attended the Santa Clara Preparatory school (Santa Clara College's school for young boys) where Joseph was on the baseball and boxing team. When Joseph finished school, he joined his older brothers working at "Emig Bros." where he also played baseball on the company's baseball team. It is interesting to note that members of the early Portuguese immigrants mingled with members of the early German immigrant families and it was while working at Emig Bros., that Joseph first met Franz Emig's son, Henry, which led to a decades-long friendship.

Like so many of these early immigrants Jacinto Pereira worked hard, saved his money and now used it to provide for the future security

(Continued on Page 8, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 8 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 7, Form 523L)

of five of his children. In 1901 he purchased Mrs. M. E. Newhall's property, the north half of the Block located between Monroe, Market, Madison and Bellomy streets. The following year, in November 1902, Jacinto divided the sections of this property among three of his sons, Manuel, Joseph and Anthony and one daughter, Josephine. Previously his second daughter, Mary, had been deeded another piece of property located in the area between Lafayette, Clay and the railroad tracks in Santa Clara, which he had purchased in 1899 from Finley Garrigus. His son James already owned property in Santa Clara on the corner of Alviso and Liberty (Homestead) Streets, where by now he had established his James Pereira Bottling Company (After the 1906 earthquake James relocated his business to a new site, he purchased on the corner of Alviso and Franklin Streets and constructed a large building to house the business he now called Pereira Bros. Bottling Company.)

Following the closure of "Emig Bros." at the turn-of-the century, Manuel had gone to work with James at his bottling company while Joseph joined his father at the Eberhard Tannery. (At the time of his retirement in 1943, Joseph had been employed for 39 years in the tanning industry, 28 of those working as a shaver at the Tannery.)

Also active in community groups, Joseph Pereira belonged to the Foresters of America, Sherwood Court, No. 60, the Santa Clara Sodality Club and a talented musician, he was a member of the San Jose Municipal Band. As were his brothers, Manuel and Antonio, Joseph was a member of the Mission Hose Brigade of the Santa Clara Volunteer Fire Department, a group to which he would belong until he passed away.

In 1905, Joseph Pereira married Rose Pimentel. The newly-weds were in Washington where their first son, Ernest, was born in 1906 but soon returned to Santa Clara where they rented a house at 1496 Monroe Street. Here, Rose gave birth to their next two children, John (1907) and Jerome (1908). Their sons were followed by the birth of three daughters, Celia, Ethel and in 1923, their last child, Marian. By the time Marian was born, Joseph had purchased a home valued at \$2,500 at 439 Main Street. In 1938, Joseph M. Pereira sold the home on Main Street and purchased the subject residence at 688 Monroe Street. Their sons now grown no longer lived at home and Joseph, now 63, his wife Rose, age 52, along with their three daughters, Celia, age 24, Ethel, age 18, and 16-year-old Marian, moved into their new home.

By the end of WWII, Celia and Ethel were no longer living at home. Marian was also now married and she and her husband, Clifford Hughes, had moved into 688 Monroe with her mother and father. In 1945, they purchased the home from Joseph. Here, that year, their son Clifford Hughes, Jr., was born. The following year, Joseph and Rose separated. Joseph moved out of 688 Monroe Street and in with his daughter, Ethel (Pereira) Mello, in her home on Jackson Street. Rose continued living in the subject home with Marian and Clifford but moved into her own quarters, which had been constructed in the basement. On January 5, 1955, Joseph Pereira passed away and was buried in the Santa Clara Catholic Cemetery. In the same period of time, Rose moved out of 688 Monroe Street to live with her daughter Celia (Pereira) Reagan. Rose would live with Celia until her death in December, 1968.

As shown on the 1930 and 1950 Sanborn Fire Insurance Maps, with only two new houses constructed in the middle of the Market Street block face, only minimal change had occurred to the block between the time of Frederick Fronicke's purchase of the subject residence and the end of Joseph and Rose Pereira's occupancy. Whether the homes were owner-occupied or used as rental property, the area remained a stable residential neighborhood of individual homes.

In 1955, Marian (Pereira) and Clifford Hughes purchased a new home on Susan Drive in Santa Clara and moved into it with their young son. Here their daughter, Jill was born. Four years later, the Hughes' built a new house on Miles Drive and moved into it. However, they retained ownership of the subject residence and for the 19 years following their departure, Marian (Pereira) and Clifford Hughes used the house as a rental property. Then, in 1974, the Hughes family moved back into the family home at 688 Monroe Street.

Clifford Hughes, Sr., was employed in the City of Santa Clara's Building Department and in 1975, he remodeled the house, enlarging it and adding a two-story tower and second story. Until then, the home had remained virtually as constructed in the early 1890s. In 1979 the subject residence at 688 Monroe Street was added to the City of Santa Clara's list of Architecturally or Historically Significant Structures as a "Remodeled Queen Anne Cottage." As the years progressed, Clifford Sr., passed away but Marian (Pereira) Hughes continued living in the home until she passed away on April 7, 1919. In July 2020, Jill (Hughes) Carter, Marian and Clifford Hughes' daughter and Joseph Pereira's granddaughter, sold the subject residence to Mark and Genevieve Bever Rogers.

(Continued on Page 9, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 9 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 8, Form 523L)

Historic Evaluation

In order to be considered historically or culturally significant, a property must satisfy certain requirements. It must be 50 years old or older (except in cases of exceptional significance); it must retain historic integrity; it must meet one or more of the National Register of Historic Places criteria for significance, and/or the California Register of Historic Resources criteria for significance, and/or the criteria for listing in a local historic resource inventory.

Age Requirement.

Constructed circa 1893, the subject residence at 688 Monroe Street is over 50 years old and thus meets the age requirement.

Integrity Requirement.

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register of Historic Places criteria recognize seven aspects to integrity. These are location, design, setting, materials, workmanship, feeling and association. To retain historic integrity, a property will always possess several and usually most of these aspects. Both the California Register of Historic Resources and the City of Santa Clara Criteria for Local Significance follow the National Register integrity criteria.

The property at 688 Monroe Street is well maintained and while the architectural integrity of the original structure was diminished by alterations made in 1975, the majority of the visual and character defining features of the historic building were preserved and retained and the new alterations complemented the home's original architectural style. There have been no alterations to the home's exterior since its addition to the City of Santa Clara's Architecturally or Historically Significant property list in 1979 as a "Remodeled Queen Anne Cottage" and the residence retains its original location. The historical use of the building has not changed and it remains a single-family home. The subject property is set within a historic residential setting in the area of Santa Clara known as the "Old Quad," and the immediate surroundings retain the majority of the qualities that reflect the period in which the homes in the neighborhood were constructed.

The subject property retains enough of its historic character and appearance to be recognizable as a historic property and to convey the reason for its significance (integrity).

National Register of Historic Places Criteria.

There are not any events associated with the residence at 688 Monroe Street which have made a significant contribution to the broad patterns of history or cultural heritage. It would therefore appear that the building would not be eligible for the National Register of Historic Places based on Criterion A (associated with events that have made a significant contribution to the broad patterns of our history). The building has had several owners over the 127 years of its existence and none appear to reach the level of significant influence required under Criterion B to be considered eligible for the National Register. Neither do any of the other occupants appear to be significant to the history of the region, Nation or State of California. It would therefore appear that the building at 688 Monroe Street would not be eligible for the National Register based on Criterion B (associated with the lives of persons significant in our past). Although remodeled 45 years ago, many of the character-defining features of its original 1893 construction in the Queen Anne Cottage architectural style remain, such as a wide variety of roof planes with cross gables, molded cornices and gable returns, and its "spindework" decorative detailing, such as fish-scale shingles, an angled bay, turned porch posts, decorative carved brackets and pendants, and thus under National Register Criterion C the residence at 688 Monroe Street could be considered to "embody the distinctive characteristics of a type, period, or method of construction" and "represent[s] a significant and distinguishable entity whose components may lack individual distinction" and due to its prominent location and proximity to other historically significant homes in the area, it does contribute to a potentially eligible Historic District. Therefore, it does appear that the building may be eligible for the National Register of Historic Places under Criterion C.

(Continued on Page 10, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 10 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 9, Form 523L)

California Register of Historic Resources Criteria

The Criteria for listing in the California Register of Historical Places are consistent with those for listing in the National Register. However, they have been modified to better reflect the history of California at both a local and State level. Criterion 1 is the California Register equivalent of the National Register Criterion A (events) and California Register Criterion 2, the equivalent of National Register Criterion B (persons). The property at 688 Monroe Street does not appear to be eligible for the California Register based on Criterion 1, or Criterion 2. Criterion 3 addresses the distinctive characteristics of a type, period, region, or method of construction. Characterized by the use of a wide variety of roof planes and "spindlework" with cross gables, molded cornices and gable returns, fish-scale shingles, an angled bay, turned porch posts, decorative carved brackets and pendants, the Queen Anne Cottage style was a popular style for domestic building during the 1890s. Constructed circa 1893 in the Queen Anne Cottage architectural style and remodeled in 1975, the subject building resembles an over-scaled Queen Anne Cottage. The property remains as when it was originally designated a City of Santa Clara historically significant property, a nice example of a sensitively remodeled Queen Anne Cottage, and the integrity of the residence is intact. Thus, it appears to reach the level of significance necessary to be eligible for the California Register under Criterion 3.

City of Santa Clara Criteria for Local Significance

In 2004, The City of Santa Clara adopted Criteria for Local Significance. Under these criteria, "any building, site, or property in the city that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archaeological significance is potentially eligible," to be a "Qualified Historic Resource." The evaluator finds that the property meets the following criteria:

Criteria for Historically or Cultural Significance:

To be Historically or culturally significant a property must meet at least one of the following criteria:

1. The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state or nation.

While it is not associated with a historical event, this property does have a direct association with the broad patterns of Santa Clara history. Prominently located on a corner lot, this building has interest, integrity and character and reflects the type of homes built in Santa Clara for middle- and working-class families in the last part of the 19th Century.

3. The property is associated with an important individual or group, who contributed in a significant way to the political, social, and/or cultural life of the community.

Owned for 80+ years by members of the prominent Pereira family, this building is associated with one of the first Portuguese immigrant families from Madeira and the Azores Islands, who emigrated to California via Hawaii and settled in Santa Clara. This hard-working immigrant group not only contributed to the economic life of community but for decades members of Santa Clara's Portuguese community made significant contributions to the town's political, social and cultural life.

5. A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities.

As the town's population grew near the end of the 19th Century, the residential growth necessary to accommodate the influx of these working-class families expanded onto the smaller lots developed in the newly subdivided areas of Santa Clara, such as the block where the subject property is located. This home was constructed for one such family and over the ensuing years, provided shelter for other people of similar economic status. By their employment in the burgeoning businesses of the township, the members of these families contributed to the economic growth of Santa Clara.

(Continued on Page 11, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 11 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 10, Form 523L)

The subject property does meet Criteria 1, 3 and 5 for Historically or Cultural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria 2 or 4 for Historically or Cultural Significance.

Criteria for Architectural Significance:

To be architecturally significant a property must meet at least one of the following criteria:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.

The residence at 688 Monroe Street was designed and constructed circa 1893 as a Queen Anne Cottage, an architectural style associated with a particular era (1885-1905). A highly decorative style, the Queen Anne Cottage had a variety of roof planes, cut-away bay windows, wide, horizontal siding and fish-scale shingles and was ornamented with a concoction of millwork made possible by the development of machine lathes. Modifications to the home, made in 1975, retained the majority of this architectural style's character-defining features and additions, such as the two-story tower, reflect elements of the Queen Anne style. Today the subject building resembles an over-scaled Queen Anne Cottage.

4. The property has a strong or unique relationship to other areas potentially eligible for preservation because of architectural significance.

The immediate "Old Quad" neighborhood in which the subject property is located is a neighborhood that contains a large number of architecturally and historically significant homes. Although altered, the property retains its appearance as an historic home and due to its prominent location on a corner lot it has a strong relationship to, and helps maintain, the neighborhood's historic character.

5. The property has a visual symbolic meaning or appeal for the community.

Due to its prominent location on a corner lot in the "Old Quad," this large historic house has a visual appeal for the community.

The subject property does meet Criteria for Architectural Significance 1, 4 and 5 of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Architectural Significance 2, 3, 6 or 7.

Criteria for Geographic Significance:

To be geographically significant a property must meet at least one of the following criteria:

1. A neighborhood, group or unique area directly associated with broad patterns of local area history.

The subject property is located within the area of Santa Clara known as the "Old Quad" neighborhood, the area that reflects the history of the city's development as manufacturing and agricultural industries expanded at the turn of the 20th Century. As the larger lots of the immediate blocks of the "Old Quad" in which the Joseph Pereira residence is located were subdivided and developed into residential lots during the late 19th and early 20th Century, the new homes constructed on the new lots tended to be dwellings built to accommodate the influx of new middle- and working-class residents. These historic residential properties contribute to the historic setting that reflects the neighborhood's role in the broad patterns of Santa Clara's early development.

2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.

The majority of the existing residential structures on the block lying between Monroe, Market, Madison Street, and Santa Clara Street identified as Block 4 South, Range 4 West, were constructed between 1893 and 1910 and maintain their original configuration and integrity from the time of their construction. Currently several of these homes are listed on the City of Santa Clara's Historically and/or Architecturally Significant Property List. One of these is the subject property at 688 Monroe Street. This residence's architectural style, form and massing and character-defining details are all compatible with the neighboring and nearby historic homes in this area of the

(Continued on Page 12, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 12 of 22

*Resource Name or # (Assigned by recorder) Joseph Pereira House

Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

(Continued from page 11, Form 523L)

"Old Quad" and the corner location of this historic residence results in a highly visual contribution to the neighboring homes. The residence at 688 Monroe Street is representative of the development of this area of the Old Quad during the turn of the 20th century and is important to the integrity of the historic area in which it is located.

The subject property does meet Criteria for Geographic Significance 1 and 2, of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Geographic Significance 3 or 4.

Criteria for Archaeological Significance:

As the property at 688 Monroe Street contains no known or unknown prehistoric or historic archaeological resources, it would not be Archaeologically Significant under any of the five of the City of Santa Clara's Criteria for Archaeological Resources. However, should any prehistoric or historic archaeological resources be uncovered in the future, this would be subject to change.

Conclusions and Recommendations

Currently, this property is on The City of Santa Clara Architecturally or Historically Significant Properties list. In this update of the November 10, 1980 Historic Resources Inventory for the City of Santa Clara, the evaluator finds 688 Monroe Street to be an example of a sensitively remodeled example of the Queen Anne Cottage architectural style and, as it has undergone no alteration since the time of its designation as a Historically Significant Property for the City of Santa Clara, to retain sufficient integrity to qualify as a historic property. It appears to continue to be, based on compliance with the National Register of Historic Places Criteria, the California Register of Historic Resources Criteria and the City of Santa Clara's Local Significance Criteria, eligible for listing on the City of Santa Clara Architecturally or Historically Significant Properties List.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 13 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

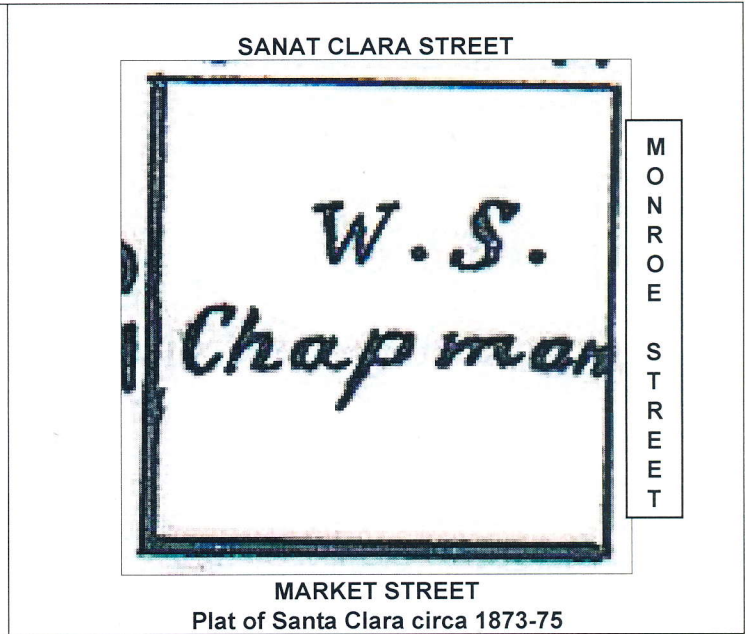
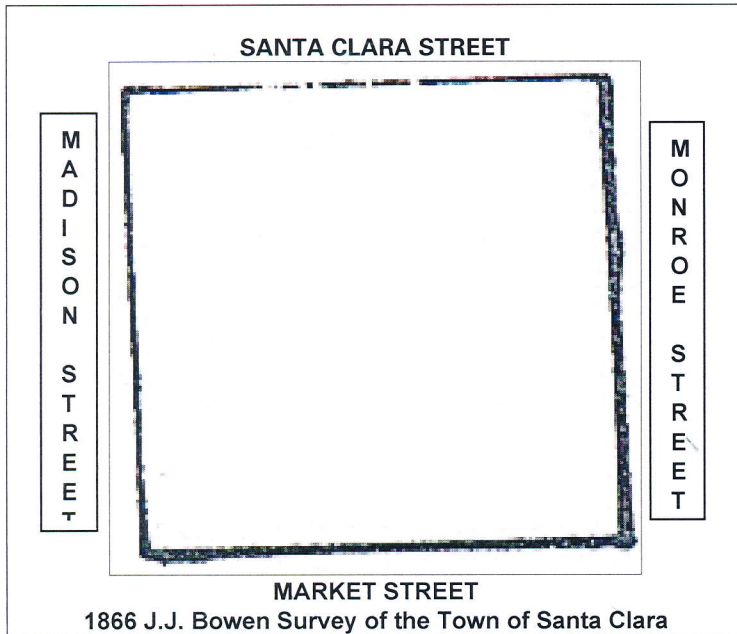
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*Date 09/13/2020

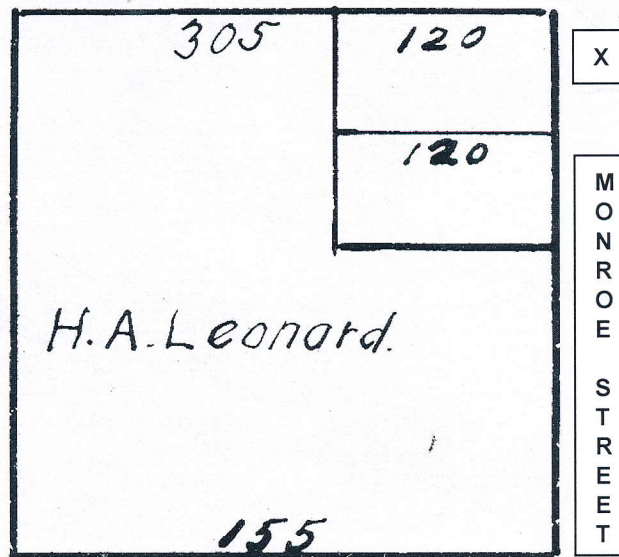
☒ Continuation

☒ Update

HISTORIC MAPS



R A



Dec., 1893 Map of the Town of Santa Clara - Compiled by C. E. Moore

(X indicates 688 Monroe Street property.) NOTE: When it was traced in 1932 by G. L. Sullivan, Leonard's middle initial was mis-written. Records show he was H. M., not H. A., Leonard.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 14 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

*Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

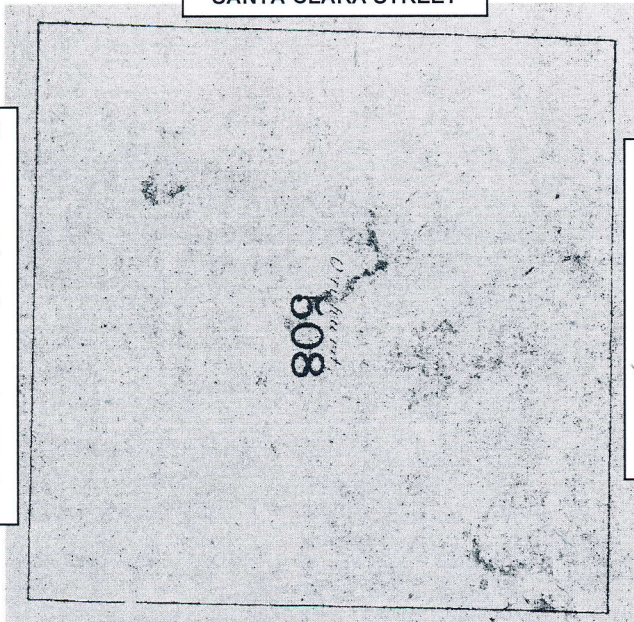
SANBORN FIRE INSURANCE MAPS

1891 SANBORN MAP

SANTA CLARA STREET

MADISON STREET

MONROE STREET

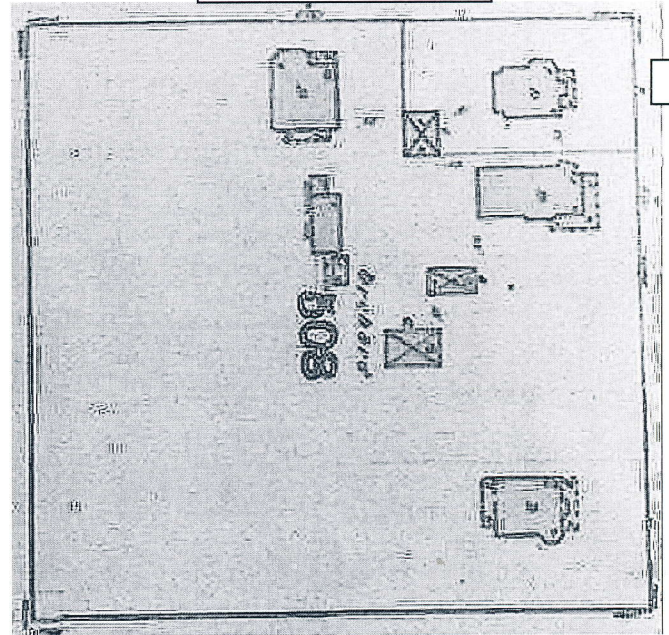


Note: No structures on block but *Orchard* written on Sanborn Map.

1901 SANBORN MAP

SANTA CLARA STREET

X

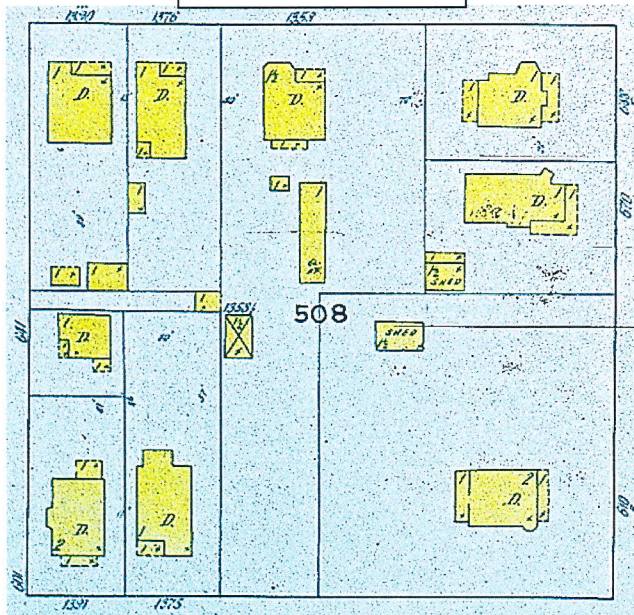


X marks subject residence

1915 SANBORN MAP

SANTA CLARA STREET

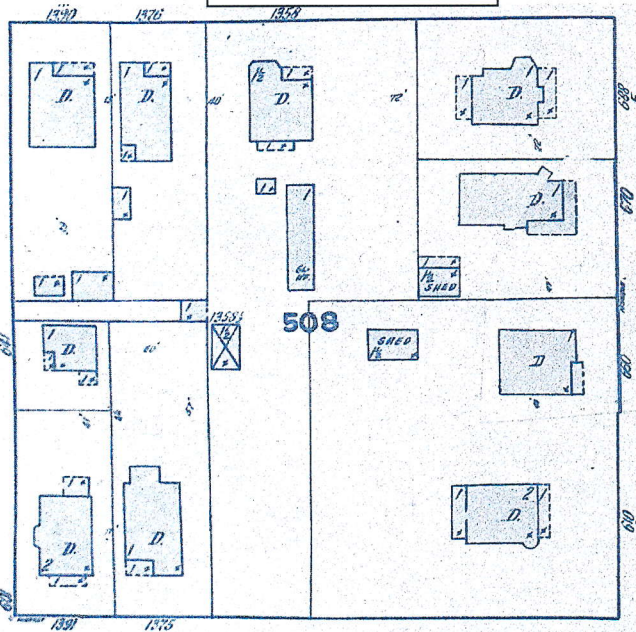
MONROE STREET



1930 SANBORN MAP

SANTA CLARA STREET

MONROE STREET



State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 15 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

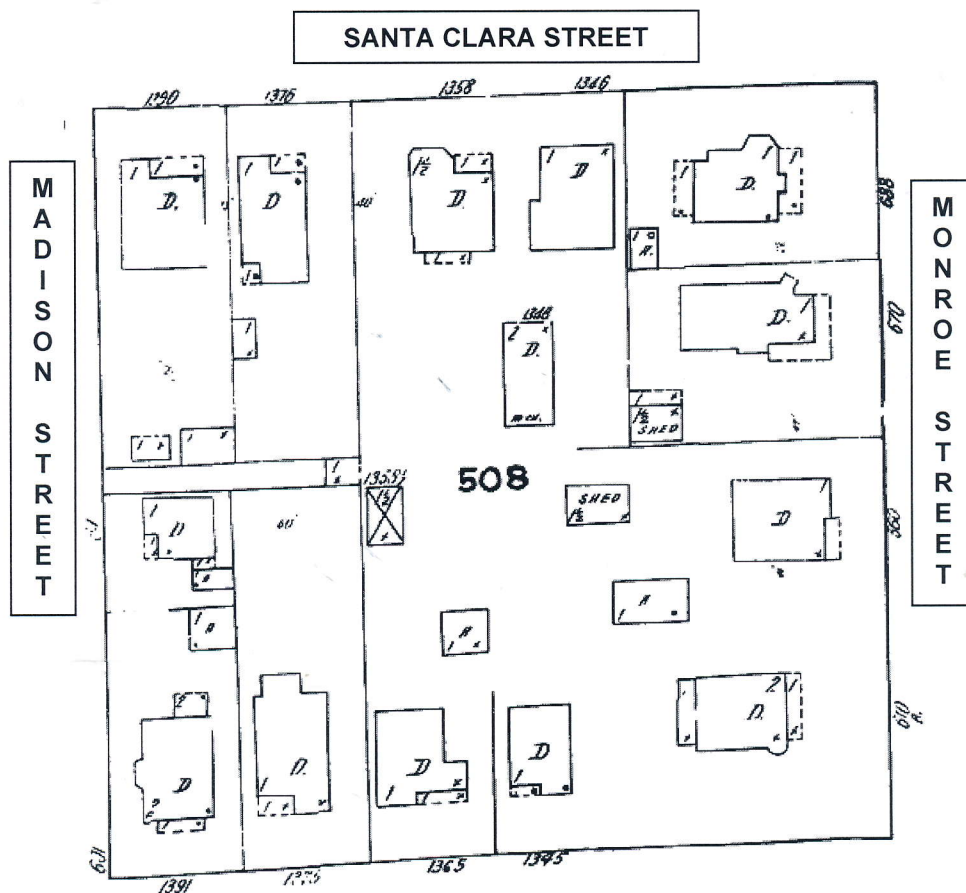
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*Date 09/13/2020

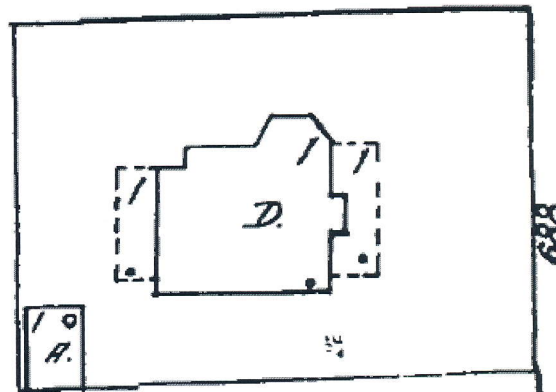
☒ Continuation ☒ Update

SANBORN FIRE INSURANCE MAPS

1950 SANBORN MAP



The outline of the house and front & rear porches (dotted lines) on the 1950 Sanborn Map (right) remains unchanged from that appearing on the 1901 Sanborn Map, indicating that no alterations had been made by 1950. Note the small structure labeled A on the map, this was the garage. When the house was remodeled in 1975, the rear porch and the garage would be demolished and the house extended from where the porch joined the house past the garage corner closest to the outline of the house, as delineated in 1950.



Page 16 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

*Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

HISTORIC PHOTOS (Photos Courtesy Jill [Hughes] Carter)



Ca 1974. Above: Shown standing on the front steps are Marian (Pereira) Hughes and her son Clifford Hughes, Jr. Below: Photo shows original front façade with full-width front porch, prior to two-story addition. Note: the porch was truncated and the tower constructed to the left of the gable-roofed projection with the front door, where the main body of the house is set back.



Page 17 of 22

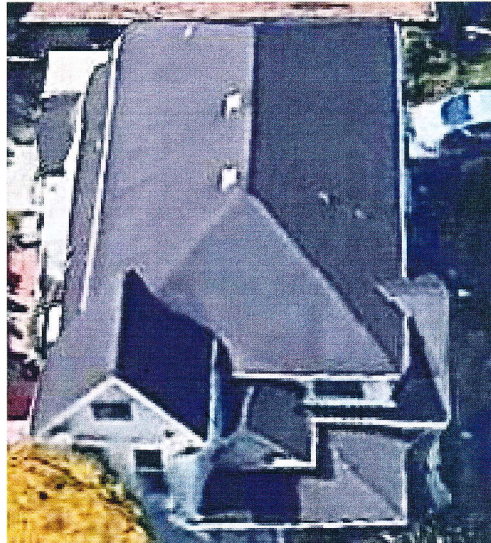
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*Recorded by: Lorie Garcia

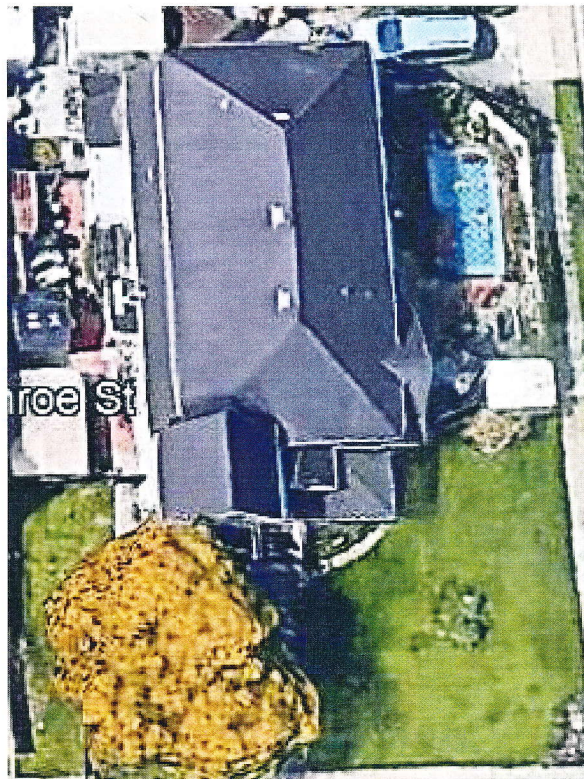
*Date 09/13/2020

☒ Continuation ☒ Update

Additional Photos – Google Aerial Photos 2020



Above: photo shows the wide variety of roof planes.



MONROE ST.

Above: photo shows placement of house on the lot.

Page 18 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

*Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

Additional Photos – Rear Facade



Photo No: 100_2673
View: Partial N side-elevation and Rear Facade. Photo Date: August, 2020;
Camera Facing: E.



Photo No: 100_2668
View: Rear Façade and partial S side-elevation. Photo Date: August, 2020;
Camera Facing: NE.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 19 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

*Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

Additional Photos – South side-elevation



Photo No: 100_2623; View: South side-elevation and Front façade from Monroe street.
Photo Date: August, 2020; Camera Facing: West.



Top: Photo No: 100_2650; View: Tower S side; Camera Facing: NW.
Bottom: S side from tower to middle deck/entry; Camera Facing NW.
Photos: August, 2020;

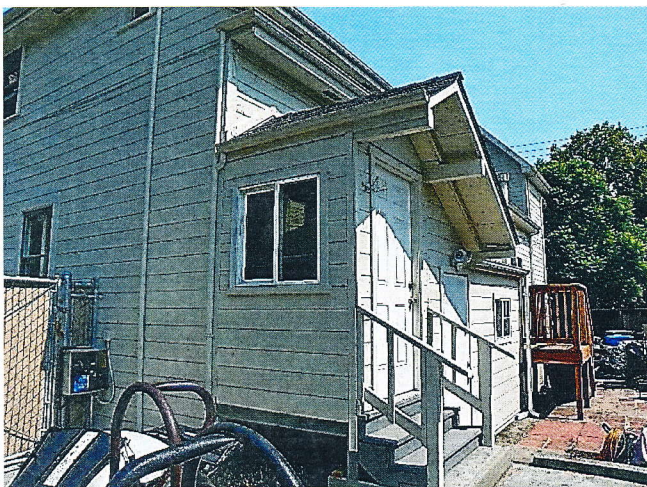


Photo No: 100_2663
View: Partial S side-elevation from rear to middle deck/ house entry.
Photo Date: August, 2020; Camera Facing: East.



Photo No: 100_2655;
View: S side-elevation rear gable and shed roofed extension.
Photo Date: August, 2020; Camera Facing: NW.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 20 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

*Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

Additional Photos – Entry doors



Photo No: 100_2647; View: Main Entry door;
Photo Date: August, 2020; Camera Facing: WSW.



Top: Photo No: 100_2680; View: N side Entry (French Doors);
Photo Date: August, 2020; Camera Facing: SSE.



Photo No: 100_2662
View: S side Entries to house (with steps) & Basement living unit
(groundlevel); Photo Date: August, 2020; Camera Facing: ENE.

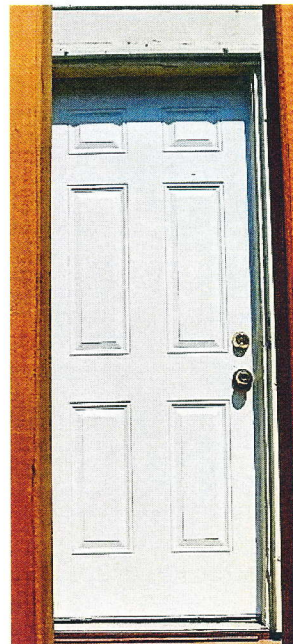


Photo No: 100_2659
View: S side Entry from deck to house;
Photo Date: August, 2020; Camera Facing: ENE.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 21 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

*Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

Additional Photos – Windows



Photo No: 100_2640;
View: Ornamental round-arched Tower window;
Photo Date: August, 2020;
Camera Facing: WSW.



Photo No: 100_2661; View: Typical wooden windows with brackets, circa original 1893 construction;
Photo Date: August, 2020;
Camera Facing: NW.



Photo No: 100_2675
View: Typical 1st & 2nd story wooden windows, circa 1975 construction.
Photo Date: August, 2020; Camera Facing: NE.



Photo No: 100_2660;
View: Typical vinyl-clad sliding windows in S side-elevation rear extension.
Photo Date: August, 2020; Camera Facing: NW.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 22 of 22

*Resource Name or # (Assigned by recorder) *Joseph Pereira House*

*Recorded by: Lorie Garcia

*Date 09/13/2020

☒ Continuation ☒ Update

Additional Photos – Queen Anne Decorative Elements and “Spindlework”



Photo No: 100_2683; View: N side elevation Angled Bay;
Photo Date: August, 2020; Camera Facing: SSE.

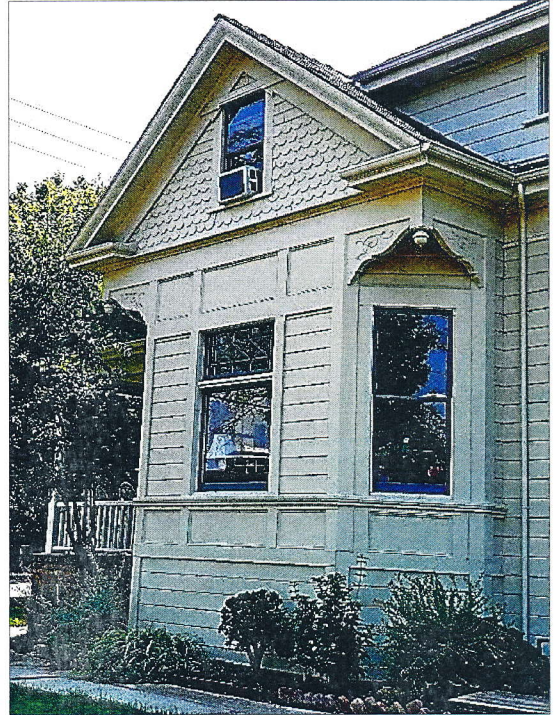


Photo No: 100_2681; View: N side elevation Angled Bay & Front
porch railing with turned corner post; Photo Date: August, 2020;
Camera Facing: SE.



Photo No: 100_2648; View: Front original gable face with fishscale
shingles and porch brackets; Photo Date: August, 2020;
Camera Facing: WSW.

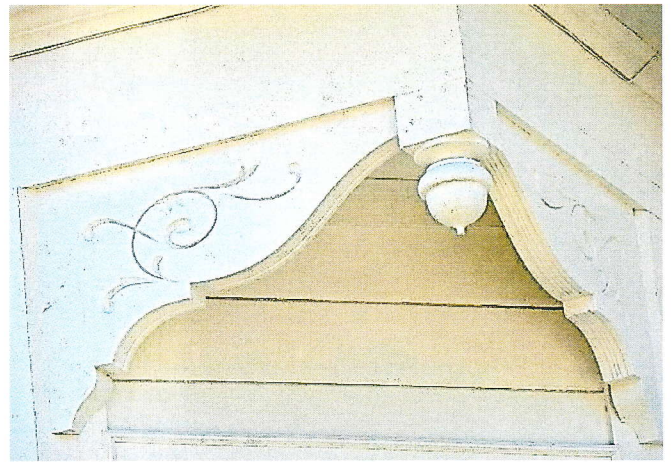


Photo No: 100_2618
View: Angled bay's cut-away window brackets and “acorn” pendant
Photo Date: August, 2020; Camera Facing: SE.