

ADDITION AND REMODELING OF HOUSE **2725, WARBURTON AVE, SANTA CLARA, CA-95051** **APN- 216-06-031**

OWNER :-
ALMIR
HRNJADOVIC &
MARIA
HRNJADOVIC

DESIGNER

UNICORN STRUCTURES
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REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :-
 2725,
 WARBURTON
 AVE,
 SANTA CLARA

SHEET TITLE:-

COVER SHEET

DATE
 09/11/2020

SCALE
 NOT TO SCALE

SHEET
 A-0

SCOPE OF WORK	PROJECT INFORMATION	VICINITY MAP
1. ADDITION OF 486 SQ FT AT FIRST FLOOR. 2. ADDITION OF 426 SQ FT FOR MASTER SUITE AT SECOND FLOOR. 3. REMODELING OF KITCHEN AT FIRST FLOOR.	APN - 216-06-031 ZONING - R-1-6L RESIDENTIAL SINGLE FAMILY BEDROOMS - 3 (EXISTING) ; 4 (PROPOSED) BATHROOMS - 2.5 (EXISTING) ; 3.5 (PROPOSED) GARAGE - 2 CARS CONSTRUCTION TYPE - V-B (NON-SPRINKLERED) OCCUPANCY - R3-U	
DRAWING INDEX	APPLICABLE CODES	APN MAP
A0 - COVER SHEET A1 - EXISTING & PROPOSED SITE PLAN A2 - EXISTING/DEMOLITION FIRST FLOOR & SECOND FLOOR PLAN A3 - PROPOSED FIRST FLOOR & SECOND FLOOR PLAN A4 - EXISTING & PROPOSED FRONT ELEVATIONS A5 - EXISTING & PROPOSED BACK SIDE ELEVATIONS A6 - EXISTING & PROPOSED RIGHT SIDE ELEVATIONS A7 - EXISTING & PROPOSED LEFT SIDE ELEVATIONS A8 - EXISTING & PROPOSED ROOFING PLAN A9 - CROSS SECTION A-A FRONT TO BACK E1 - PROPOSED ELECTRICAL & LIGHTING PLAN S1 - STRUCTURAL NOTES & DETAILS S2 - FOUNDATION DETAILS & ROOF FRAMING DETAILS S3 - PROPOSED FOUNDATION PLAN, CEILING/ROOF FRAMING PLAN & DETAILS	2019 California Building Code 2019 California Residential Code 2019 California Electrical Code 2019 California Mechanical Code 2019 California Plumbing Code 2019 California Green Building Standards Code 2019 California Fire Code 2019 California Energy Code All applicable local, county & Federal codes, Laws and regulations	
PROJECT DATA	GENERAL NOTES	APPROVAL STAMP
LOT AREA = 5700 SQ FT TOTAL COVERED AREA ALLOWED AT FIRST FLOOR - 0.4x5700 = 2280 SQ FT EXISTING : FLOOR PLAN : FIRST FLOOR AREA = 871 SQ FT SECOND FLOOR AREA = 708 SQ FT TOTAL = 1579 SQ FT GARAGE AREA = 391 SQ FT FRONT PORCH = 64 SQ FT STORE SHED IN BACKYARD = 73 SQ FT TOTAL COVERED AREA = 2105 SQ FT PROPOSED : FLOOR PLAN : FIRST FLOOR AREA = 1367 SQ FT SECOND FLOOR AREA = 1132 SQ FT TOTAL = 2499 SQ FT GARAGE AREA = 391 SQ FT STORE SHED IN BACKYARD = 73 SQ FT TOTAL COVERED AREA = 2963 SQ FT TOTAL COVERED AREA AT FIRST FLOOR = 1821 SQ FT < 2280 SQ FT TOTAL COVERED AREA AT SECOND FLOOR = 1132 SQ FT RATIO OF SECOND FLOOR TO FIRST FLOOR AREA = $\frac{1132}{1821} = 62.2\% < 66\%$	<p> - ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS OF THE FOLLOWING 2019 CALIFORNIA RESIDENTIAL AND BUILDING CODE (CBC, CRC), CALIFORNIA ELECTRICAL CODE 2019, CALIFORNIA ENERGY CODE 2019, AND 2019 CALIFORNIA GREEN BUILDING CODE. </p> <p> - THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESSES OF THE WORK, ALL THE REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES. </p> <p> - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK. </p> <p> - THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOUR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE. </p> <p> CHANGES TO THE PLAN DURING COSTRUCTION OTHER THAN: 1. CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY ROOF STRUCTURE. 2. INTERIOR DOOR AND ZERO CLEARANCE FIREPLACE RELOCATION SHOWN ON THE APPROVE PLANS 3. A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM AND 4. INTERIOR NON - STRUCTURAL WALL FINISHES; SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK (FOR THE NEW PLAN CHNAGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS. </p> <p> CALGREEN NOTES: PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLAINT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6gpf WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 gpf. SHOWER HEADS WITH A FLOW GREATER THAN 2.5gpm WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 gpm @80 psi SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 gpm WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 gpm @60 psi (OR 1.8 gpm @60 psi FOR KITCHEN FAUCETS) </p>	



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LEGEND
— EXISTING WALL TO BE REMAIN
--- EXISTING WALLS TO BE REMOVED
= PROPOSED / NEW WALL
SL SLIDING DOOR/MINDOW

NOTES:- PROPERTY LINE DIMENSIONS ARE TAKEN FROM THE APN MAP

SITE DRAINAGE & GRADING NOTES

1. SPLASH BLOCK TO BE PLACED BELOW EACH DOWN SPOUT.
2. THE SITE SHOULD BE FINE GRADED TO PROVIDE MIN. 5% SLOPE AWAY FROM BUILDING PERIMETER & ADJACENT PROPERTY LINES. IN NO CASE SHALL THE FINISH GRADING RESULT IN AN INCREASE IN SHEET FLOW ONTO ADJACENT PROPERTIES.
3. DRAINED WATER TO BE DIRECTED TO THE LANDSCAPED AREA AT A SLOPE OF 2%.

RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.4

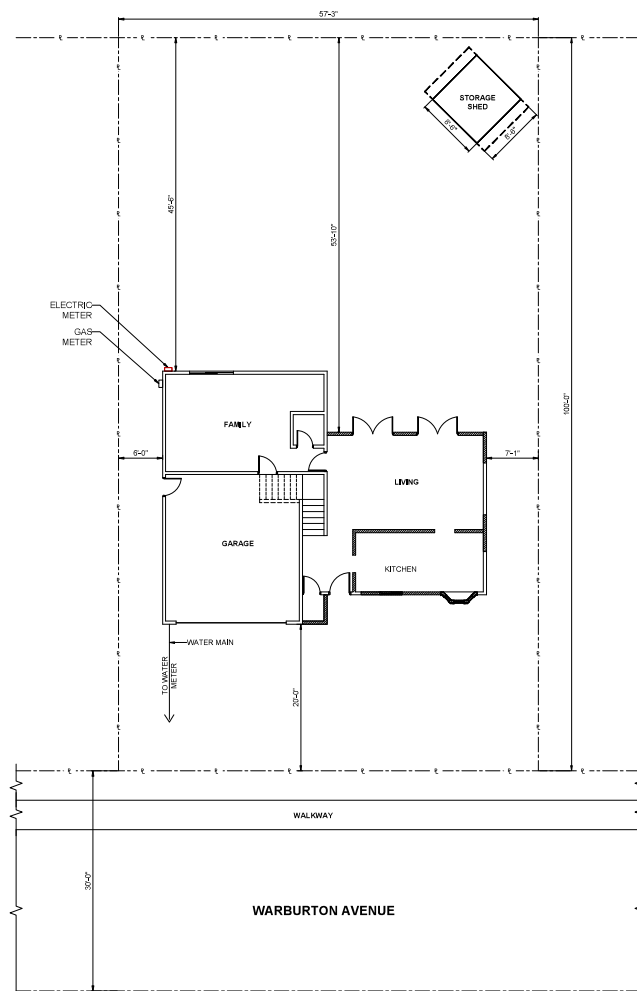
R311.2 FLOORS AND LANDING AT EXTERIOR DOORS:

THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY EACH WIDTH OF LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDING SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED $\frac{1}{4}$ UNIT VERTICAL IN 12 UNITS HORIZONTAL (2PERCENT)

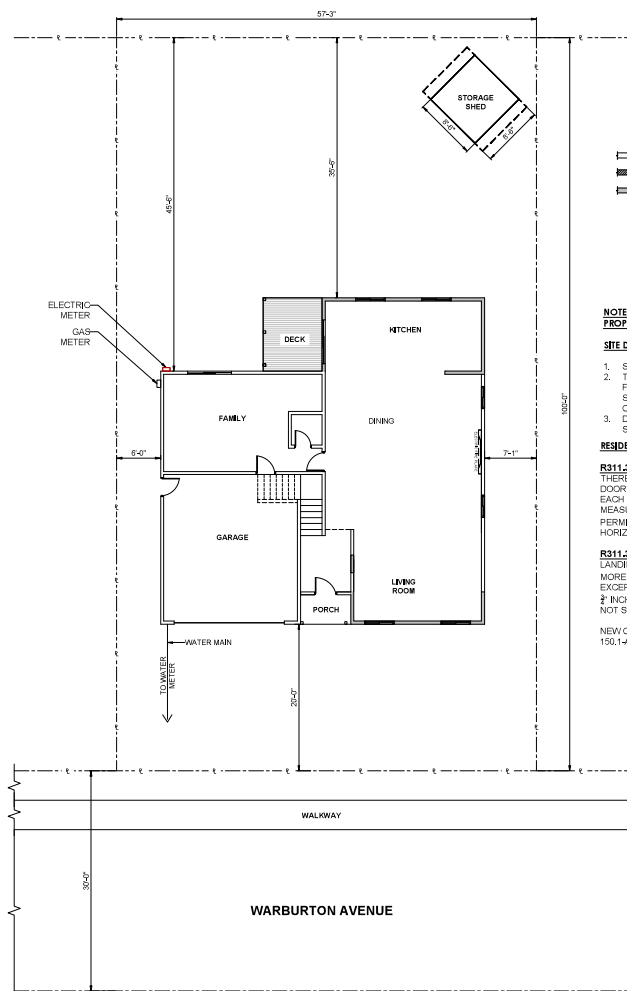
R311.2.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS:

LANDING OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 $\frac{1}{2}$ INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 $\frac{1}{2}$ INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

NEW OR REPLACED WINDOWS, WINDOWS U FACTOR OF 0.32 (CENC TABLE 150.1-4)



EXISTING SITE PLAN
SCALE - 1/8" = 1'-0"



PROPOSED SITE PLAN
SCALE - 1/8" = 1'-0"

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PROJECT :

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WARBURTON
AVE,
SANTA CLARA

SHEET TITLE:-

EXISTING
& PROPOSED
SITE PLAN

DATE

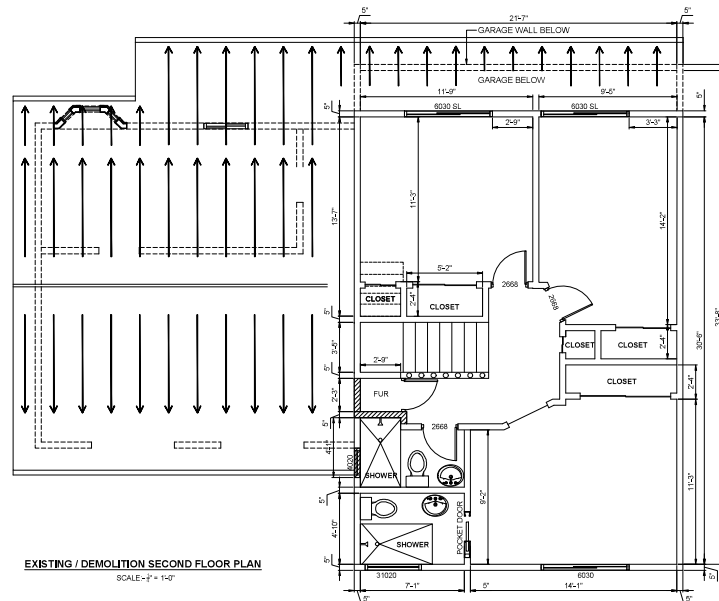
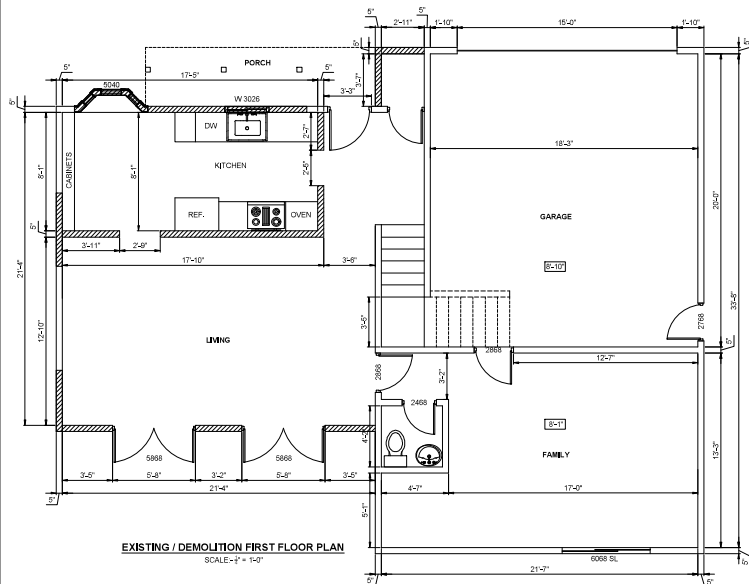
09/11/2020

SCALE

1/4" = 1'

SHEET

A-1



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REVISIONS	
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PROJECT :
2725,
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SHEET TITLE:-
EXISTING/
DEMOLITION
FIRST FLOOR
& SECOND
FLOOR

DATE
09/11/2020

SCALE
1/4" = 1'

SHEET
A-2

A-3



EXISTING FRONT ELEVATION
SCALE - 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE - 1/4" = 1'-0"

ELEVATIONS NOTES:

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE 17' UNDERPAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FREEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.

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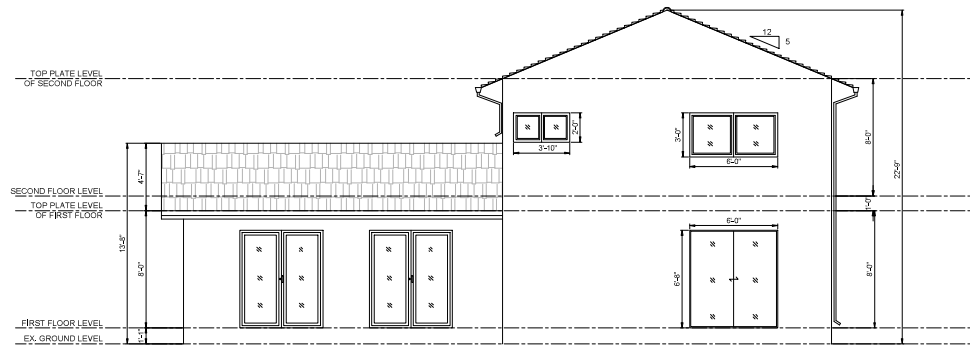
PROJECT :
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SANTA CLARA

SHEET TITLE:-
EXISTING &
PROPOSED
FRONT
ELEVATION

DATE
09/09/2020

SCALE
1/4" = 1'

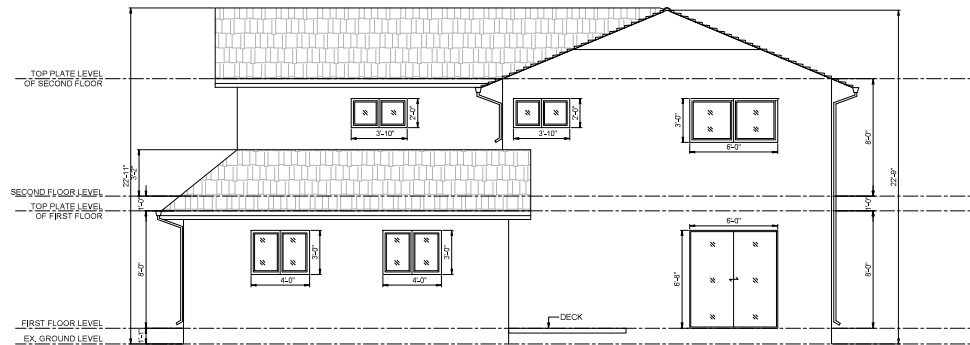
SHEET
A-4



EXISTING BACK SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATIONS NOTES:

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE 10" UNDERPAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FREEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.



PROPOSED BACK SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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SHEET TITLE:-

EXISTING &
PROPOSED
BACK SIDE
ELEVATION

DATE

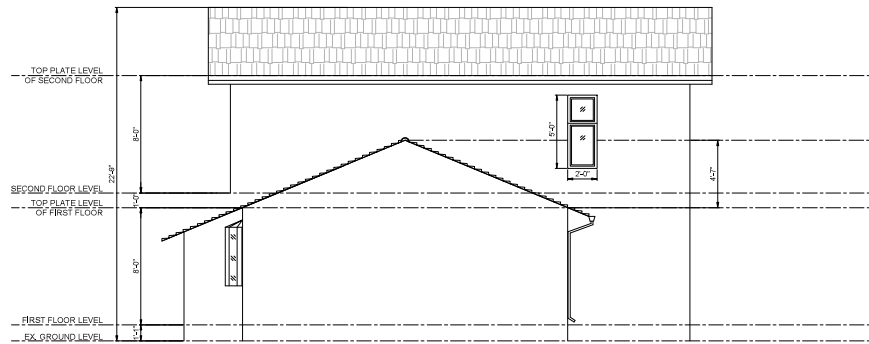
09/11/2020

SCALE

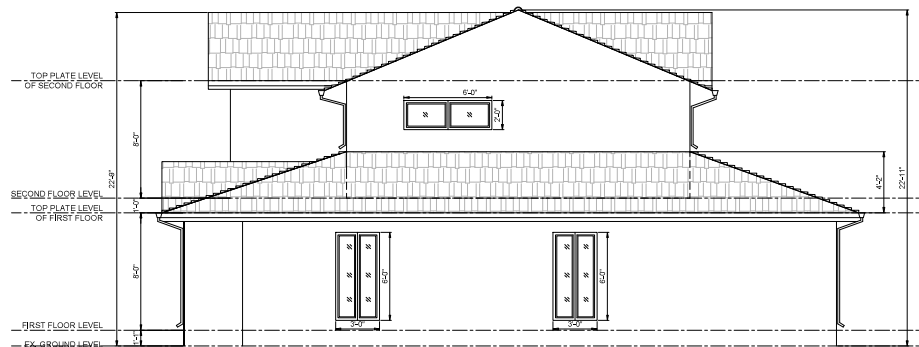
1/4" = 1'

SHEET

A-5



EXISTING RIGHT SIDE ELEVATION
SCALE - 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
SCALE - 1/4" = 1'-0"

ELEVATIONS NOTES:

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE 10" UNDERPAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
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5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
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PROJECT :

2725,
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SHEET TITLE:-

EXISTING &
PROPOSED
RIGHT SIDE
ELEVATION

DATE

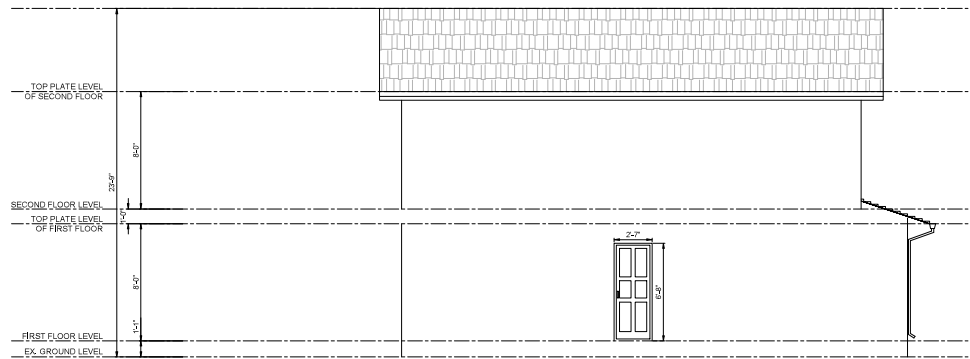
09/09/2020

SCALE

1/4" = 1'

SHEET

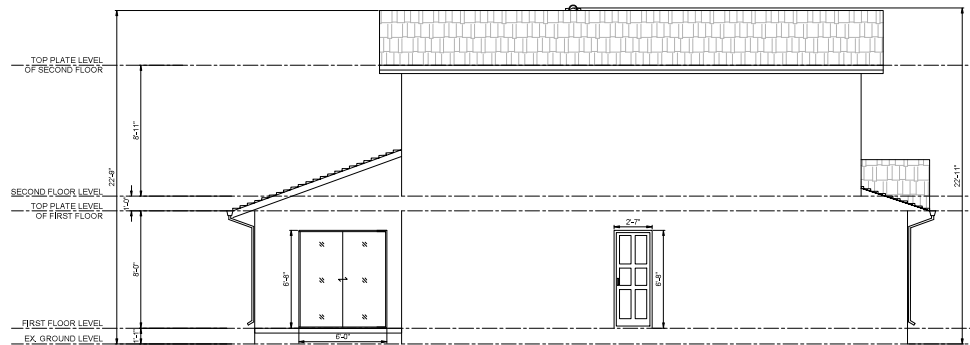
A-6



EXISTING LEFT SIDE ELEVATION
SCALE - 1/4" = 1'-0"

ELEVATIONS NOTES:

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5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.



PROPOSED LEFT SIDE ELEVATION
SCALE - 1/4" = 1'-0"

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SHEET TITLE:-

EXISTING &
PROPOSED
LEFT SIDE
ELEVATION

DATE

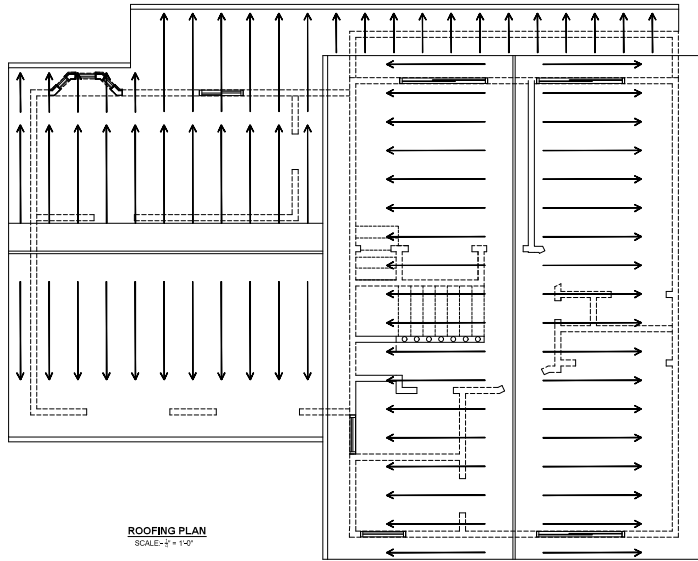
09/11/2020

SCALE

1/4" = 1'

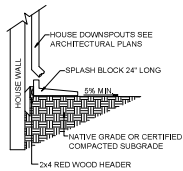
SHEET

A-7

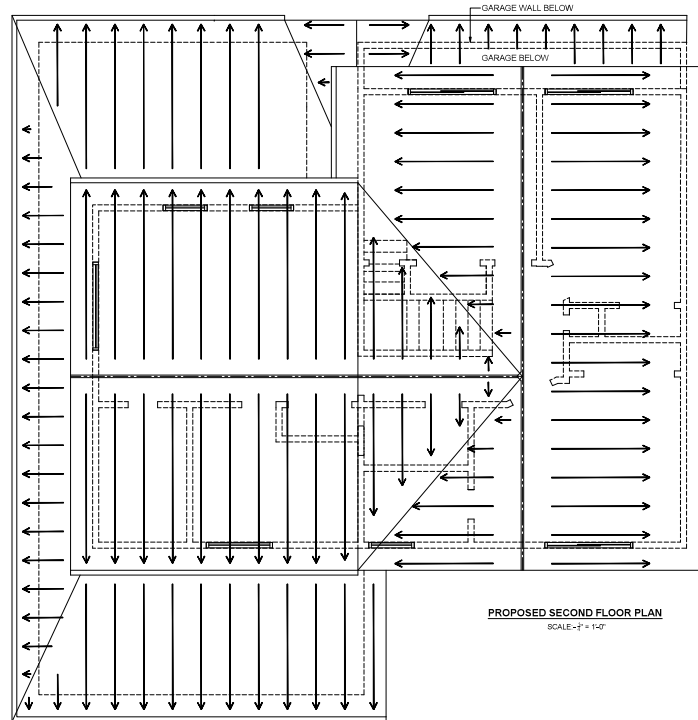


ROOFING PLAN
SCALE - 2" = 1'-0"

NOTE: SPLASH BLOCKS TO BE INSTALLED AT ALL DOWNSPOUTS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM THE FOUNDATION. ANY EXISTING DOWNSPOUTS THAT CONNECT DIRECTLY TO THE STORM DRAIN SYSTEM SHALL BE DISCONNECTED AND DIRECTED TOWARDS LANDSCAPED AREAS.



SPLASH BLOCK DETAIL
NTS



PROPOSED SECOND FLOOR PLAN
SCALE - 2" = 1'-0"

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ROOFING
PLAN

DATE
09/11/2020

SCALE
1/4" = 1'

SHEET
A-8