



TASMAN EAST - THE HILL

**PARCELS 60 & 61, 2263 CALLE DEL MUNDO
SANTA CLARA, CA 95054**

**ENTITLEMENT RESUBMITTAL
JULY 27, 2020**

ENTITLEMENT RESUBMITTAL: JUNE 9, 2019
ENTITLEMENT RESUBMITTAL: DECEMBER 20, 2019
ENTITLEMENT RESUBMITTAL: APRIL 22, 2019
ENTITLEMENT SUBMITTAL 1: JULY 31, 2018

PLANNING APPLICATION
NUMBER PLN2018-13443

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PROJECT DESCRIPTION

THE PROJECT IS LOCATED WITHIN THE TASMAN EAST FOCUS AREA. PARCEL 60, MEASURING APPROXIMATELY .96 ACRES, IS BOUND TO THE SOUTH BY CALLE DE MUNDO. PARCEL 61, MEASURING APPROXIMATELY .99 ACRES, IS BOUND TO THE SOUTH BY CALLE DE MUNDO AND IS LOCATED IMMEDIATELY TO THE WEST OF PARCEL 60. IN ADDITION TO THEIR MEETS AND BOUNDS THE PARCELS HAVE AN EASEMENT ALONG THEIR NORTH BOUNDARIES. THIS EASEMENT IS OUTLINED ON THE PROJECT SITE PLAN. THE PARCELS ARE WITHIN THE HILL DISTRICT AREA OF THE MASTER PLAN.

THE PROPOSED DEVELOPMENT ON PARCELS 60 & 61 REPLACES TWO EXISTING ONE STORY BUILDINGS AND ASSOCIATED SURFACE PARKING. THE PARCELS WILL BE MERGED AND DEVELOPED AS A MIXED USE MID-RISE BUILDING WITH RESIDENTIAL UNITS AND ASSOCIATED STRUCTURED PARKING. THE PROPOSED PROJECT IS 8-STORIES.

THE PROJECT CONNECTS TO THE BROADER MASTER PLAN BY ESTABLISHING PUBLIC OPEN SPACES, ACTIVATING SIDEWALKS, INCLUDING VARIED MASSING, AND ARCHITECTURALLY ADDRESSING ITS PRIMARY STREET FRONTAGE AND THE BROADER CONTEXT. A PORTION OF THE SITE IS DEDICATED AS PUBLIC PARK.

THE PROJECT AIMS TO PROMOTE A HEALTHY, RESILIENT COMMUNITY THROUGH REDUCTION OF ON-SITE RESOURCE USAGE, DROUGHT TOLERANT LANDSCAPE APPROACHES, STORM WATER SOLUTIONS, SHADED OPEN SPACES, ON-SITE ELECTRICAL VEHICLE CHARGING STATIONS AND SHARED VEHICLE ALLOWANCE, AND GREEN BUILDING STRATEGIES.

PARCEL 60+61 (MID-RISE BUILDING)

PROJECT SUMMARY

LOCATION:	PARCELS 60 & 61 - CALLE DE MUNDO
SPECIFIC PLAN:	TASMAN EAST FOCUS AREA PLAN
PARCEL AREA:	43,000 (PARCEL 61) + 41,800 SF (PARCEL 60) = 84,800 TOTAL
AREAS:	130,710 SF PARKING, 303,180 SF RESIDENTIAL, 650 SF COMMERCIAL C/D WORKING, 1,470 SF PARK AMENITY
LOT COVERAGE:	74%
OCCUPANCY:	S-2 (PARKING GARAGE), R-2 (RESIDENTIAL UNITS), A-3 (ACCESSORY RESIDENTIAL AMENITY)
CONSTRUCTION TYPE:	TYPE IIA OVER TYPE IA
BUILDING HEIGHT:	85-FT PLUS APPURTENANCES
STORIES/HEIGHT ALLOWED:	85-FT AND 5 STORIES OVER PARKING
SPRINKLERS:	FULLY SPRINKLERED (NFPA 13 SYSTEM)

FIRE DEPT. ACCESS: BUILDING HAS FRONTAGE ON ONE PUBLIC RIGHT OF WAY. PORTIONS OF THE BUILDING ARE IN EXCESS OF 150-FT FROM THE R.O.W. THE ARCHITECT WILL COLLABORATE WITH THE FIRE DEPARTMENT TO DETERMINE ALTERNATE MEANS OF PROTECTION. SEE LETTER CONFIRMING PROJECT ADOPTION OF SPECIFIC MITIGATION MEASURES.

EDICUS AREA PLAN SUMMARY (FAP DATED 7/22/19)

SETBACKS:	REQUIRED CALLE DE MUNDO	5-FT	PROVIDED SEE G110 & G111
STEPBACKS:	CALLE DE MUNDO	5-FT AVG. FROM STREETWALL ABOVE 85-FT, MIN. 50%	SEE G110 & G111
HEIGHT:	85-FT MIDRISE HEIGHT, PLUS APPURTENANCES		85-FT, PLUS APPURTENANCES SEE G110 & G111
BLANK:	80-FT PLAN LENGTH FOR CHANGE IN ARTICULATION		
PARKING:	RESIDENTIAL: 1/DU > 550 SF, 0.5/DU < 550 SF RESIDENTIAL GUEST: 0.05/DU		SEE G002 SEE G002
CAR SHARE:	1:400/DU		SEE G002
BIKE STORAGE:	CLASS ONE: 1/200U REQUIRED (1/200U PROVIDED)		SEE G002
OPEN SPACE:	12.5% OF LOT AREA AS PRIVATE OPEN SPACE		SEE G105

VICINITY MAP



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PROJECT MILESTONES

- ANTICIPATED PERMIT APPLICATION 2020
- GRADING & FOUNDATION 2020

PARKING TABULATION

PARKING STALLS						
Level	Retail/Guest Residential/Car Share...	Standard	Residential Compact	Residential Accessible	EV Compla...	Tandem
	9' x 18'	8.5' x 17'	7'-6" x 16'	9' x 18'	9' x 18'	
3		97			3	10
2		84		6	3	8
1	15	67		4	3	8
Total	15	248	0	10	9	26

ACCESSIBLE PARKING CALCULATION*

PARKING STALLS			
	Stall count	Percent	Accessible Total
Residential Parking at 2% of DU	273	2%	5
Residential Guest Parking at 5% of stalls	15	5%	1
Commercial Co-Working Parking (at 1:25 stalls)	1	1:25	1
Park Amenity Space (at 1:25 stalls)	2	1:25	1
Additional Un-assigned Parking at 5% of stalls	17	5%	1
Total Accessible Parking Required			10
Total Accessible Parking Provided			10

* Accessible stalls included in "required" and "provided" parking calculations

ELECTRIC VEHICLE (EV) and CLEAN AIR VEHICLE PARKING CALCULATIONS*

PARKING STALLS			
	Stall count	Percent	EV Total
Residential and guest spaces**	306	3%	9
Commercial Co-Working Parking Spaces***	3	10-25 stalls	0
Commercial Clean Air Vehicle****	1	10-25 stalls	0
Total EV Compliant Parking Required			9
Total EV Compliant Parking Provided			9
Total EV Enabled Stalls****			306

* EV and Clean Air stalls included in "required" and "provided" parking calculations

** Per CAL Green - Residential Mandatory Measures - 3% of the total number of parking spaces provided for all types of parking facilities, capable of supporting future EVSE.

*** Per CAL Green Non-Residential Mandatory Measures - EV stalls to be provided for non-residential uses per table 5.106.5.3.3 (10-25 stalls : 1 EV stalls)

**** 100% EV Enabled Stalls per Tasman East Focus Area Plan requirements (03.9 Parking Framework)

***** Commercial Clean Air Vehicle requirements per Cal Green Non-Residential Mandatory Measures.

NOTE

ONLY THE 3% OF EV STALLS REQUIRED BY CAL-GREEN ARE ANTICIPATED TO BE SIZED 9'X18', MEETING CAL-GREEN REQUIREMENTS.

BICYCLE PARKING CALCULATIONS*

BIKE PARKING*			
	Count	Percent	Bike Total
One space per Dwelling Unit	301	1:2	151
Once space per 3,750 sf of retail	650	1:3,750	0
Total Bike Parking Required			151
Total Bike Parking Provided			151

* Secured Class I spaces.

REQUIRED

RESIDENTIAL PARKING			
Dwelling Units Provided	301		
Units > 550 gsf	244		
Units < 550 gsf	57		
Ratio Units > 550 gsf	1 to 1	Req'd:	244
Ratio Units < 550 gsf	0.5 to 1	Req'd:	29
Guest Parking Ratio	1 to 0.05	Req'd:	15
Car Share Parking	1 to 400 du	Req'd:	1
Total			289

COMMERCIAL CO-WORKING PARKING

Commercial Co-Working	650 sf provided		
Grocery Retail	0 sf provided		
Commercial Co-Working	1:1,000 sf	Req'd:	1
Grocery	1:500 sf	Req'd:	0
Total			1

PROVIDED

RESIDENTIAL PARKING			
Parking Units > 550 gsf	244		
Parking Units < 550 gsf	29		
Guest Parking	15		
Car Share Parking	1		
Total			289

COMMERCIAL CO-WORKING...

Commercial Co-Working	1:1,000 sf		1
Grocery	1:500 sf		0
Total			1

ADDITIONAL PARKING

Park Amenity Space			2
Surplus Stalls			17
Total Parking Provided			308

PRELIMINARY BUILDING AREA TABULATIONS

Level	Residential Net Rentable SF*	Residential Amenity SF**	Residential Circulation SF***	Residential Total GSF	Commercial Co-Working SF	Park Amenity	Garage Total SF****	Total GSF
ROOF								0
8	40,940	885	7,315	49,140	0	0	0	49,140
7	44,155	0	7,550	51,705	0	0	0	51,705
6	44,155	0	7,550	51,705	0	0	0	51,705
5	43,465	0	7,550	51,015	0	0	0	51,015
4	38,425	5,860	7,420	51,705	0	0	0	51,705
3	11,550	1,820	6,190	19,560	0	0	41,230	60,790
2	6,890	1,970	5,270	14,130	0	0	39,840	53,970
1	1,340	7,800	5,080	14,220	650	1,470	39,640	55,980
Total	230,920	18,335	53,925	303,180	650	1,470	120,710	426,010

NOTES:

* Residential Net Rentable SF calculation includes exterior, corridor and party walls

** Residential Amenity SF includes entry lobby, leasing office, club room, fitness room, etc

*** Residential Core SF include corridors, residential level lobbies, stairs, elevators, res. level utility spaces, etc

**** Garage Total SF includes all spaces inside garage footprint, such as mechanical/utility spaces, etc

Note: Level 1 area includes area within Townhomes located on L2

FLOOR AREA BY HEIGHT

Level	Building Height	Floor Area	Area % by Floor
ROOF	83' - 6"	0	0%
8	73' - 6"	49,140	12%
7	63' - 6"	51,705	12%
6	53' - 6"	51,705	12%
5	43' - 6"	51,015	12%
4	33' - 6"	51,705	12%
3	22' - 0"	60,790	14%
2	11' - 6"	53,970	13%
1	0' - 0"	55,980	13%
Total		426,010	100%

SITE AREA CALCULATION

	GSF	ACRES
Site Area - Parcel 60	41,600	0.96
Site Area - Parcel 61	43,000	0.99
Site Area - Total	84,600	1.94

EXISTING LAND USES

Site	Use	Floor Area	Last Occupied
P60	Light Industrial	16,490	Currently Occupied
P61	Light Industrial	17,470	Currently Occupied
Total		33,960	

PRELIMINARY UNIT MIX*

LEVEL	M1.1 MICRO 30'x16' 480 GSF	M1.2 MICRO 33'x16' 528 GSF	A1.1 1 BED 33'x20' 660 GSF	A1.2 1 BED 22'x30' 660 GSF	A1.4 1 BED 24'x25' 600 GSF	A2.1 1 BED 24'x30' 720 GSF	A3.1 1 BED 24'x25' 600 GSF	A4.1 1 BED 40'x25' 735 GSF	A5.1 1 BED VARIES 775 GSF...	B1.1 2 BED 28.5'x33' 940.5 GSF	B2.1 2 BED 35'x30' 1050 GSF	B3.1 2 BED VARIES 890 GSF...	C3.1 3 BED 43'x30' 1290 GSF	LV /WK 1 BED CUSTOM 1800 GSF	UNIT TOTAL
8	1	10	6	1	-	10	5	5	-	5	11	-	-	-	54
7	1	10	6	1	-	11	7	5	-	5	11	-	1	-	58
6	1	10	6	1	-	11	7	5	-	5	11	-	1	-	58
5	1	10	6	1	-	10	7	5	-	5	11	-	1	-	57
4	2	11	6	-	-	9	7	3	-	5	8	-	1	-	52
3	-	-	-	-	-	-	-	-	11	-	1	1	-	-	13
2	-	-	-	-	-	-	-	-	6	-	-	1	-	-	7
1	-	-	-	-	-	-	-	-	-	-	-	-	-	2	2
TOTAL	6	51	30	4	0	51	33	23	17	25	53	2	4	2	301
%	2%	17%	10%	1%	0%	17%	11%	8%	6%	6%	16%	1%	1%	1%	100%
	2,880	26,928	19,800	2,640	0	36,720	19,800	16,905	13,175	23,513	55,650	1,780	5,180	3,600	28,391

* Unit GSF includes exterior, corridor and party walls

** As calculated in the Preliminary Building Area Tabulation

TASMAN EAST - THE HILL
SANTA CLARA, CA

2263 CALLE DEL MUNDO, SANTA CLARA, CA

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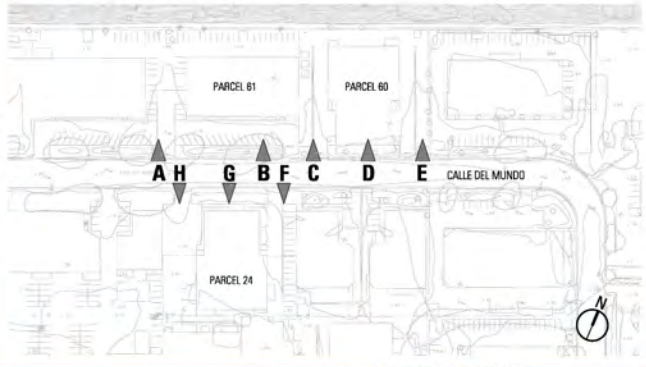
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RETHINK

PROJECT DATA

G002

EXISTING CONDITIONS



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TASMAN EAST - THE HILL
SANTA CLARA, CA

2263 CALLE DEL MUNDO, SANTA CLARA, CA

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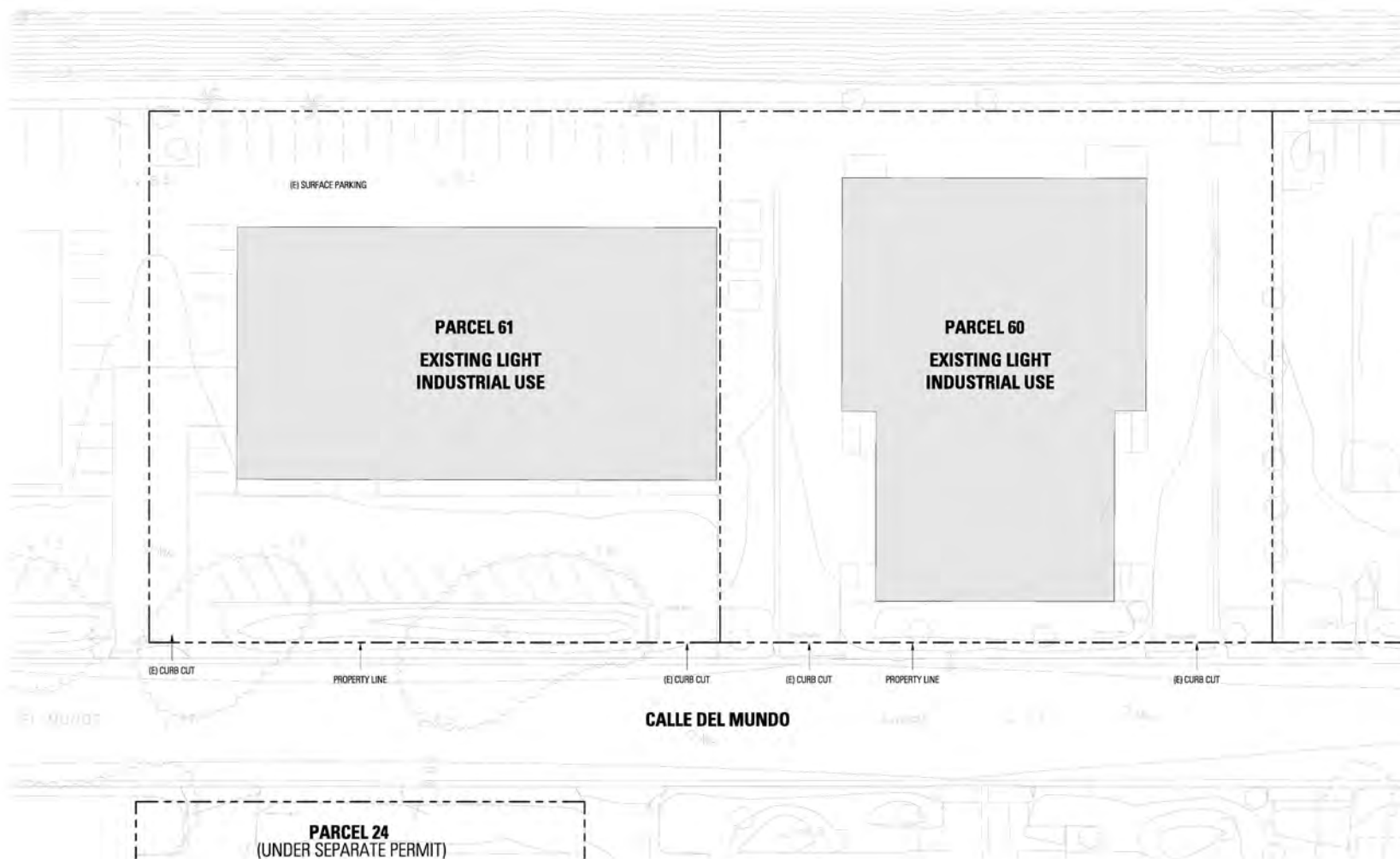
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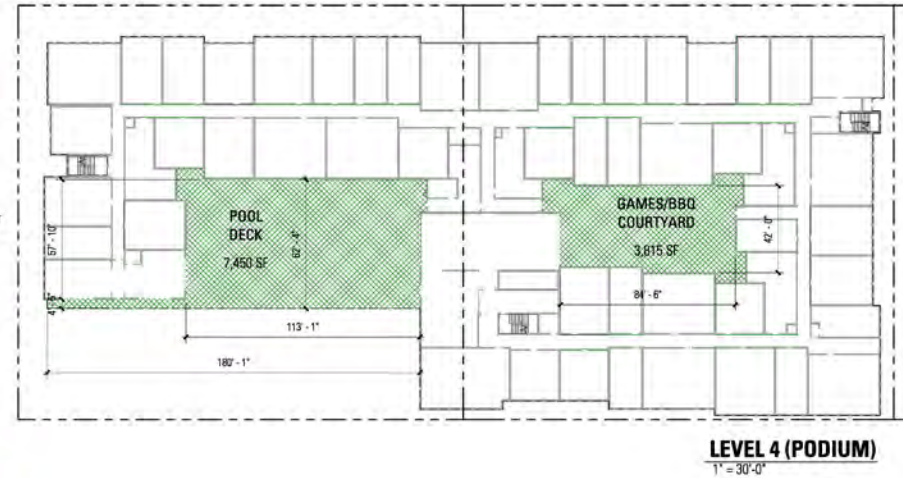
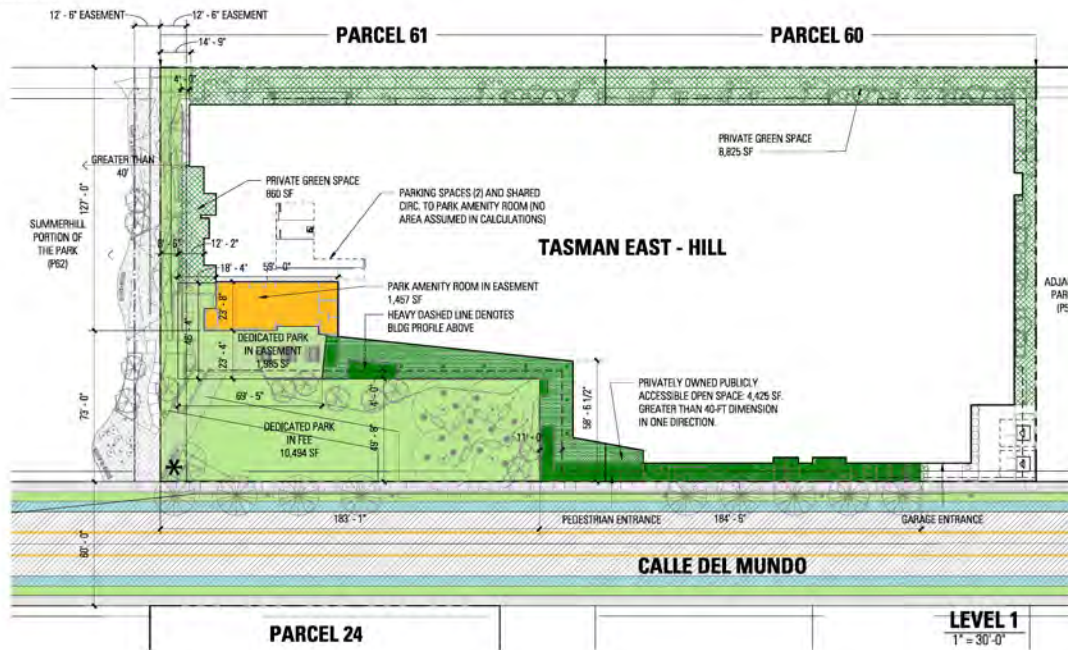
SITE CONTEXT

G011



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OPEN SPACE LEGEND



Hillside TEFA Dedicated Park Requirements

Parcel	Parcel SF	Land Percentage of Hill District	Proportion of Park Area Req'd for Hill District Compliance	Contiguous Park SH&Ensemble	St. Anton Park Req Exempted
59 (St Anton)	49,660	19%			
60 (Ensemble)	41,600	16%	5,753	5,753	
61 (Ensemble)	43,000	16%	5,947	5,947	
62 (SHH)	43,000	16%	5,947	5,947	
63 (SHH)	40,334	15%	5,578	5,578	
64 (SHH)	49,767	19%	6,883	6,883	
	267,361	100%	30,107	30,107	
Required					
Ensemble				10,494	
				1,985	
				1,457	
Ensemble Total			11,700	13,936	complies
SummerHill			18,407	18,400	
			30,107	32,336	0.75 acre
Provided					
St Anton to provide					
TBD					

SITE AREA:
12.5% REQ'D OPEN SPACE:
PROVIDED:
• PUBLICLY ACCESSIBLE:
• PRIVATE TOTAL:
• TOTAL:

84,800 SF
10,575 SF REQ'D FIXED & FLEXIBLE OPEN SPACE
4,425 SF
22,602 SF (2,580 LEVEL 8 + 11,265 LEVEL 4 + 8,825 SIDEYARD + 880 ST/OOP)
11,800 SF CONTRIBUTING
18,225 SF, PROJECT COMPLIES



NOTE: THIS SHEET ILLUSTRATES COMPLIANCE WITH OPEN SPACE REQUIREMENTS OF THE TASMAN EAST FOCUS AREA SPECIFIC PLAN FOR CITY OF SANTA CLARA PARKLAND DEDICATION ORDINANCE COMPLIANCE SEE SHEET LS.1 & LS.2

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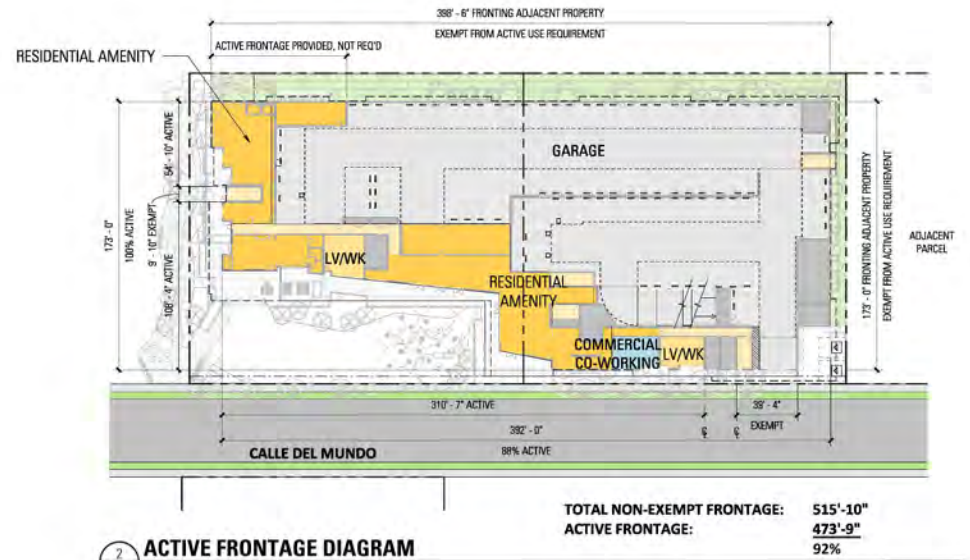
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OPEN SPACE DIAGRAMS

G105

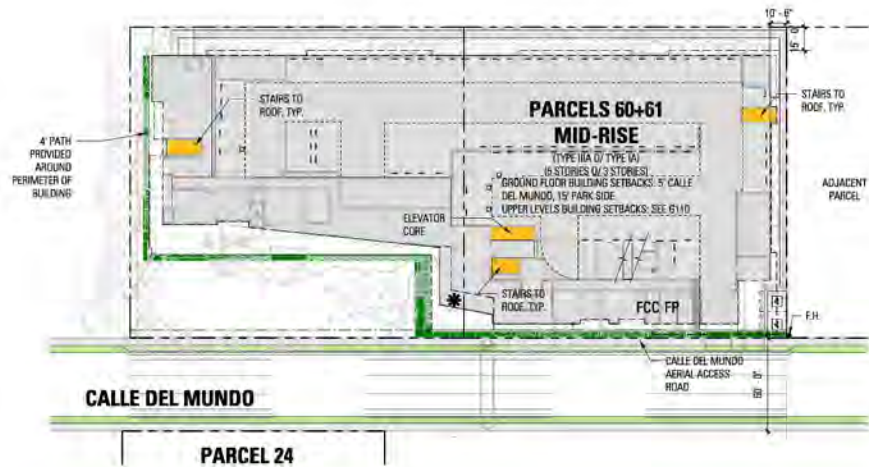


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G106
CALLE DEL MUNDO - APPARENT FACE
1" = 20'-0"

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ADDITIONAL CODE AND JURISDICTIONAL NOTES TO BE INCLUDED FOR PERMIT PHASE AND/OR CONSTRUCTION AND OCCUPANCY PHASES AS APPLICABLE:

1. Required fire flow from the Water & Sewer Department in accordance with the California Fire Code shall be incorporated into the submittal.
2. The property shall be fenced off during demolition and construction as a safety barrier to the public and deterrent to theft and other crime. Fence screening material shall be coordinated with Police Department.
3. Address numbers shall be a minimum of twelve (12) inches in height for commercial addresses. Addresses will be externally illuminated during dark hours and shall be clearly visible from the street. Each unit/building address shall be clearly visible.
4. Businesses with rear entry entrance doors shall be numbered with the same address numbers or suite numbers as the front doors. Numbers that are a minimum height of 4" are recommended.
5. There shall be positioned near the entrance an illustrative diagram of the complex, which shows the location of the viewer and unit designations within the complex, including separate building designations. This diagram shall be illuminated and should be protected by vandal and weather resistant covers.
6. Each distinct unit within the building shall have its address displayed on or directly above both front and rear doors.
7. When there is an alley or driveway to the rear of the business or commercial establishment that provides pedestrian or vehicle access, that area should be forced and locked after hours. A "Knox Box" or key coded system shall be used for police and fire emergency access.
8. Lighting for the project to be at IES (Illuminating Engineering Society of North America) standards and include the features listed below: White light source, pedestrian scale, full cut-off or shieldbox design, Unbreakable exterior, Tamper proof housings, Wall mounted lights/10' high. These features increase natural surveillance, support and/or enhance security camera capabilities, and increase Police Patrol effectiveness. All exterior doors should be adequately illuminated at all hours with their own light source.
9. All construction of dwelling units shall conform to the requirements of the Uniform Building Security Code as adopted by the City of Santa Clara City Council.
10. All elevators should be well lit and equipped with a security mirror to provide interior and exterior visibility prior to entry or exit.
11. Consider convex mirrors for elevator cabs and at stairwell landings in order to enhance natural surveillance for the user of the elevator or stairs. It is highly desirable to design an elevator shaft and cab to be transparent, making occupants of the cab visible from the outside. All elevators should be well lit and equipped with a security mirror to provide interior and exterior visibility prior to entry or exit.
12. All business or commercial establishments, of whatever nature, should have an electronic intruder alarm system installed. The system should cover the interior and perimeter of structures determined to be a value target. Also, consideration should be given to the exterior areas that are or contain value targets, such as product display lot, company vehicle parking area, etc.
13. The installation and use of interior and exterior security cameras and recording devices is highly encouraged.
14. The parking structure/site should be equipped with a centrally located emergency panic alarm system that reports to a central office. If more than one button/call station is installed, the emergency system should always be in visual distance from another emergency call station. There should not be more than 300 feet separating each call station, which is the current industry standard.
15. Exterior stairs shall be open style whenever structurally possible. The stairs should be well lit.
16. "White" light meeting the IES standard should be considered. There should be no "dark" areas inside the structure.
17. The interior of the parking structure should be painted light, highly reflective color. This increases the natural lighting available and can help prevent dark areas that attract criminal activity.
18. All entrances to the parking areas (structure, surface, subterranean, etc.) shall be posted with appropriate signage to discourage trespassing, unauthorized parking, etc. per California Vehicle Code section 22658 (a).
19. Alcoves and other visual obstructions that might constitute a hiding place will be minimized. Pillars, columns, and other open construction are provided in lieu of a solid wall design.
20. Storage, maintenance, and trade rooms within the parking garage shall have doors which cannot be locked from the inside and that close and lock quickly and automatically upon exit.
21. A Coded Entry System is required for police access to enclosed parking lots and gated communities. This can be accomplished with a coded key pad system or the Police Department Knox Box key system.
22. Public Safety Radio Systems Penetration Guidelines have been established by the City of Santa Clara Communications Department for radio signal penetration during emergencies. The project may be required to install equipment for adequate radio coverage for the City of Santa Clara Radio Communications System, including but not limited to Police and Fire emergency services. The developer will contact the director of communications to determine requirements.
23. Developer of the structure shall provide and install the radio retransmission equipment necessary to restore communications capabilities as required by the official. The equipment shall be located in an approved space or area within the new structures.
24. Upon separate application for retail occupancy, applicant shall contact the Santa Clara Police Department "Permit" unit (408-615-4698) for regulated activity special licensing requirements.
25. Upon separate application for retail occupancy, applicant shall contact the Santa Clara Police Department "Intelligence" unit (408-615-4849) for Alcohol Beverage Control (ABC) licensing review.
26. After separate application for retail occupancy, the business shall undergo a 6 month and 1 year review, including a check for ABC violations and police service calls.
27. Upon separate application for retail occupancy, applicant shall contact the Santa Clara Police Department "Intelligence" unit (408-615-4849) for entertainment permit requirements.
28. Upon separate application for retail occupancy, all business or commercial establishments, of whatever nature, should have a comprehensive internal security plan, tailored to the specific use. This should include, but not be limited to, employee security during working hours, after hours security, disaster preparation, etc. For retail uses, especially where there is cash on hand, robbery and cash security protocols should be established. Applicants are encouraged to contact the Santa Clara Police Department's Community Services Unit (408-615-4899) for assistance.



SITE PLAN - FIRE/CODE SITE PLAN

1" = 40'-0"

- STAIR / ELEVATOR CORE
- * LOBBY / MAIN ENTRANCE
- 150' FIRE HOSE EXTENSION

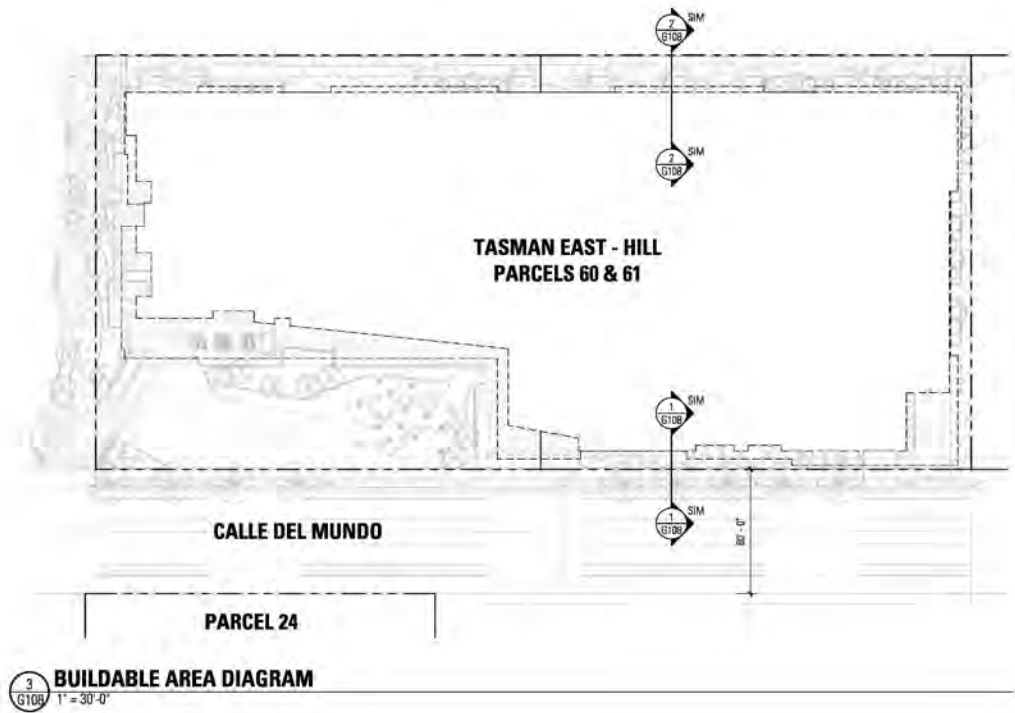
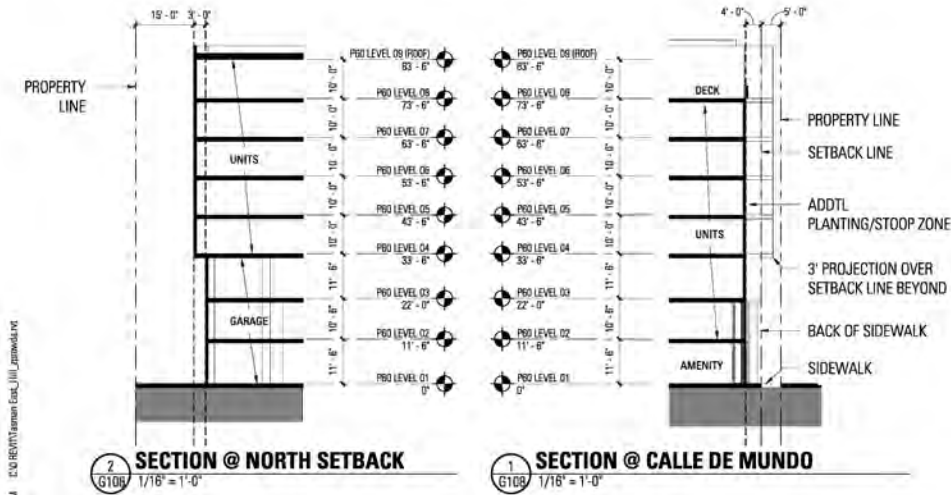
NOTE: FIRE HYDRANT LOCATIONS TBD

FOCUS AREA PLAN SUMMARY

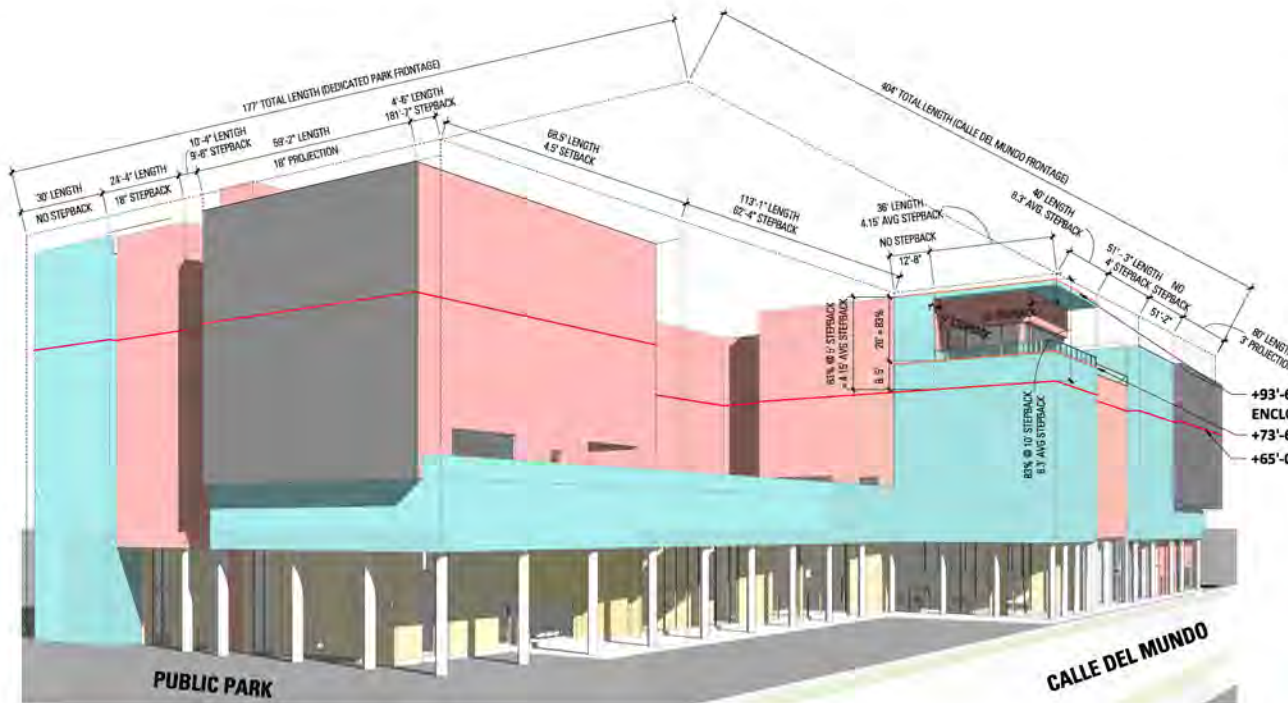
(DATED 02/22/19)

STREET SECTIONS (SEE CIVIL DRAWINGS):

- CALLE DEL MUNDO - 60' R.O.W.; 41' CURB-TO-CURB
- (1) 11' DRIVE LANE / TURN LANE
- (2) 10' DRIVE LANES
- (2) 5' BIKE LANES
- (2) 4.5' STREET LIFE ZONES
- (2) 5' WIDE SIDEWALK
- 5' BUILDING SETBACK AT GROUND LEVEL
- 5' AVERAGE BUILDING STEP-BACK AT 85' ELEVATION FOR 50% OF FRONTAGE
- BUILDING AREA MAY PROJECT UP TO 3' INTO THE SETBACK ABOVE 12' (BAY WINDOW)



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TEFAP REQUIREMENTS (DATED 02/22/19)

BULK AND MASSING

- INDIVIDUAL BUILDINGS SHALL BE NO MORE THAN 300' IN LENGTH
 - 15' DEEP NOTCH, MIN. 40' DEEP REQUIRED TO BREAK UP MASSING IF EXCEEDS 300'
- 220' MAXIMUM TOWER HEIGHT PER FAA
- 85' MAXIMUM HEIGHT OF MID-RISE AND/OR TOWER BASE
- 5' AVERAGE SETBACK FROM THE STREET WALL, INCLUDING RECESSES AND PROTRUSIONS, FOR A MINIMUM OF 50% OF EACH BUILDING FRONTAGE. BALCONIES ARE PERMITTED IN RECESSES.
- STREETWALL SHALL BE VARIED AND ARTICULATED TO CREATE DIVERSITY OF SPACES
- TO MODULATE THE STREETWALL, THERE SHALL BE A CHANGE IN PLANE OF AT LEAST 3' IN THE HORIZONTAL DIMENSION COMBINED WITH A CHANGE IN MATERIAL OR FENESTRATION; OR A VERTICAL NOTCH OF AT LEAST 3' DEEP AND 5' WIDE, COMBINED WITH A CHANGE IN MATERIAL OR FENESTRATION (SEE ELEVATIONS SHEETS A210, A211)
- MASSING CHANGES SHALL RELATE TO OVERALL BUILDING DESIGN
- MASSING SHALL CONSIDER EFFECT ON GROUND LEVEL PUBLIC ENVIRONMENT

FRONTAGES

- ALL BUILDINGS SHALL BE SET BACK BETWEEN 5' AND 10' HORIZONTALLY FROM THE PROPERTY LINE OR SIDEWALK EASEMENT EXCEPT WHERE A BUILDING NOTCH IS PROVIDED TO COMPLY WITH STANDARD 6.2A IN WHICH CASE SETBACK MAY EXCEED 10'.
- ELEMENTS PERMITTED TO ENDOACH INTO THE SETBACK ZONE INCLUDE
 - BUILDING AREA UP TO 3', 12" MIN ABOVE SIDEWALK
 - ARCHITECTURAL ELEMENTS UP TO 2', 8" ABOVE SIDEWALK
 - CANOPIES AND AWNINGS UP TO 6', 10" ABOVE SIDEWALK
 - PLANTING BEDS FULL DEPTH OF SETBACK, UP TO 48" HIGH

LEGEND

- ELEMENT PROJECTS BEYOND "STREET WALL" (3' MAX ABOVE 12')
- ELEMENT DEFINES "STREET WALL" (5' MIN SETBACK FROM SIDEWALK EASEMENT OR PARK, 10' MAX.)
- ELEMENT IS STEPPED BACK FROM "STREET WALL" (5' AVERAGE SETBACK* FOR 50% OF FRONTAGE ABOVE 65')

BULK AND MASSING ITEM D, STEPBACK CALCULATION:

REQUIRED:

5' average setback from street wall above 65', including recesses and projections, for 50% minimum of the frontage length.

PROVIDED:

PUBLIC PARK FRONTAGE: 7.52' average, for 75.8% of the frontage length

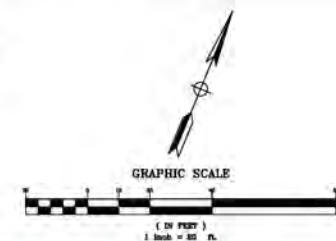
Length:	24.3'	+	10.3'	+	59.16'	+	4.5'	+	36'	=	134.26'	= 75.8% of 177' total length
Weighted Average Setback:	0.27'	+	0.73'	+	-0.66'	+	6.08'	+	1.1'	=		= 7.52' average setback
	(1.5' * 24.3' / 134.26')		(9.5' * 10.3' / 134.26')		(-1.5' * 59.25' / 134.26')		(181.6' * 4.5' / 134.26')		(4.15' * 36' / 134.26')			

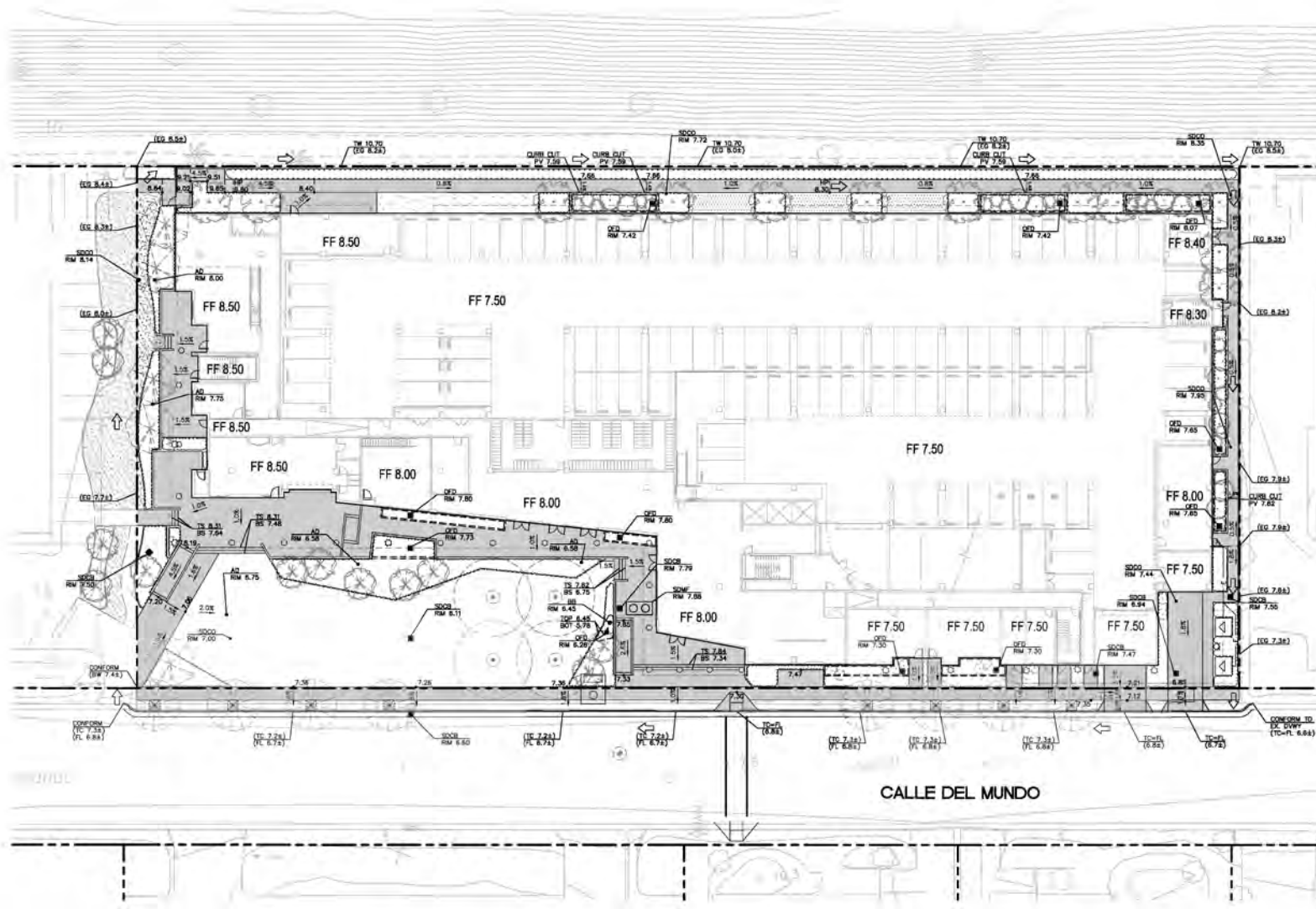
CALLE DEL MUNDO FRONTAGE: 21.68' average, for 87% of the frontage length

Length:	68.5'	+	113'	+	40'	+	51.25'	+	80'	=	352.75'	= 87% of 386' total length
Weighted Average Setback	0.87'	+	19.96'	+	0.94'	+	0.59'	+	-0.68'	=		= 21.68' average setback
	(4.5' * 68.5' / 352.75')		(62.3' * 113' / 352.75')		(8.3' * 40' / 352.75')		(4' * 52.25' / 352.75')		(-3' * 80' / 352.75')			

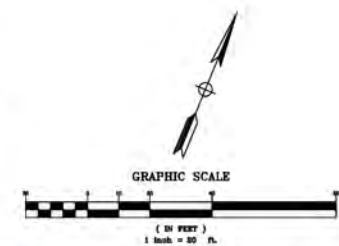
Notes:

- Where setback begins above 65', setback is calculated as a weighted average of all portions of the frontage segment located above 65'.
- Projections are included in the setback calculation as a negative value, as required by the TEFAP.





LEGEND	
PROPERTY LINE	---
GRADE BREAK LINE	---
VERTICAL CURB	---
VERTICAL CURB & GUTTER	---
FLOW-THROUGH TREATMENT PLANTER	---
BIORETENTION BASIN	---
FINISH GRADE ELEVATION	36.05
FINISH FLOOR ELEVATION	FF 36.05
GARAGE SLAB FLOOR ELEVATION	GS 36.05
TOP OF STEP ELEVATION	TS 36.05
BOTTOM OF STEP ELEVATION	BS 36.05
TOP OF CURB ELEVATION	TC 36.05
TOP OF ROLLED CURB ELEVATION	TRC 36.05
FLOW LINE ELEVATION	FL 36.05
HIGH POINT	HP
LOW POINT	LP
PAVEMENT ELEVATION	PV 36.05
GRADE TO DRAIN	---
SLOPE/DIRECTION OF FLOW	---
OVERLAND RELEASE	---
SANITARY SEWER/STORM DRAIN MANHOLE	---
SANITARY SEWER/STORM DRAIN CLEANOUT	SSCO
STORM DRAIN CATCH BASIN/OVERFLOW DRAIN	---
AREA DRAIN	---
STORM DRAIN MEDIA FILTER	---
BUILDING OVERHANG	---
TRANSFORMER (BY OTHERS)	---
SWITCHGEAR (BY OTHERS)	---



TASMAN EAST - THE HILL
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CALLE DEL MUNDO, SANTA CLARA, CA

PRELIMINARY GRADING & DRAINAGE PLAN



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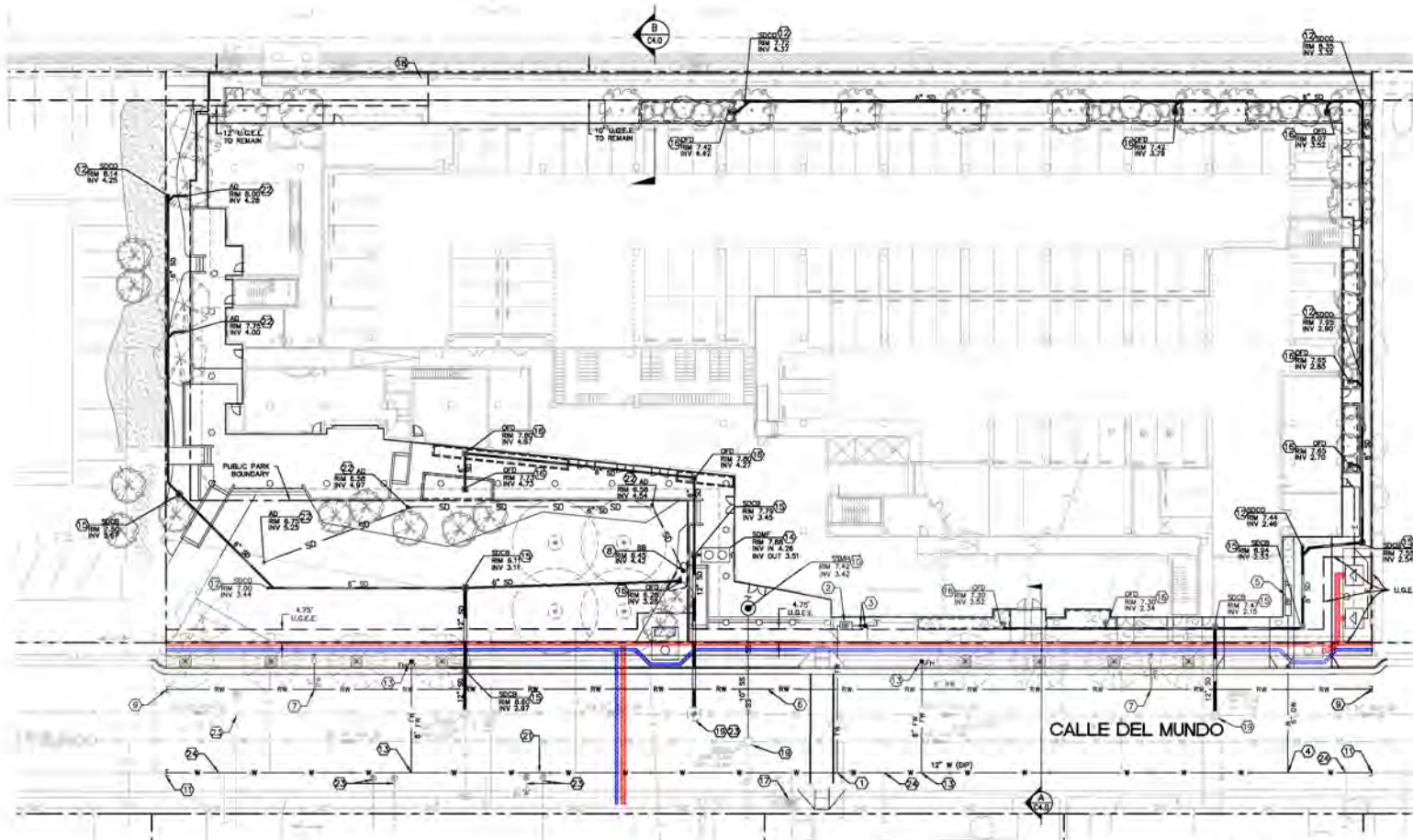
BAR architects

ENSEMBLE
REAL ESTATE INVESTMENTS



SCALE: 1"=20'

C3.0

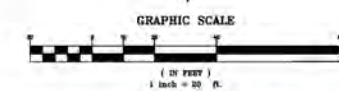
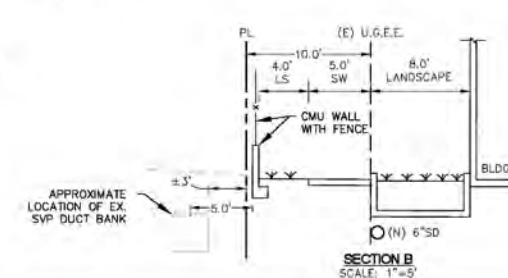
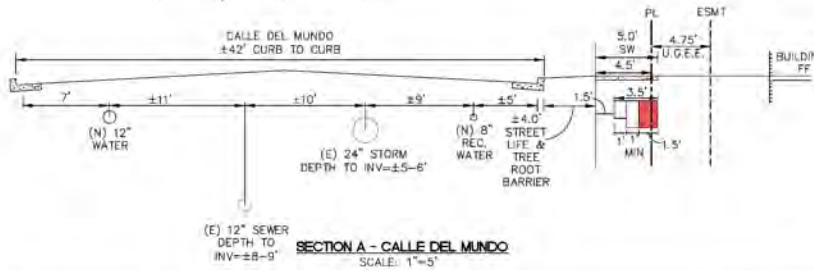


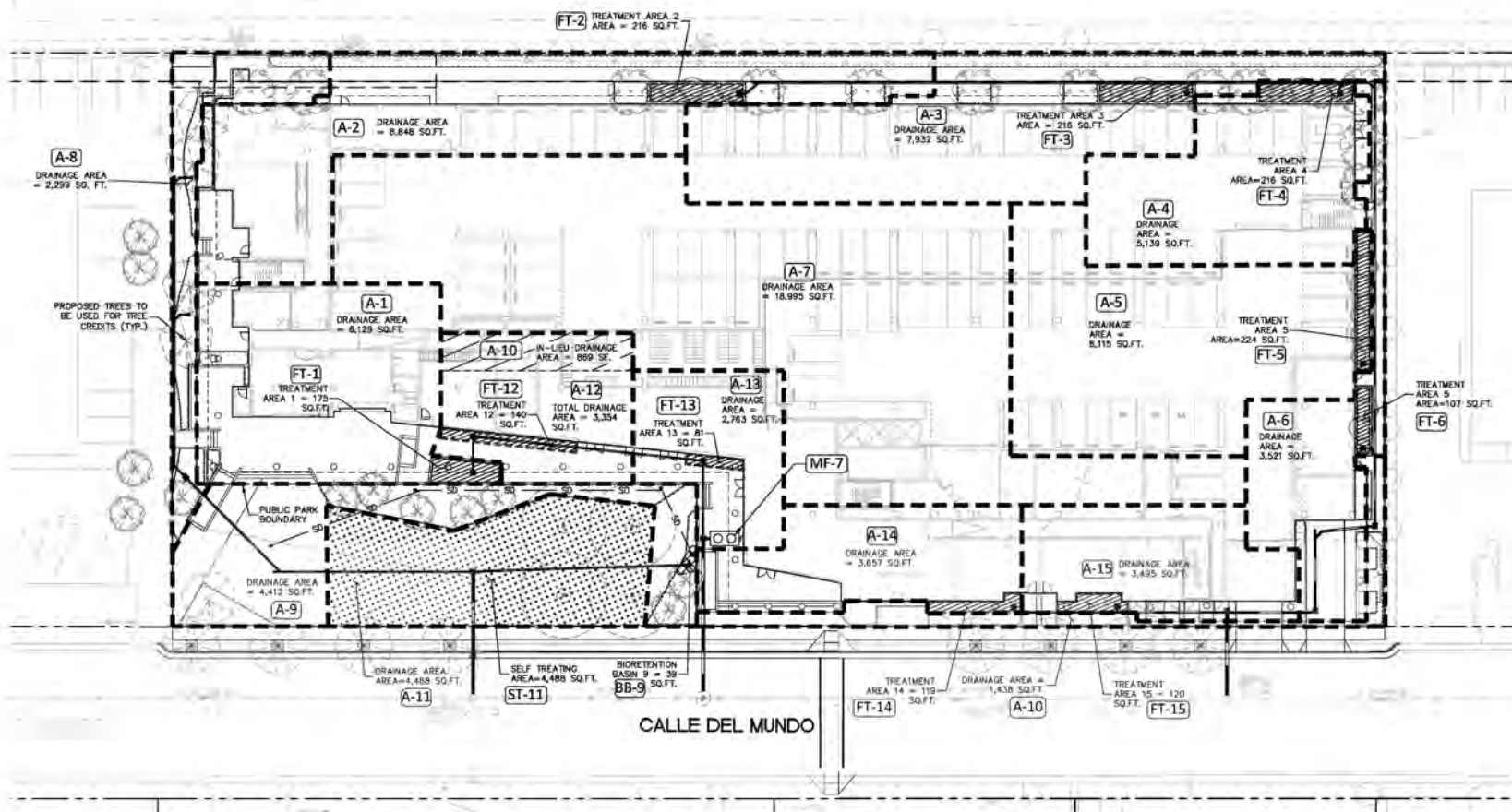
LEGEND	
PROPERTY LINE	---
STREET CENTER LINE	---
EASEMENT LINE	---
TREATED STORM DRAIN LINE	---
UNTREATED STORM DRAIN LINE	---
SANITARY SEWER LINE	---
DOMESTIC WATER LINE	---
PRIVATE ELECTRICAL CONDUIT BY OTHERS	---
COMMUNICATION TRENCH (PER JOINT TRENCH PLANS)	---
SW TRENCH (PER JOINT TRENCH PLANS)	---
RECYCLED WATER LINE	---
GAS LINE	---
FIRE WATER LINE	---
BUILDING OVERHANG	---
SANITARY SEWER/STORM DRAIN MANHOLE	○
SANITARY SEWER/STORM DRAIN CLEANOUT	○
FIRE HYDRANT/FDC/POST INDICATOR VALVE	○
FLOW-THROUGH TREATMENT PLANTER	○
BORE/TRENCH BASH	---
WATER WETTER/BACKFLOW PREVENTION ASSEMBLY	○
STORM DRAIN CATCH BASIN/OVERFLOW DRAIN	○
AREA DRAIN	○
STORM DRAIN MEDIA FILTER	○
BUBBLER BOX	○
TRANSFORMER (BY OTHERS)	○
SWITCHGEAR (BY OTHERS)	○

- ### CONSTRUCTION KEY NOTES
- INSTALL FIRE SERVICE PER CITY OF SANTA CLARA WATER DEPARTMENT STANDARD DETAIL NO. 16, TAP BY CITY OF SANTA CLARA.
 - INSTALL REDUCED PRESSURE DEVICE ASSEMBLY (RPDA) PER CITY OF SANTA CLARA WATER STANDARD DETAIL NO. 17, BACKFLOW PREVENTER TO BE WILCOX MODEL 4750A.
 - INSTALL PIV AND FDC.
 - INSTALL DOMESTIC WATER SERVICE PER CITY OF SANTA CLARA WATER STANDARD DETAIL NO. 11, TAP BY CITY OF SANTA CLARA.
 - INSTALL WATER WETTER AND REDUCED PRESSURE BACKFLOW PREVENTION DEVICE PER CITY OF SANTA CLARA WATER STANDARD DETAIL NO. 11, RPDA TO BE WATTS LIFESAV MODEL.
 - INSTALL 8" RECYCLED WATER MAIN.
 - INSTALL 1" RECYCLED WATER SERVICE PER CITY OF SANTA CLARA WATER STANDARD DETAIL NO. 2.
 - INSTALL BUBBLER BOX.
 - CONNECT TO EXISTING RECYCLED WATER, IF CONNECTING RECYCLED WATER MAIN IS NOT CONSTRUCTED, YET, INSTALL BLOW OFF VALVES AT EACH END OF THE NEW RECYCLED WATER MAIN.
 - INSTALL SANITARY SEWER MANHOLE.
 - CONNECT TO EXISTING WATER MAIN.
 - INSTALL STORM DRAIN CLEAN OUT.
 - INSTALL FIRE HYDRANT ASSEMBLY PER CITY OF SANTA CLARA STANDARD DETAIL NO. 10.
 - INSTALL STORM DRAIN MEDIA FILTER.
 - INSTALL STORM DRAIN CATCH BASIN.
 - INSTALL NEW OVERFLOW DRAIN.
 - EXISTING FIRE HYDRANT TO REMAIN AND TO BE RECONNECTED TO THE NEW WATER MAIN.
 - OVERHEAD ELECTRICAL LINE TO BE REMOVED ONCE SERVICE TO ADJACENT LOTS IS MAINTAINED WITH NEW UNDERGROUND LINES.
 - CONNECT TO EXISTING MANHOLE.
 - NOT USED.
 - INSTALL NEW 12" DP WATER MAIN.
 - INSTALL STORM DRAIN AREA DRAIN.
 - FUTURE UTILITY LINE/STRUCTURE TO BE CONSTRUCTED UNDER SEPARATE PERMIT.
 - RECONNECT TO EXISTING LATERAL TO NEW MAIN.

CLEARANCE NOTES

- PROVIDE ONE FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND RECYCLED WATER MAINS AND SERVICES AND OTHER FACILITIES UNLESS OTHERWISE NOTED ON THE PLANS.
- PROVIDE TEN FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND RECYCLED WATER MAINS AND SERVICES AND SANITARY MAINS AND SERVICES AND TREES.
- PROVIDE FIVE FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND STORM MAINS AND LATERALS AND OTHER GENERAL UTILITIES OR FACILITIES.





LEGEND

PROPERTY LINE
DRAINAGE AREA BOUNDARY
FLOW-THROUGH TREATMENT PLANTER
BIORETENTION BASIN
SELF TREATING AREA
PROPOSED STORM DRAIN (UNTREATED)
PROPOSED STORM DRAIN (TREATED)
ROOF OVERLAND
OVERFLOW DRAIN/STORM INLET
STORM DRAIN JUNCTION BOX
AREA DRAIN
STORM DRAIN MANHOLE
STORM DRAIN/SANITARY SEWER CLEAROUT
DRAINAGE AREA
FLOW-THROUGH PLANTER TREATMENT AREA
BIORETENTION BASIN TREATMENT AREA
SELF-TREATING TREATMENT AREA
STORM DRAIN MEDIA FILTER

C-3 CONSTRUCTION NOTE:

- DURING THE BEGINNING OF THE CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A THIRD-PARTY REVIEWER ACCEPTABLE TO THE CITY OF SANTA CLARA THAT THE INSTALLED STORMWATER TREATMENT MEASURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. THE THIRD-PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION. THE THIRD-PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY REVIEWERS CAN BE FOUND ON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPP) WEBSITE AT: WWW.SCVURPP-BOX.COM/CONSULTANTS_LIST.SHTML
- INSTALLATION OF POROUS PAVEMENT AND/OR VAULTS SHALL BE DONE PER STANDARD DETAILS AND SPECIFICATIONS. THIRD PARTY REVIEWER OR VENDOR SHALL INSPECT THE POROUS PAVEMENT AND/OR VAULTS INSTALLATION (INCLUDING IF NECESSARY, PERFORMING PERCOLATION TEST) AND SUBMIT THEIR CONCURRENCE LETTER TO THE CITY OF SANTA CLARA.
- INSTALLATION OF INTERCEPTOR TREES AS A TREATMENT CONTROL MEASURE SHALL BE INSPECTED AND VERIFIED THE ACCURACY OF LOCATION, SPECIES AND NUMBER OF THE INTERCEPTOR TREES

STORMWATER TREATMENT AREA DATA

TOTAL IMPERVIOUS AREA = 70,337 SQ. FT.

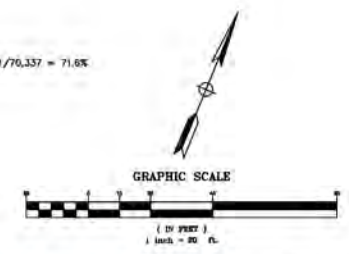
% IMPERVIOUS AREA TREATED BY LID (FLOW-THROUGH PLANTERS, BIORETENTION BASINS & SELF-RETAINING AREAS) = 50,351/70,337 = 71.6%

% IMPERVIOUS AREA TREATED BY MEDIA FILTER = 18,995/70,337 = 27.0%

% IMPERVIOUS AREA TREATED BY TREE CREDITS = 891/70,337 = 1.4%

MEDIA FILTER SIZING SUMMARY TABLE

MF-7 CALCULATION: $Q = 0.85 \times 0.2 \text{ IN/HR} \times 0.46 \text{ AC} = 0.08 \text{ CFS}$



DRAINAGE AREA	DRAINAGE AREA SQ. FT.	PERVIOUS SURFACE SQ. FT.	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	TOTAL TREE CREDITS (SQ. FT.)	EFFECTIVE IMPERVIOUS SURFACE (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	SIZING CRITERIA COMBINATION FLOW & VOLUME METHOD REQUIRED (PROVIDED)	PROPOSED TREATMENT CONTROLS
A-1	6328	175	LANDSCAPE	5954	-	5954	ROOF	154 175	FT-1
A-2	8848	1794	LANDSCAPE	7054	-	7054	ROOF, CONCRETE	194 216	FT-2
A-3	7932	1129	LANDSCAPE	6753	-	6753	ROOF, CONCRETE	184 216	FT-3
A-4	5139	236	LANDSCAPE	4923	-	4923	ROOF	135 216	FT-4
A-5	8115	234	LANDSCAPE	7891	-	7891	ROOF	216 234	FT-5
A-6	3521	107	LANDSCAPE	3414	-	3414	ROOF, CONCRETE	94 107	FT-6
A-7	18995	0	N/A	18995	-	18995	ROOF	-	MF-7
A-8	2296	1388	LANDSCAPE	971	1400	0	CONCRETE	39 39	THP DRAIN
A-9	4412	3783	LANDSCAPE	674	-	674	CONCRETE	39 39	BB-9
A-10 (N-LID)	1438	369	LANDSCAPE	869	-	869	CONCRETE	-	FT-12 (N-LID)
A-11	8488	8488	LANDSCAPE	0	-	0	N/A	-	ST-11
A-12	3154	145	LANDSCAPE	3009 (891N-LID)	-	3009 (891N-LID)	ROOF	68 145	FT-12
A-13	7763	81	LANDSCAPE	7682	-	7682	ROOF	74 81	FT-13
A-14	3657	179	LANDSCAPE	3478	-	3478	ROOF	99 119	FT-14
A-15	5816	120	LANDSCAPE	5696	-	5696	ROOF	63 120	FT-15
TOTALS	84595	14248		70337	-	69346		1307 1553	



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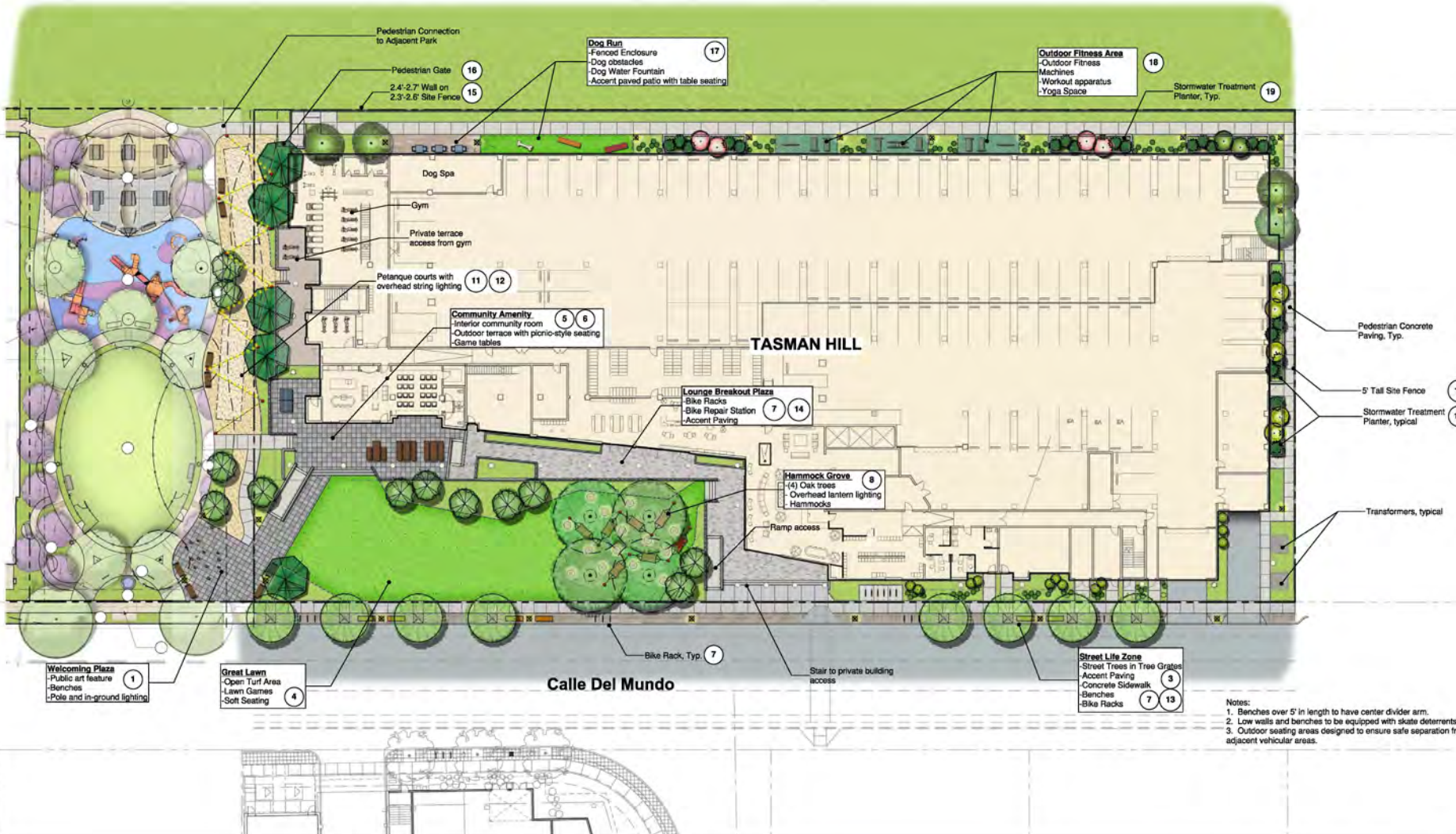
ENSEMBLE[®]
REAL ESTATE INVESTMENTS

RETHINK
LANDSCAPE

Scale: 1" = 20'
0 10' 20' 40'

OVERALL SITE PLAN

L1.1



Notes:
 1. Benches over 5' in length to have center divider arm.
 2. Low walls and benches to be equipped with skate deterrents.
 3. Outdoor seating areas designed to ensure safe separation from adjacent vehicular areas.

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RETHINK
 LANDSCAPE

Scale: 1" = 20'
 0 10' 20' 40'

L1.2



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RETHINK
DESIGN



Scale: 1" = 10'
0 5' 10' 20'

DEDICATED PARKLAND ENLARGEMENT

L1.3a



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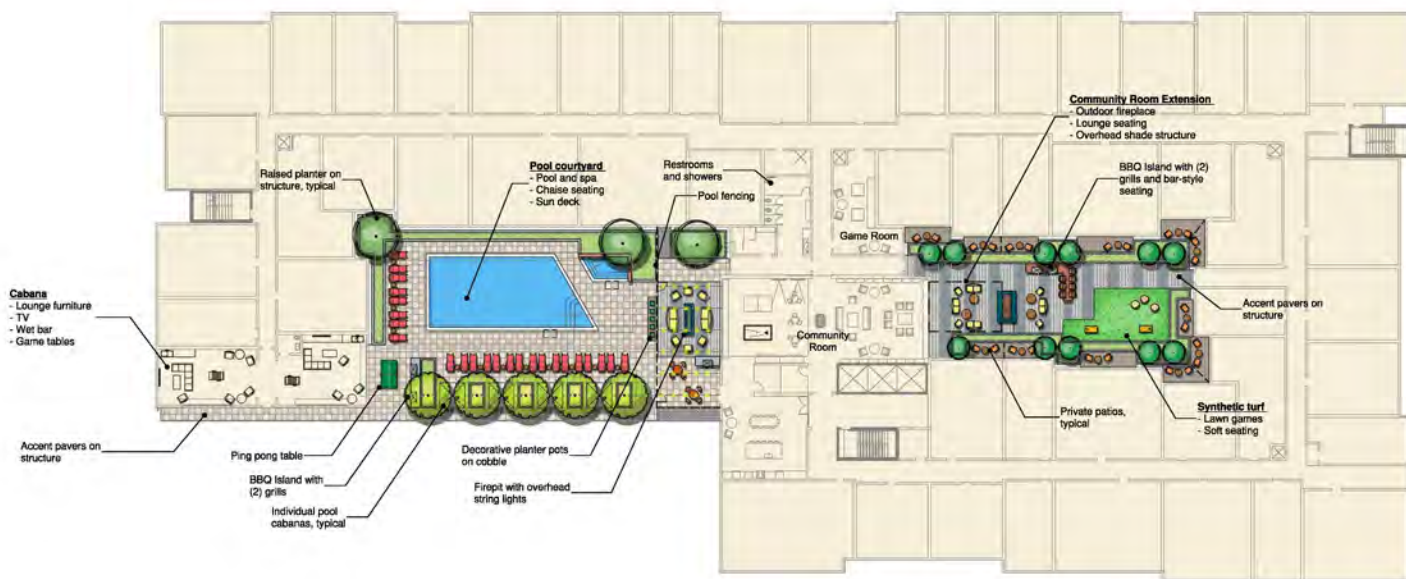
ENSEMBLE[®]
REAL ESTATE INVESTMENTS

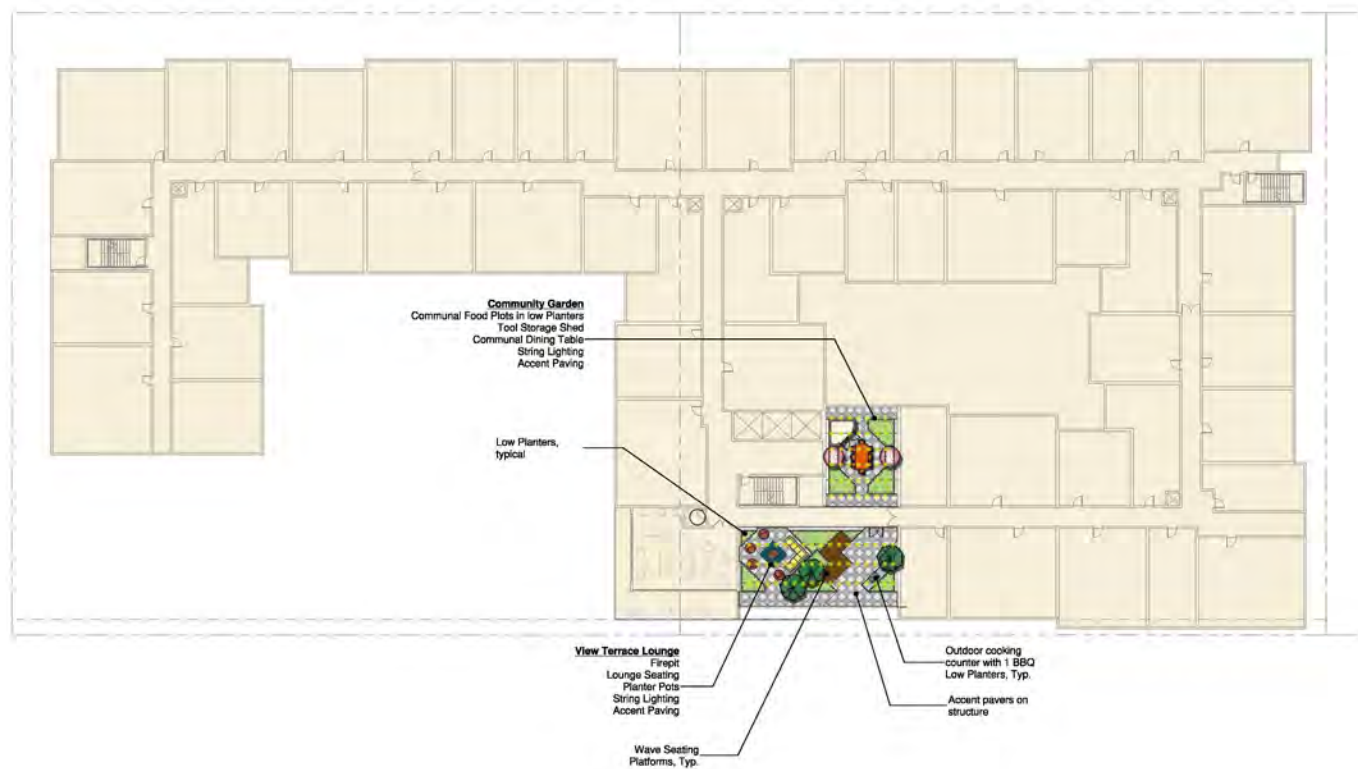
RETHINK
LANDSCAPE

Scale: 1" = 10'
0 5' 10' 20'

L1.3b

DEDICATED PARKLAND ENLARGEMENT





Hill Park Narrative:

The Ensemble portion of the Hill Park builds on what has already been designed by Summerhill as well as anchors the Hill District and terminus of the Calle del Sol extension.

The Park's California Oak and Hammock Grove on the West side of the axis of Calle del Sol provides a strong natural invitation and connection to the Hill Park from the neighborhood. The trees form a statement and shade during the day with an interesting collection of hammocks for park goers to relax or play in. During the evening the lights and lanterns hung from the California Oaks will create a whimsical visual anchor at the end of the Calle del Sol extension as well as Calle del Mundo to invite interest and interaction with the public park.

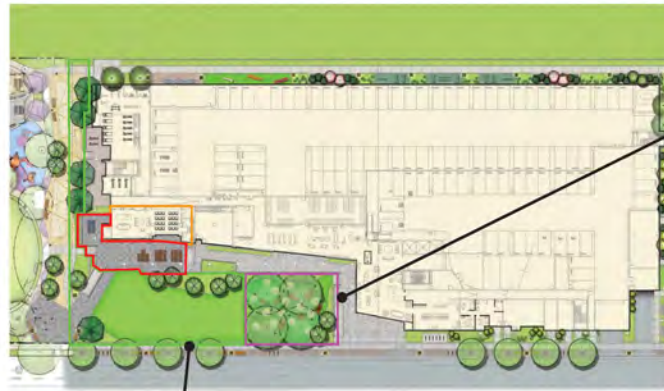
To the West of this Oak Grove fronting Calle del Mundo and reaching West until it intersects with Summerhill's portion of the park lies the Great Lawn for creative play or relaxation that has a collegiate feel. Frisby, lawn games, playing catch, or just lying out a blanket and having a picnic would be welcome.

To the North of the lawn lies the Park Community Room and Terrace that can be reserved by anybody in Santa Clara for events, kids' parties, meetings, etc much like other community rooms throughout the city. It will have a kitchen and AV equipment including a screen that can be used for events and will also have bathrooms that can be used by visitors to the community room and the park. It will have furniture that can be reconfigured for particular events and a garage style glass door to open the space to the Terrace to accommodate larger groups or events while covered from the elements.

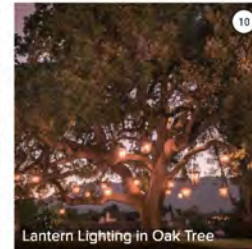
The Community Room Terrace is an outdoor breakout space for the Community Room. This terrace will be tucked under the residential building overhang protecting users from the sun and elements. This space will be furnished with park tables and chairs, as well as, outdoor game tables.

To the West of the Great Lawn and Community Room and Terrace lies a welcome plaza with a collection of natural boulders and artful structures as well as a decomposed granite petanque courts (French Bocce ball) with inviting overhead string lights that connect with the Summerhill's park elements in a complementary and collaborative way.

Ensemble's park features along with Summerhill's park features and elements will collectively provide a great community park and asset that provides 8 of the 10 required elements for the Tasman East Focus Plan.



OAK AND HAMMOCK GROVE



GREAT LAWN



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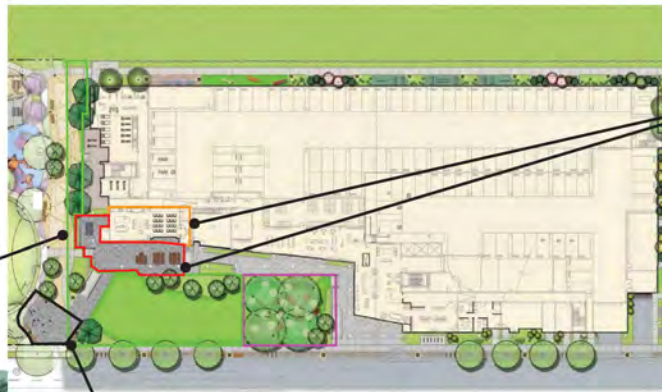
RETHINK
ENVIRONMENT

HILL PUBLIC PARK - INSPIRATION

L2.1



PETANQUE COURTS



COMMUNITY ROOM & TERRACE



WELCOMING PLAZA



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REAL ESTATE INVESTMENTS

RETHINK
THINKING

HILL PUBLIC PARK - INSPIRATION

L2.2

SITE FEATURES LEVEL 1



POOL TERRACE AND ZEN GARDEN COURTYARD LEVEL 4



GARDEN AND ROOF TERRACES LEVEL 8



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ENSEMBLE
REAL ESTATE INVESTMENTS

RETHINK
DESIGN

PRIVATE AMENITIES - INSPIRATION

L2.3



PLANT PALETTE

TREES	KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	WUCOLS
CITRUS	15 gal		Citrus - Dwarf Varieties	Citrus - Dwarf Varieties		M
LAG IND	36\" box		Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle		L
LAU SAR	15 gal		Laurel 'Sarabge'	Sarabge Laurel		L
LYO FLO	*		Lythrum salicaria	Catalina Ironwood		L
MAG GRA	*		Magnolia g. 'D.D. Blanchard'	Southern Magnolia		M
OLE EUR	*		Olea europaea 'Sweet Olive'	Fruitless Olive		VL
PLA ACE	48\" box		Platanus acerifolia 'Columbia'	London Plane Tree		M
POD MAC	*		Podocarpus macrophyllus	Yew Pine		M
QUE AGR	96\" box		Quercus agrifolia	Coast Live Oak		VL
TRILAU	*		Tritanea laurina	Little Leaf Myrtle		M
ULM PAR	48\" box		Ulmus parviflorus	European Elm		L

SHRUBS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
AC	5 gal		Acacia cognata 'Cousin Et'	Little River Wattle	30\" oc.	L
AD	5 gal		Asparagus densiflorus 'Meyer'	Fountain Fern	24\" oc.	L
AH	5 gal		Argemone hybrid 'Harmony'	Yellow Kangaroo Paw	24\" oc.	L
BM	15 gal		Bambusa multiplex 'Alphonse Karr'	Alphonse Karr Bamboo	30\" oc.	M
DB	5 gal		Dalmanella perfoliata	Red Yucca	36\" oc.	L
HP	5 gal		Hesperaloe parviflora	Red Yucca	36\" oc.	L
D	5 gal		Dryopteris filix-mas	Douglas Iris	36\" oc.	L
JV	5 gal		Juniperus virginiana 'Skyrocket'	Skyrocket Juniper	36\" oc.	L
LC	5 gal		Leucosiphon condensatus 'Canyon Prince'	Canyon Prince Wolf Yew	36\" oc.	L
LE	5 gal		Leucosiphon condensatus	Leucosiphon	36\" oc.	L
LL	5 gal		Leucosiphon condensatus 'Breeze'	Dwarf Mist Bush	24\" oc.	L
LP	5 gal		Leucosiphon condensatus 'Fire'	Leucosiphon	42\" oc.	L
LS	5 gal		Leucosiphon condensatus 'Safari Sunset'	Safari Sunset Conebush	42\" oc.	L
NT	5 gal		Nerita sibirica	Mexican Feather Grass	42\" oc.	L
PD	5 gal		Phormium tenax	New Zealand Flax	36\" oc.	L
PF	5 gal		Phormium tenax 'Firebird'	New Zealand Flax	36\" oc.	L
PM	5 gal		Phormium tenax 'Munro'	Western Sword Fern	42\" oc.	M
PO	5 gal		Pennisetum orientale	Oriental Fountain Grass	42\" oc.	M
PX	5 gal		Philadelphus 'Xanadu'	Xanadu Cultivar Philadelphus	42\" oc.	M
SC	5 gal		Sedum spectabile 'Autumn Chicks'	California Blue Sage	36\" oc.	M
SR	5 gal		Strelitzia reginae	Bird of Paradise	36\" oc.	M

GROUND COVER	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
AU	1 gal		Arctostaphylos uva-ursi 'Point Reyes'	Kinnikinnick	18\" oc.	M
FC	5 gal		Fragaria chiloensis	Ornamental Strawberry	30\" oc.	VL
TP	1 gal		Tradescantia pallida 'Purple Heart'	Purple Spiderwort	18\" oc.	M
Sod			Sod	Turf Grass		

SUCCULENTS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
AA	5 gal		Agave attenuata	Fox Tail Agave	48\" oc.	L
AB	5 gal		Agave 'Blue Flame'	Blue Flame Agave	30\" oc.	L
BF	1 gal		Bulbine frutescens 'Goldmark'	Orange Bulbine	30\" oc.	L
EA	1 gal		Echeveria 'Atterberg'	Atterberg Echeveria	30\" oc.	L
SM	1 gal		Senecio mandraliscae	Blue Chalk Sticks	30\" oc.	L
SS	1 gal		Sedum spectabile 'Angelina'	Angelina Stonecrop	30\" oc.	L

STORMWATER TREATMENT PLANTS	KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	WUCOLS
CA	5 gal		Carex tumida	Berkley Sedge	48\" oc.	L
CT	5 gal		Chondropetalum tectorum	Cape Rush	30\" oc.	L
HA	5 gal		Heteromella arbutifolia	Toyon	30\" oc.	L
HS	5 gal		Heteromella arbutifolia	Blue Oak Grass	30\" oc.	L
JP	5 gal		Junonia persea 'Tik Blue'	California Gray Rush	30\" oc.	L
MA	5 gal		Muhlenbergia capillaris	Oregon Grape	30\" oc.	L
MC	5 gal		Muhlenbergia capillaris	Painted Mulch	30\" oc.	L
PL	5 gal		Pharos californica 'Little Star'	Little Star Coffeeberry	30\" oc.	L
SA	5 gal		Syntherisma alba	Strawberry	30\" oc.	L

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PLANTING PLAN AND PALETTE

RETHINK
Scale: 1" = 20'
0 10' 20' 40'

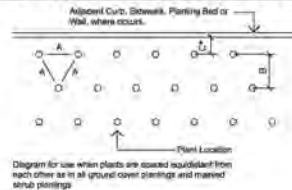
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PLANTING NOTES

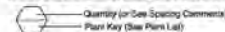
- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting schedule as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com) or equal. Planter pots shall be top-dressed with the smaller "Colored Lumber Fines" mulch, also from Vision Recycling. Mulch shall be dark brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rooftop.
- All street trees to be installed in accordance with the standards and specifications of the City of Santa Clara. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city. If a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process. All street trees shall have root barriers for sidewalk protection which should be 16" long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. All street trees shall have root barriers for curb and gutter protection which should be 16" long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
- The lawn shall be sod or seeded (as noted) and consist of a drought tolerant hard fescue blend such as Pacific Sod "Medallion Dwarf with Bonset", installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Bonset Double Dwarf fescue. Available through: Pacific Sod 800.542.7633.
- Trees planted in lawn areas shall not have lawn planted over the top of the rootball but shall have 12" diameter circle of lawn cut out for trimming purposes.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All interior trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.

- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- All trees to be planted 10' clear from the tree trunk to the sanitary sewer and storm drain mains and laterals and minimum 5' clear of any existing or proposed Electric Department facilities.
- Minimum Soil Depth on Structure and in planter pots to be 18 inches.
- Landscape should follow the national Institute of Crime Prevention standards.

PLANT SPACING DIAGRAM



PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	8.22"	9.97"	4.62
8" O.C.	8.92"	9.47"	3.80
9" O.C.	7.79"	9.90"	1.79
10" O.C.	8.66"	4.33"	1.86
12" O.C.	13.47"	8.29"	1.15
15" O.C.	13.09"	8.50"	0.74
18" O.C.	15.69"	7.60"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.13
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

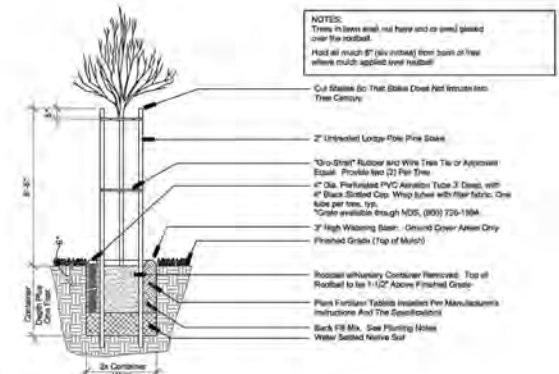
See Plant Spacing Diagram for maximum (irregular spacing 'A'). This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

GENERAL IRRIGATION NOTES

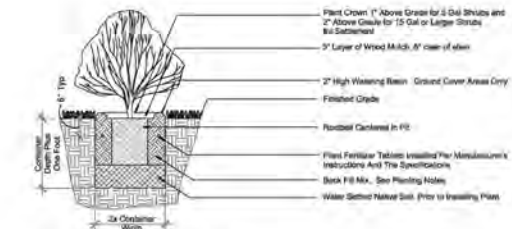
All planted areas are to be watered with an approved automatic underground irrigation system. Potable irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.



Tree Staking Diagram with Aeration Tube

Not to Scale



Shrub Planting Detail

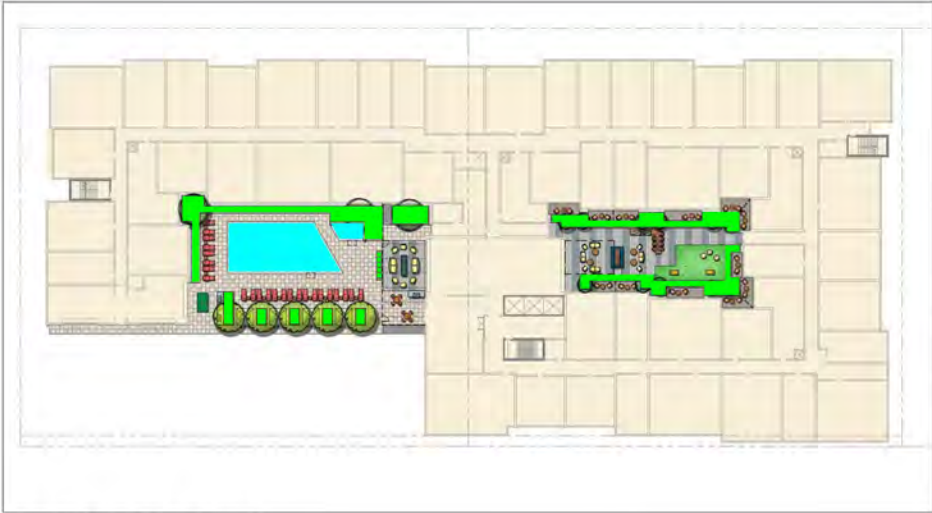
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WATER USE LEGEND

KEY	WUCOLS	AREA
	LOW WATER USE	GROUND FLOOR - 988 SF 4TH FLOOR - 1,623 SF 8TH FLOOR - 322 SF TOTAL - 2,933 SF
	MODERATE WATER USE	GROUND FLOOR - 7,915 SF 4TH FLOOR - 0 SF 8TH FLOOR - 0 SF TOTAL - 7,915 SF
	HIGH WATER USE	GROUND FLOOR - 6,515 SF 4TH FLOOR - 0 SF 8TH FLOOR - 214 SF TOTAL - 6,729 SF
	SPECIAL LANDSCAPE AREA (POOLS, WATER FEATURES)	GROUND FLOOR - 0 SF 4TH FLOOR - 1,138 SF 8TH FLOOR - 0 SF TOTAL - 1,138 SF



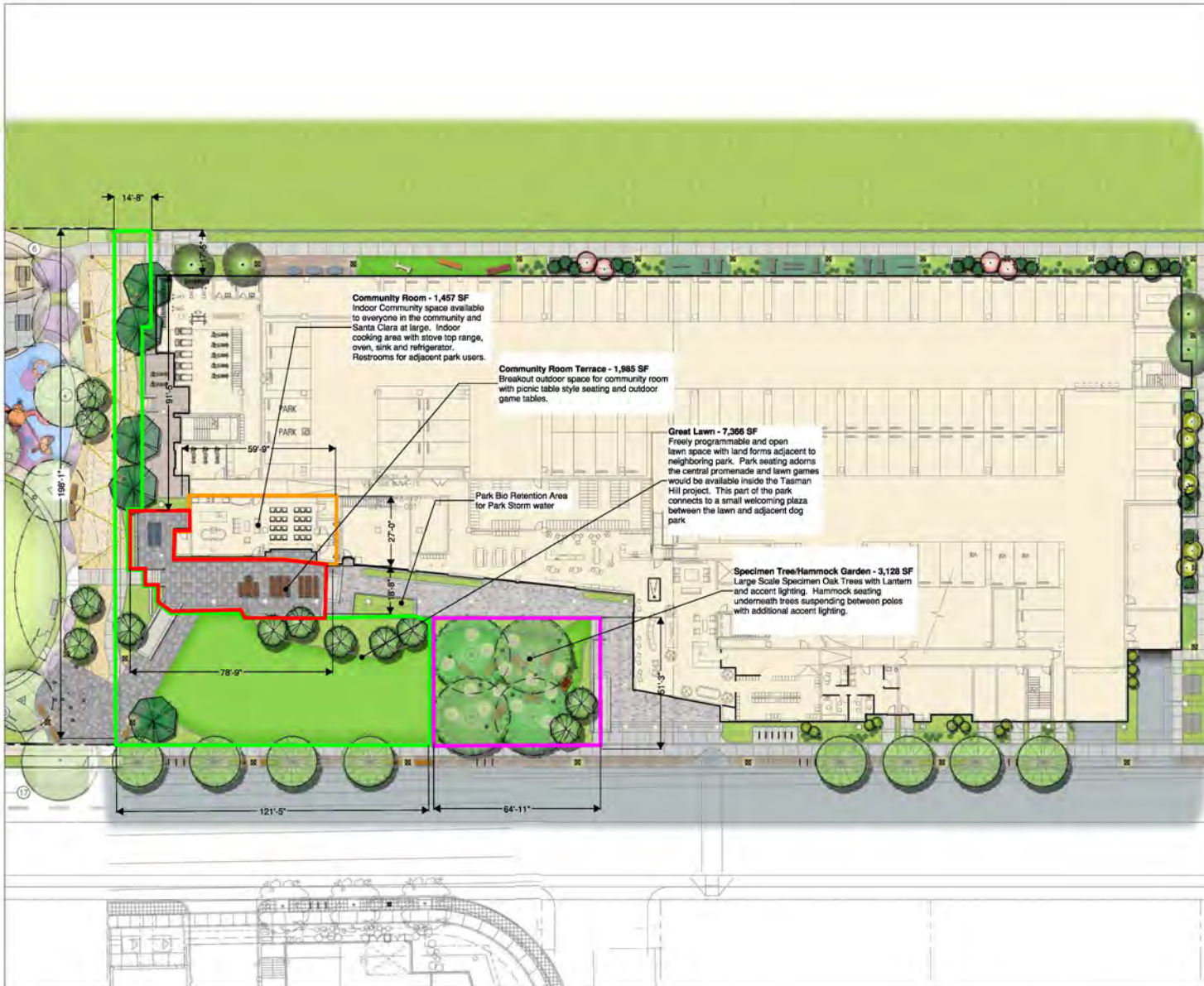
GROUND FLOOR



4TH FLOOR PODIUM



8TH FLOOR ROOF DECK



Basis of Design Narrative

The Ensemble portion of the Hill Park builds on what has already been designed by Summerhill as well as anchors the Hill District and terminus of the Calle del Sol street extension.

The Park's California Oak and Hammock Grove on the West side of the axis of Calle del Sol provides a strong natural invitation and connection to the Hill Park from the neighborhood. The trees form a statement and shade during the day with an interesting collection of hammocks for park goers to relax or play in. During the evening the lights and lanterns hung from the California Oaks will create a whimsical visual anchor at the end of the Calle del Sol extension as well as Calle del Mundo to invite interest and interaction with the public park.

To the West of this Oak Grove fronting Calle del Mundo and reaching West until it intersects with Summerhill's portion of the park lies an open lawn for creative play or relaxation that has a collegiate feel. Frisby, lawn games, playing catch, or just lying out a blanket and having a picnic would be welcome.

To the North of the Great Lawn lies the Park Community Room and Terrace that can be reserved by anybody in Santa Clara for events, kids parties, meetings, etc much like other community rooms throughout the city. It will have a kitchen and AV equipment including a screen that can be used for events and will also have bathrooms that can be used by visitors to the community room and the park. It will have furniture that can be reconfigured for particular events and a garage style glass door to open the space to the Terrace to accommodate larger groups or events while covered from the elements.

The Community Room Terrace is an outdoor breakout space for the Community Room. This terrace will be tucked under the residential building overhang protecting users from the sun and elements. This space will be furnished with park tables and chairs, as well as, outdoor game tables.

To the West of the lawn and Community Room and Terrace lies a welcome plaza with a collection of natural boulders and artful structures as well as a decomposed granite pentagon courts (French Bocce ball) with inviting overhead string lights that connect with the Summerhill's park elements in a complementary and collaborative way.

Ensemble's park features along with Summerhill's park features and elements will collectively provide a great community park and asset that provides 8 of the 10 required elements for the Tasman East Focus Plan.

Dedicated Parkland

 	Great Lawn	7,366 SF
 	Specimen Tree/Hammock Garden	3,128 SF
 	Community Room	1,457 SF
 	Community Room Terrace	1,985 SF
Total Square Footage		13,936 SF
Total Acreage		.32 AC

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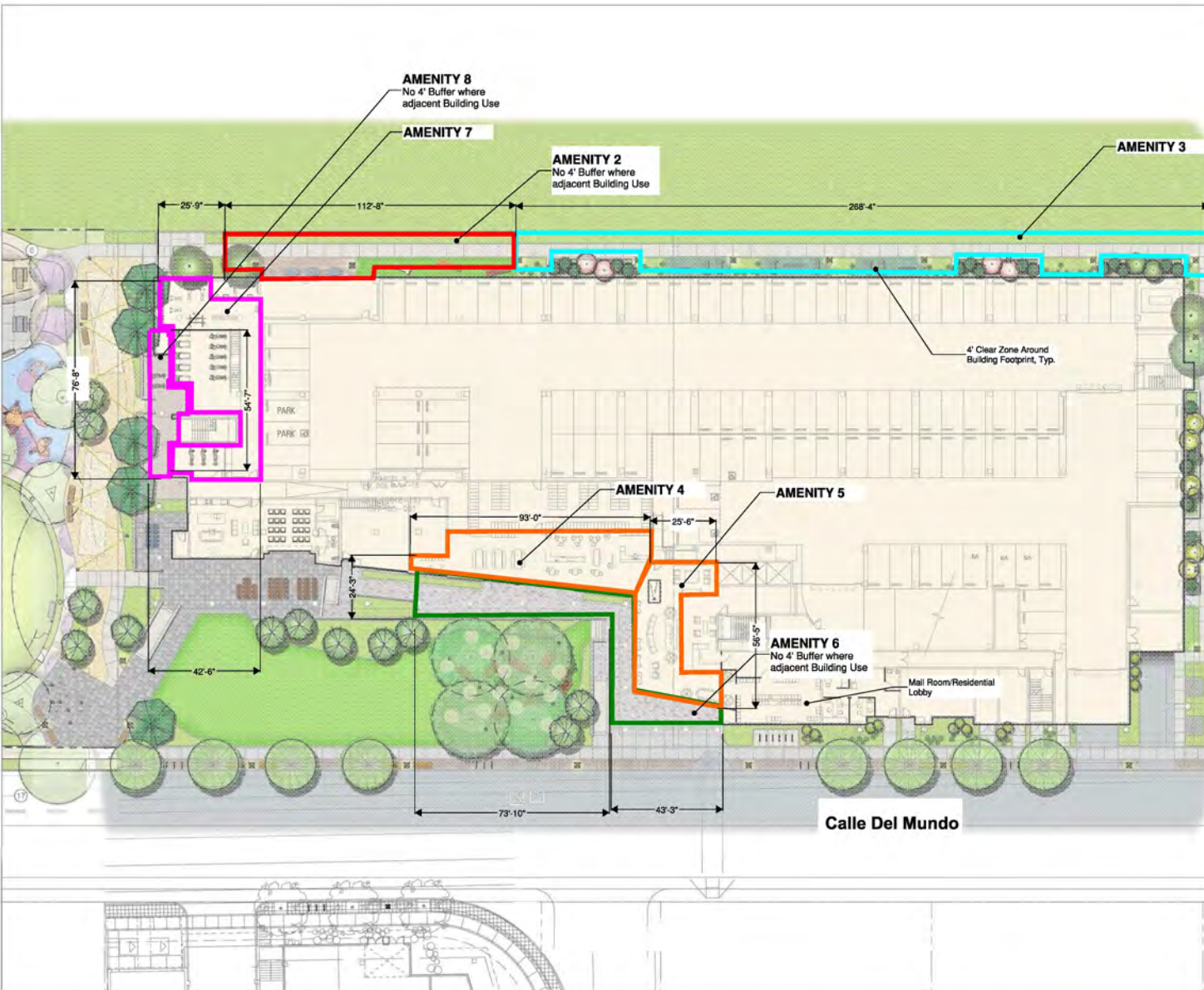
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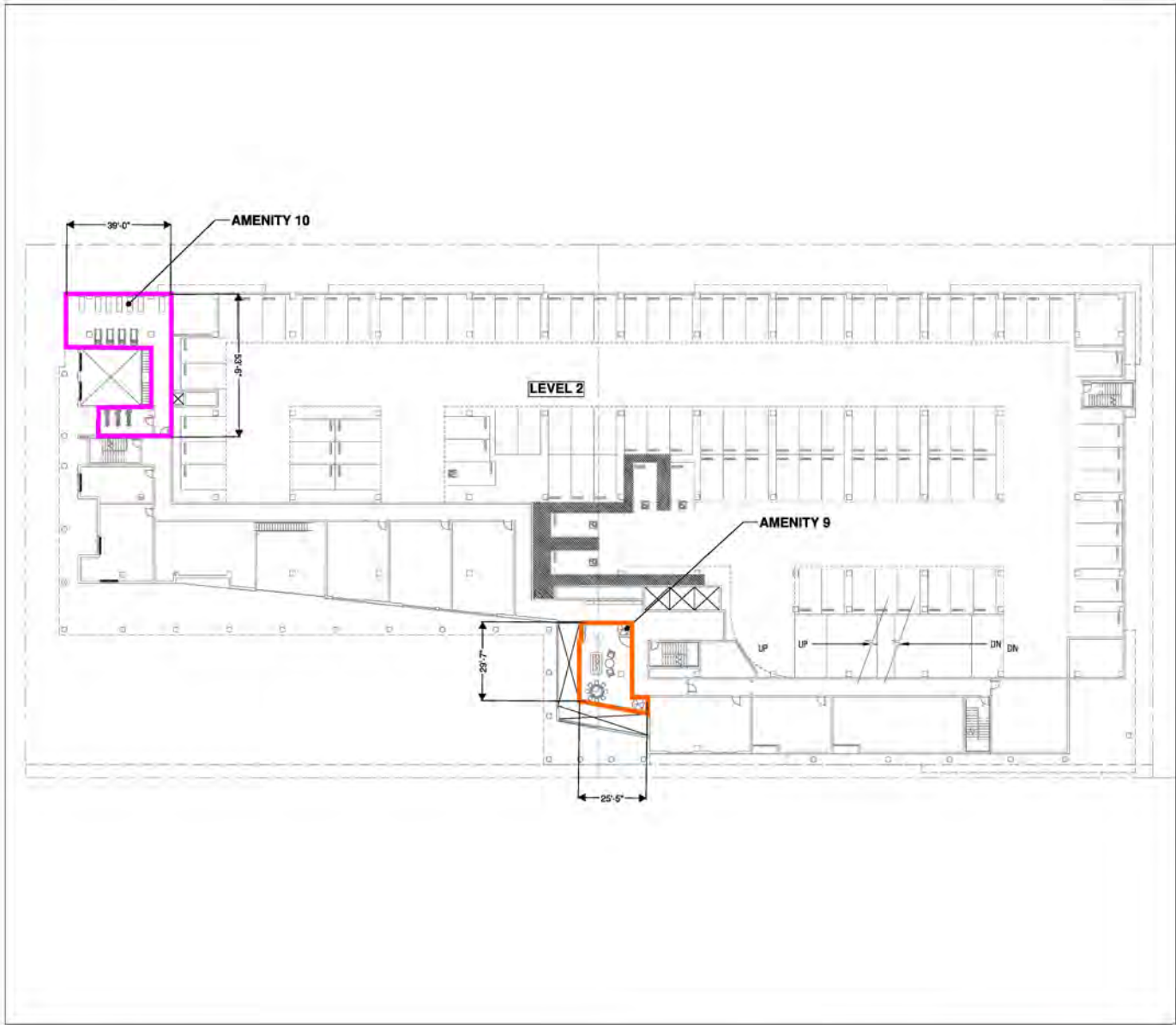
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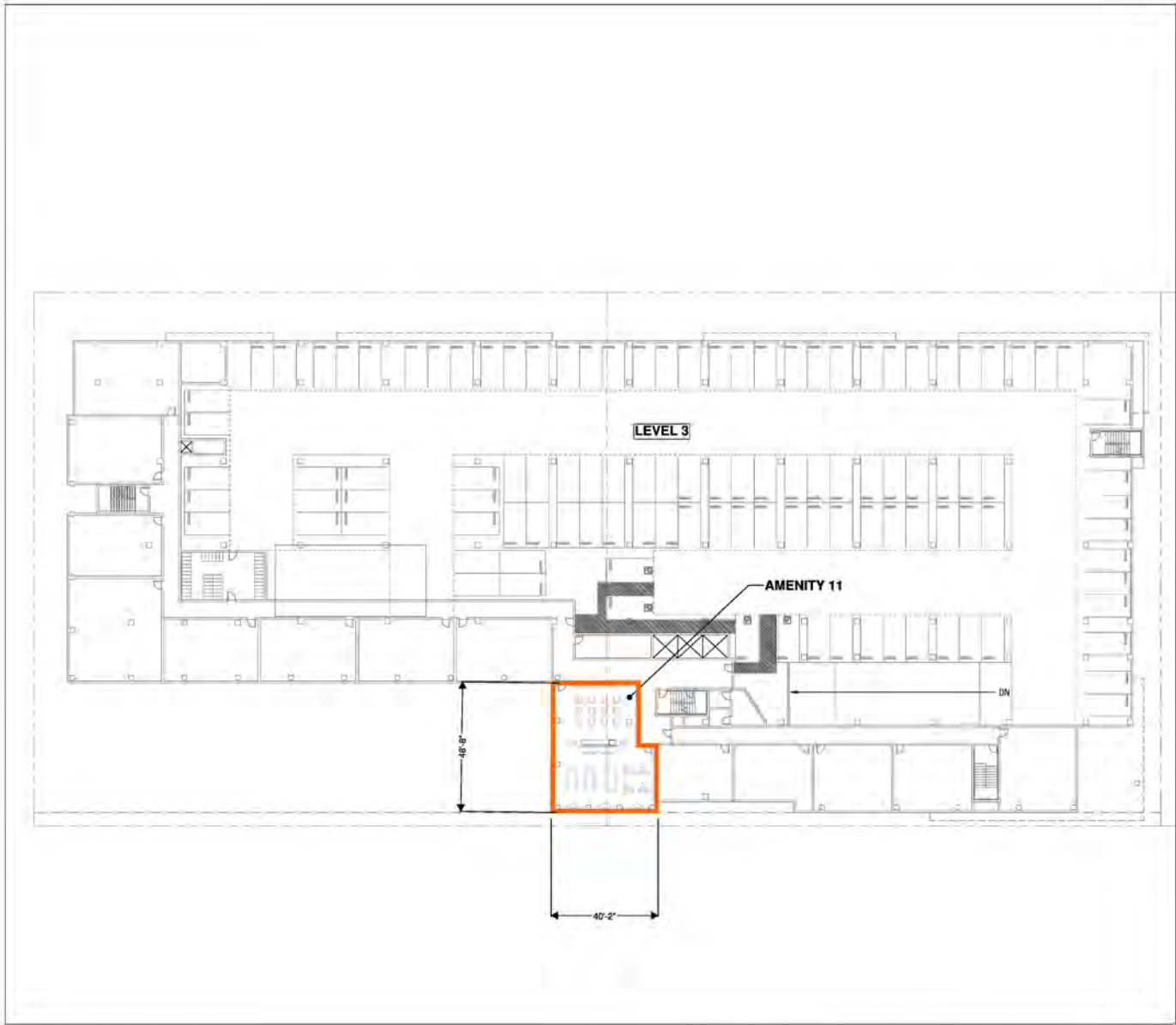


ON SITE RECREATIONAL AMENITIES - GROUND FLOOR					
Amenity	Location	Name	Element ID(s)	Area (sq ft)	Description
1	NOT USED	N/A	n/a	0	
2	Groundfloor	Dog Run	Element #9	1637	Fenced dog run with synthetic turf, dog obstacles and visitor seating. Dog Water Fountain. Dog areas are to be tied to irrigation system with independent valves for maintenance purposes only.
3	Groundfloor	Outdoor Fitness	Element #6	3237	Outdoor Fitness Machines and Workout apparatus.
4	Groundfloor	Park Lounge	Element #5	1621	Communal Seating Area, Lawn Demo/Sport Equipment check out/borrow office to be used in dedicated parkland
5	Groundfloor	Park Lounge	Element #5	1284	Communal 4 top tables, intimate lounge seating areas, pool table
6	Groundfloor	Porch/Terrace Seating	Element #3	1817	13 bistro tables, spread out across terrace with views into the adjacent park. 4 top tables out front of lobby lounge, west wall and stair seating along north edge of lawn. All available to building residents and public.
7	Groundfloor	Fitness Room/Fitness Studio	Element #6 & #6	2186	Fitness Machines and Yoga Studio Space, Fitness on Demand Monitors and Space
8	Groundfloor	Fitness Terrace	Element #6	492	Outdoor Extension and Breakout space for Fitness room. Outdoor workout and yoga space.
Total (sq ft)				12274	

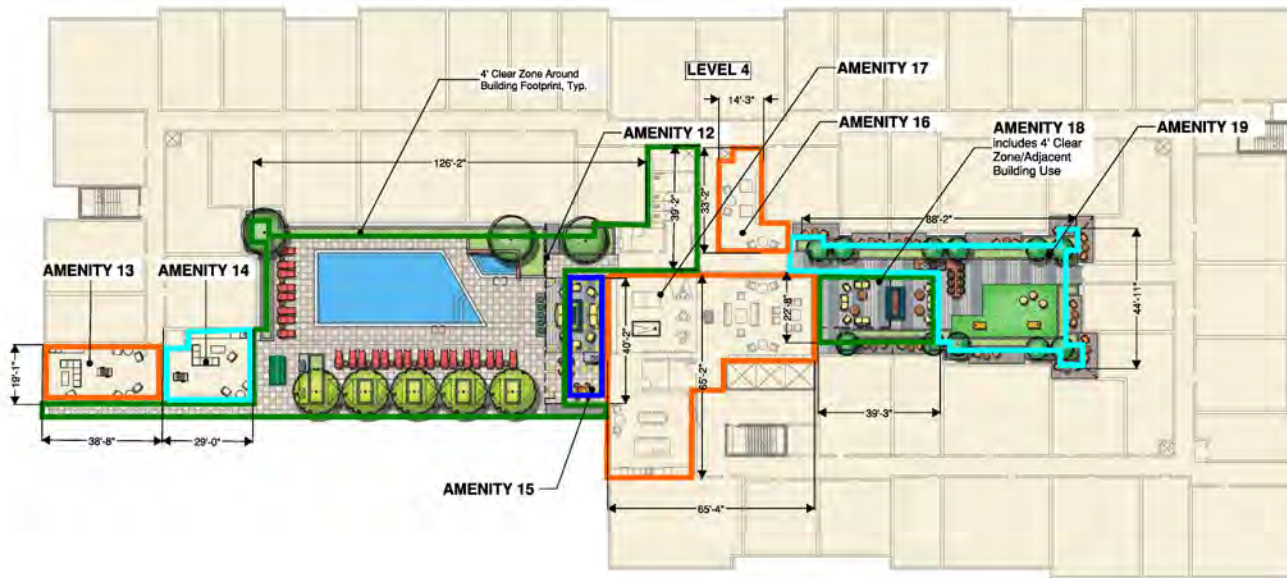
ON SITE RECREATIONAL AMENITIES - TOTALS		
Total Required Elements - Overall Site (See Sheets 1.5.2-1.5.6)	6 of 10	
Total Groundfloor (sq ft)	12274	
Total 2nd Level (sq ft)	1887	
Total 3rd Level (sq ft)	1704	
Total 4th Level (sq ft)	14845	
Total 8th Level (sq ft)	2574	
Total On Site Recreational Amenities (sq ft)	33264	
Total On Site Recreational Amenities (ac)	0.76	



ON SITE RECREATIONAL AMENITIES - 2nd Level					
Amenity	Location	Name	Element ID(s)	Area (sf)	Description
9	2nd Floor	Reading, Game Room, Music Room	Element #8	665	Area with seating for reading, music, card or other table games.
10	2nd Floor	Fitness Room/Fitness Studio	Element #8	1202	Fitness Machines and Yoga Studio Space, Fitness on Demand Motion
Total (sf)				1867	



ON SITE RECREATIONAL AMENITIES - 3rd Level					
Amenity	Location	Name	Element (1-10)	Area (sq ft)	Description
11	3rd Floor	Resident Lounge & Activity Area	Element #8	1704	Lounge, activity, and theater space with ottomans and seating and stairs for lounging, events, activities, dining, games and theater area for movie, sports, or performance watching.
Total (sq ft)				1704	



Amenity	Location	Name	Element ID	Area (sq)	Amplitude
12	4th Floor	Pool Deck	Element #3	8818	Outdoor landscape and nicely landscaped courtyard area with chaise lounge seating around pool and spa with raised planters and starter patio. 4 x Cabana tents and lounge seating areas with fire element BBQ's pool showers and restroom.
13	4th Floor	Outdoor Lounge Area	Element #9	700	Fully furnished space with wet bar and refrigerator, outdoor televisions and lounge seating areas.
14	4th Floor	Outdoor Game Area	Element #6	554	Fully furnished space with wet bar with refrigerator, outdoor televisions, ping pong and game tables.
15	4th Floor	Outdoor Dining Area	Element #1	553	Breakout Dining space for Community Room or eating next to pool with BBQ's food - 3 x 4 Top tables
16	4th Floor	Game Room	Element #8	306	Video game area, VR room/lounge style seating
17	4th Floor	Amenity Hall & Lounge	Element #4	2878	Big community amenity lounge connecting the two courtyards with multiple activity areas for games, cooking, gathering, interacting, or reading, homework, and group study similar programming to community centers. Pool tables, other party games, ping pong, big TVs for watching movies and sports, resident chef's kitchen, communal tables and seating for eating, games, reading, etc.
18	4th Floor	Fireplace Lounge	Element #5	875	2-sided outdoor fireplace with seating on both sides, overhead lights
19	4th Floor	Outdoor Game Space	Element #10	1921	Synthetic turf area for lawn games, seating balls and soft seating. Also includes fire element BBQ's with bar seating.
Total (sq)				14545	



ON SITE RECREATIONAL AMENITIES - 8th Level

Amplify	Location	Name	Element ID	Area (sf)	Amplify
20	8th Floor	Community Garden	Element #4	419	Raised garden plots, outdoor food shed, hose bibs and utility sink, outdoor cooking counter with 1 x BBQ, 1x communal table for Farm to Table experience
21	8th Floor	View Terrace	Element #3	374	Low Planter Walls, 3 x Wave Platform Seating Elements
22	8th Floor	Fire Terrace	Element #3	503	Low Planter Walls, 1x Firepit, Lounge Seating
23	8th Floor	Club Room	Element #6	1278	Indoor seating area and kitchenette with communal tables and outdoor terrace with park views for gathering, parties, events, games, etc.
Total (sf)				2574	

ON SITE RECREATIONAL AMENITIES - TOTALS

Total Required Elements - Overall Site (See Sheets L5.2-L5.6)	6 of 10
Total Groundfloor (sf)	12274
Total 2nd Level (sf)	1867
Total 3rd Level (sf)	1704
Total 4th Level (sf)	14845
Total 8th Level (sf)	2574
Total On Site Recreational Amenities (sf)	33264
Total On Site Recreational Amenities (ac)	0.76

Parkland and Open Space Summary Table

Parkland/Open Space Type	Sheet	SF	Acres	*Credit %	Park Fee Credit/Offset in SF	Threshold in Acres
Indirect Parkland	L5.1	11,939	0.33	100%	13,938	0.23
Private On-Site Recreational Amenities	L5.2-L5.6	33,264	0.76	50%	16,632	0.75
TOTAL		47,203	1.08		30,568	
Total in Acres					0.70	

*Credit % As Detailed by TEFA or Parks Ordinance 17.35 SCC.

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PARK CREDIT ANALYSIS - 8th LEVEL/ OVERALL SUMMARY TABLE

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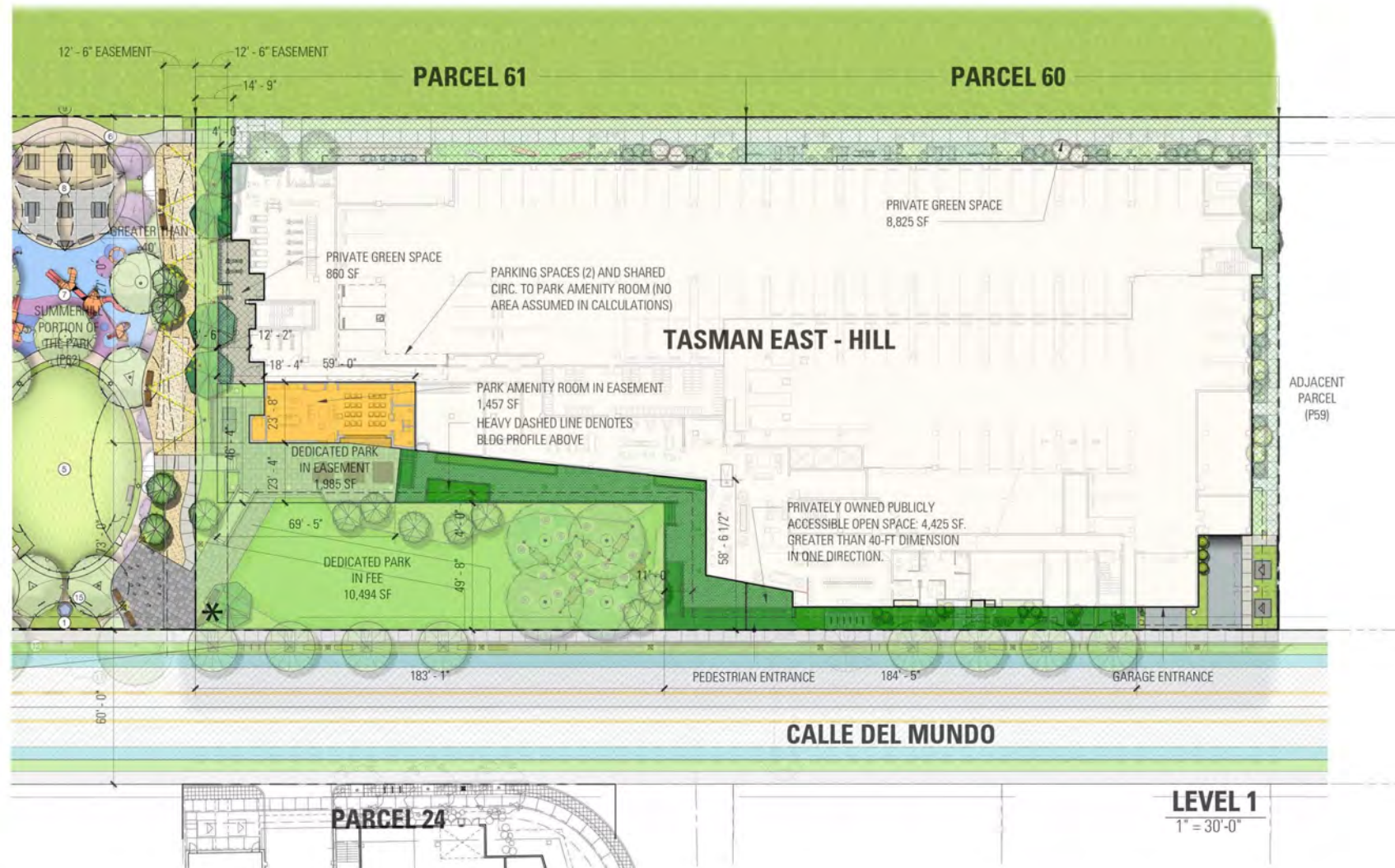
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RETHINK
LANDSCAPE ARCHITECTURE

Scale: 1" = 20'
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L5.6



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DEDICATED PARKLAND ANALYSIS - OPEN SPACE OVERLAY

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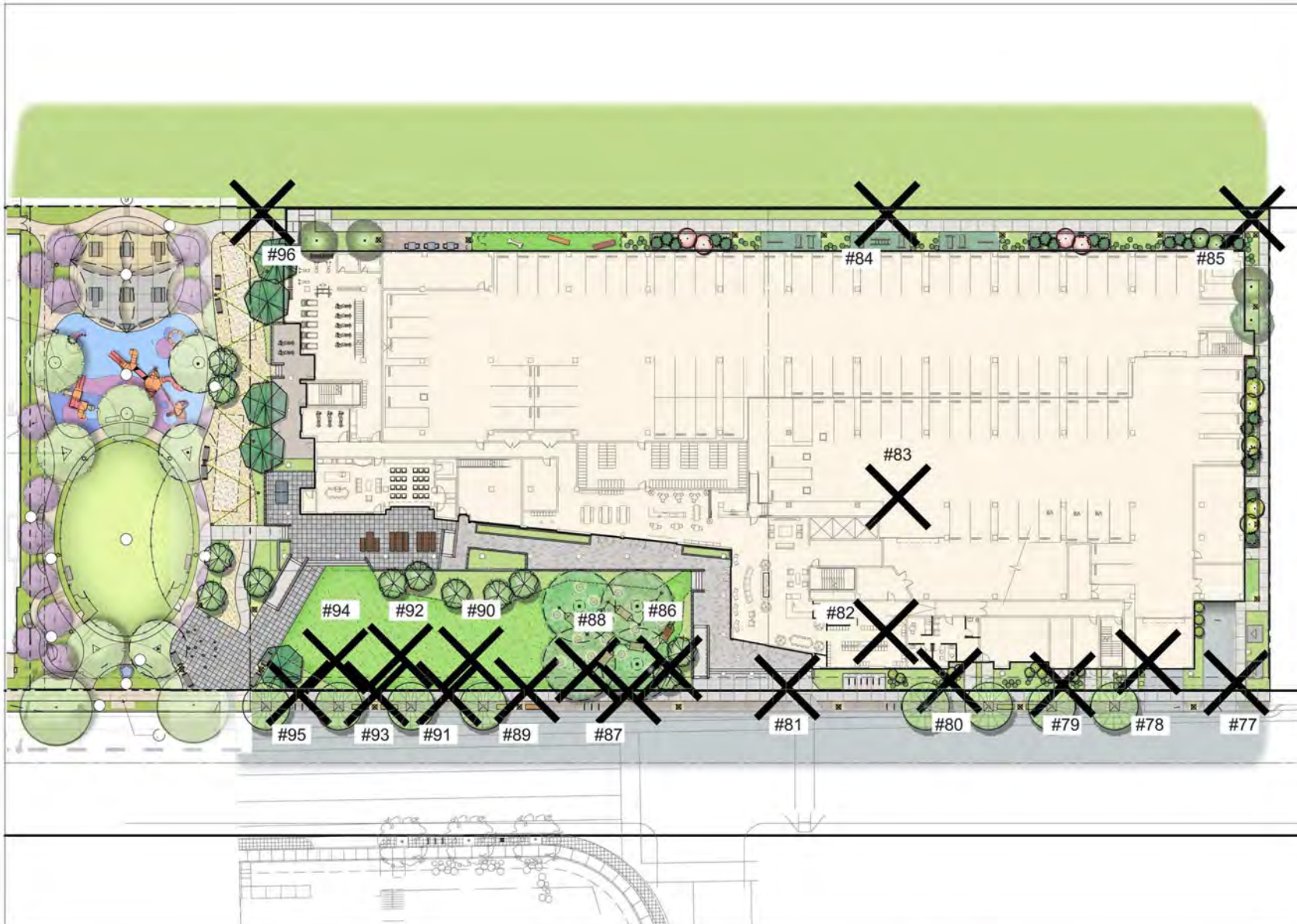
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RETHINK
DESIGN

Scale: 1" = 20'
0 10' 20' 40'

L5.7



TREE DISPOSITION LEGEND

Key	Description	Qty
	Total Existing Trees On Site	20
	Existing Trees to be Removed	20
	Existing Trees to Remain	0
#00	Tree Number - Refer to Arborist Report Prepared by David Babby dated 4/12/19.	
	Total Proposed Trees (Note: Does not include proposed street trees)	54

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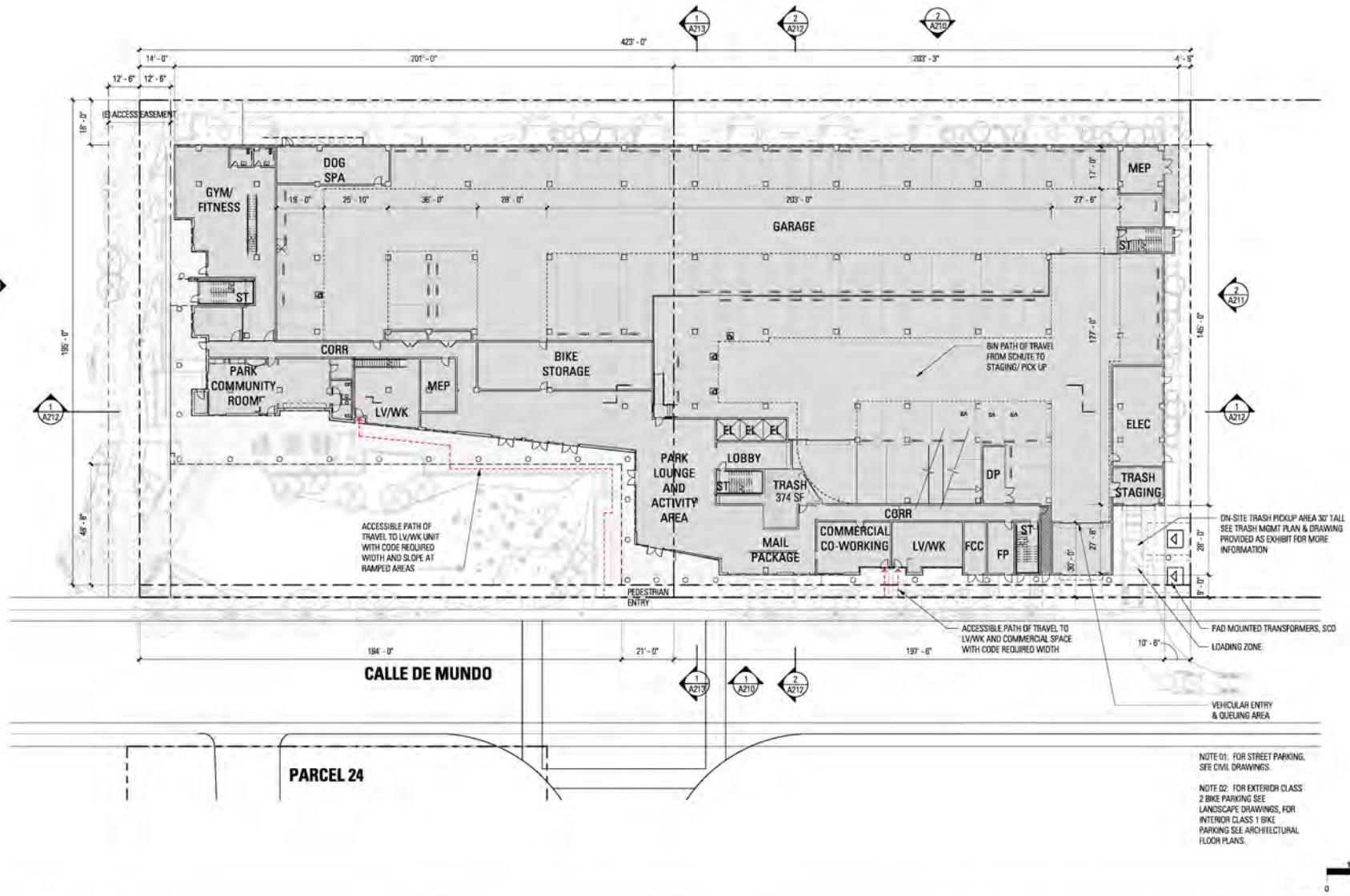
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LANDSCAPE



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TREE DISPOSITION PLAN

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TASMAN EAST - THE HILL
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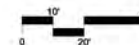
BARarchitects

ENSEMBLE
REAL ESTATE INVESTMENTS

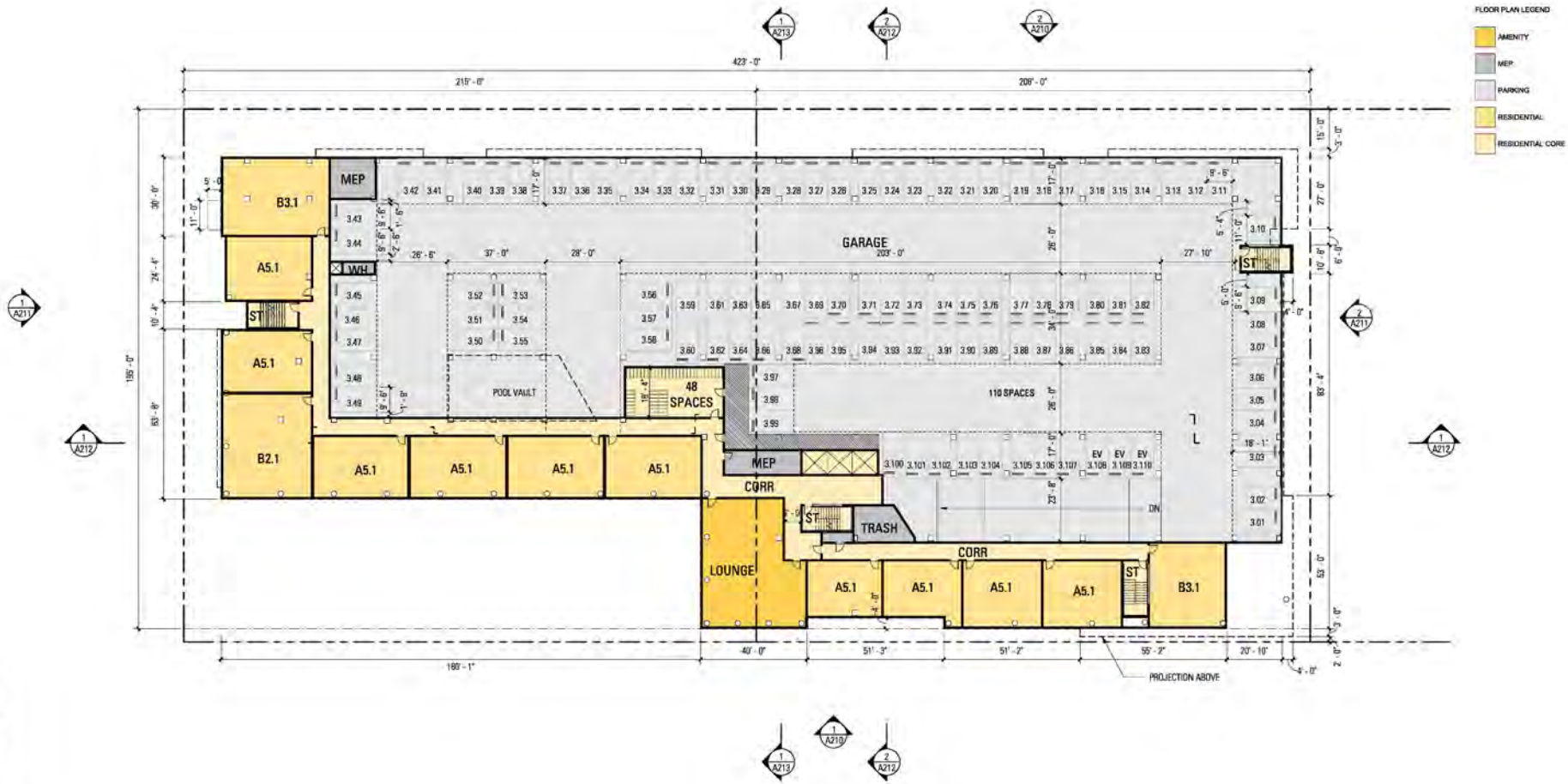
RETHINK
ENVIRONMENT

SITE PLAN

A100



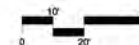




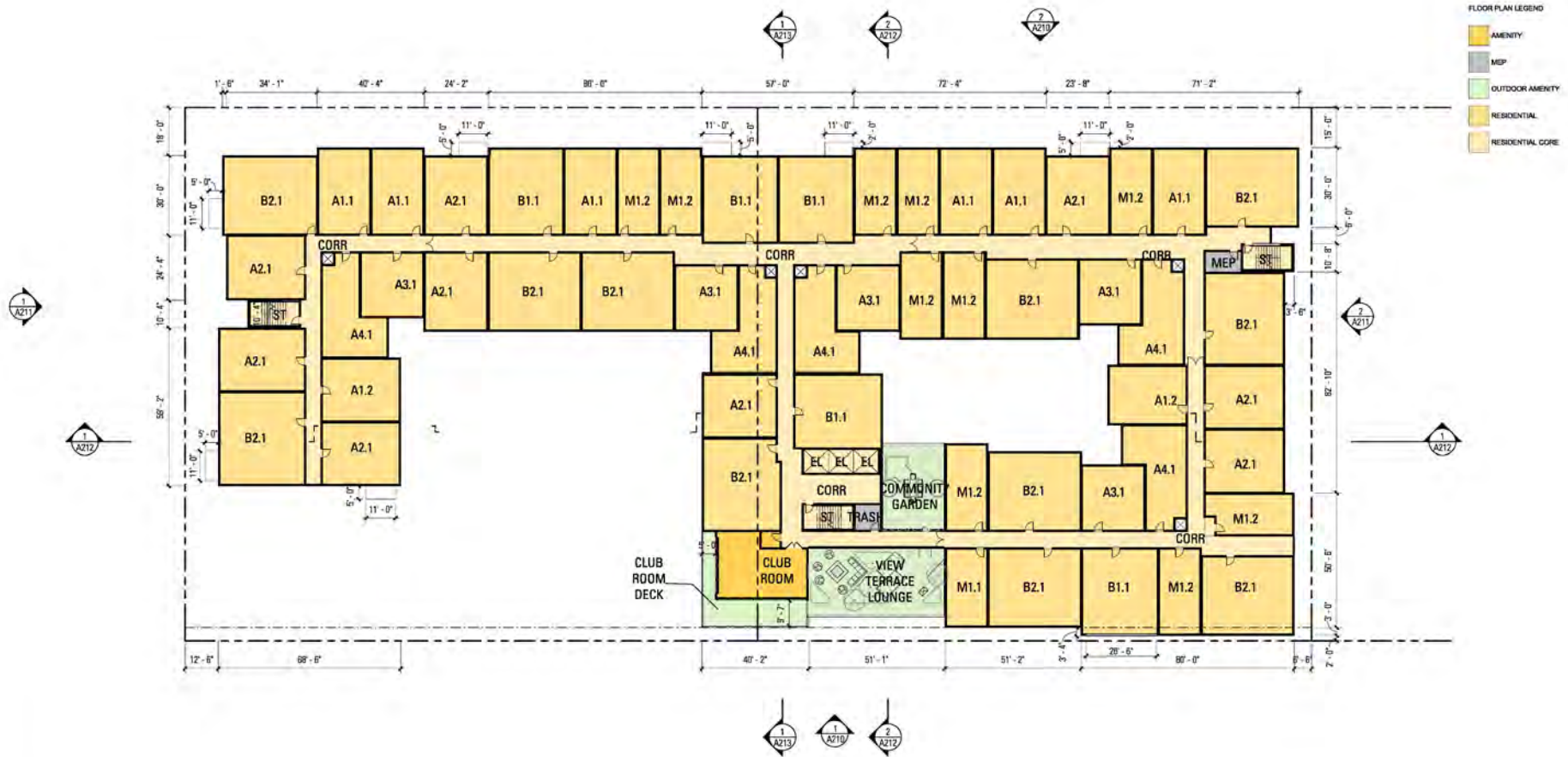
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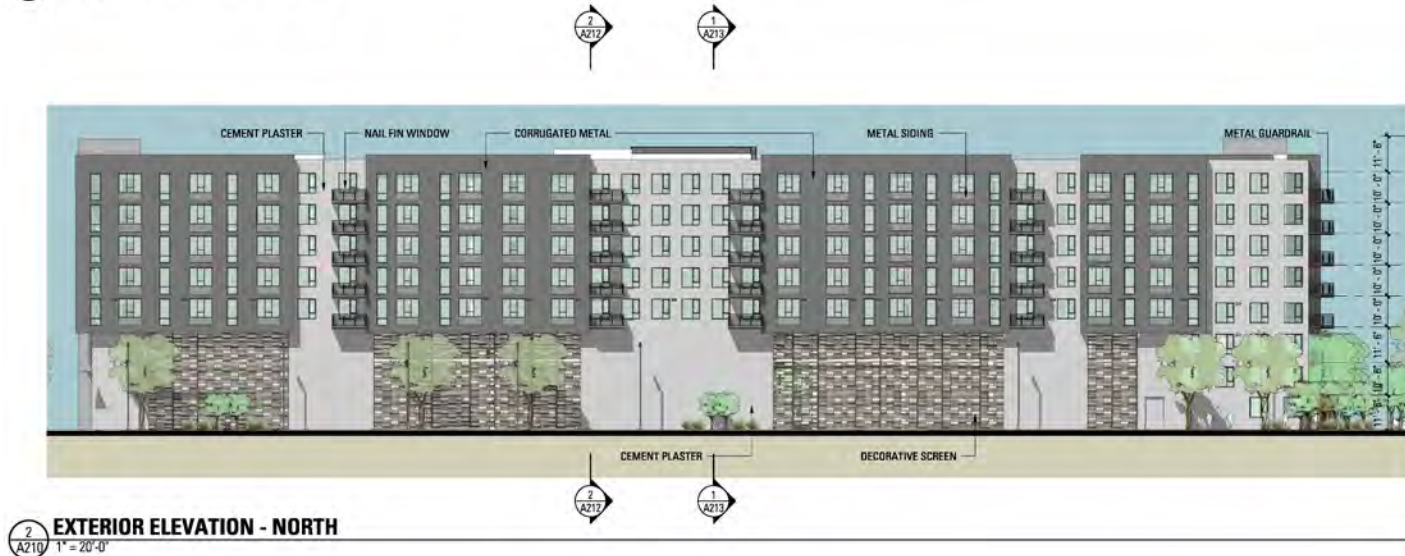


7/7/2020 1:28:14 PM C:\REV\REV\Tasman East\JUL_2020.dwg



NOTE 01: FUTURE SOLAR READY INFRASTRUCTURE TBD.





Note 01: See A300 for sample materials and color palette. Materials shall comply with the standards outlined in Section 06.1, Building Design on page 78 of the TEFAP dated 2/22/19.

Note 02: Residential units shall have operable windows, and that light and air will be provided to all habitable spaces per City of Santa Clara Building Official requirements.

Note 03: Project materials will be consistent with the goals of LEED Silver Equivalency, including use of sustainable and locally sourced materials where feasible. Ground floor materials are designed to be high quality, tactile material such as brick veneer (example only - exact material to be determined). Glazing will be designed to maximize visible light while minimizing unwanted heat gain or loss. Facade and materials will be designed to contribute to the project's LEED Silver equivalent performance, incorporating elements such as local sourcing, minimizing glare, appropriate insulation values, and daylighting. Project proposes to use nail fin vinyl windows. High quality window detailing will be provided appropriate to standard industry requirements for this window type.

Note 04: See landscape drawings for landscape design intent, landscape shown conceptually for context only and may vary from proposed design.



1
A211
1" = 20'-0"



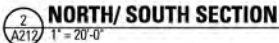
2
A211
1" = 20'-0"

Note 01: See A300 for sample materials and color palette. Materials shall comply with the standards outlined in Section 06.1, Building Design on page 78 of the TEFAP dated 2/22/19.

Note 02: Residential units shall have operable windows, and that light and air will be provided to all habitable spaces per City of Santa Clara Building Official requirements.

Note 03: Project materials will be consistent with the goals of LEED Silver Equivalency, including use of sustainable and locally sourced materials where feasible. Ground floor materials are designed to be high quality, tactile material such as brick veneer (example only - exact material to be determined). Glazing will be designed to maximize visible light while minimizing unwanted heat gain or loss. Facade and materials will be designed to contribute to the project's LEED Silver equivalent performance, incorporating elements such as local sourcing, minimizing glare, appropriate insulation values, and daylighting. Project proposes to use nail fin vinyl windows. High quality window detailing will be provided appropriate to standard industry requirements for this window type.

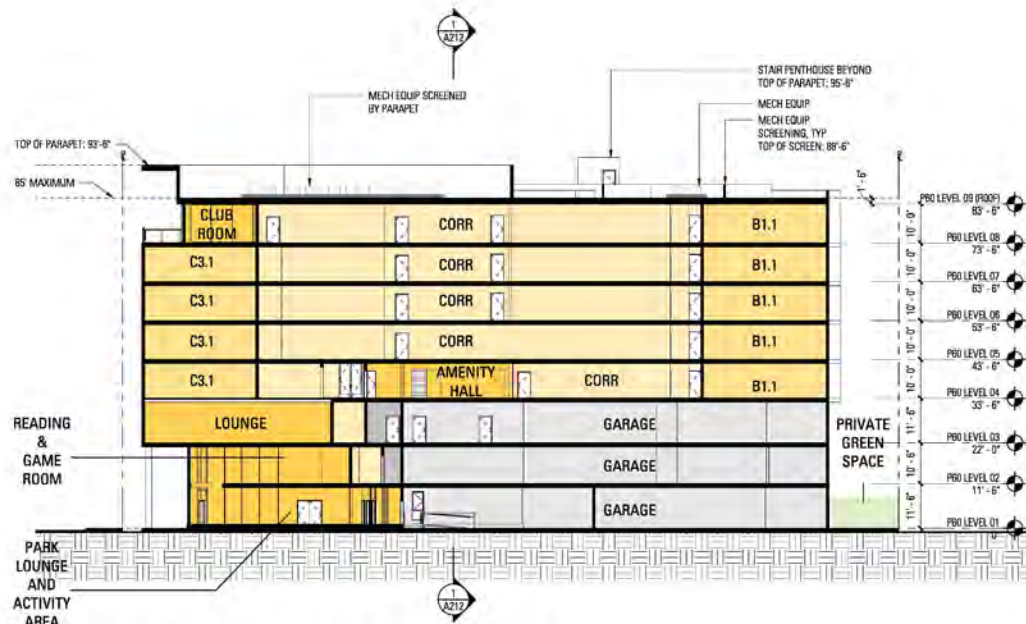
Note 04: See landscape drawings for landscape design intent, landscape shown conceptually for context only and may vary from proposed design.





PRO LEVEL 09 (ROOF) 83'-6"
PRO LEVEL 08 73'-6"
PRO LEVEL 07 83'-6"
PRO LEVEL 06 83'-6"
PRO LEVEL 05 43'-6"
PRO LEVEL 04 33'-6"
PRO LEVEL 03 22'-0"
PRO LEVEL 02 11'-6"
PRO LEVEL 01 0'

2
A213
EXTERIOR ELEVATION - SOUTH ENLARGED
1/16" = 1'-0"



1
A213
SECTION THROUGH ENLARGED ELEVATION
1/16" = 1'-0"





GENERAL NOTES:
SEE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN INTENT, LANDSCAPE SHOWN CONCEPTUALLY FOR CONTEXT ONLY AND MAY VARY FROM PROPOSED DESIGN

NOTES ON SIGNAGE
PER TASMAN EAST FOCUS AREA PLAN (DATED FEBRUARY 22, 2019)

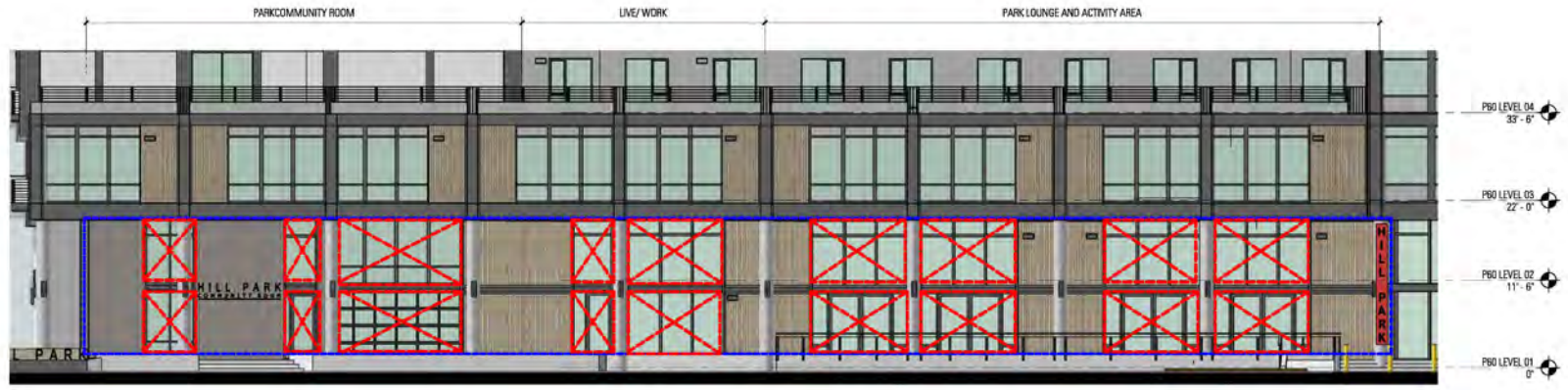
SECTION 03.7 OPEN SPACE FRAMEWORK
PRIVATELY OWNED PUBLICLY ACCESSIBLE OPEN SPACE
• THE OPEN SPACE SHALL INCLUDE SIGNAGE THAT IS LOCATED IN A PUBLICLY CONSPICUOUS PLACE STATING THAT THE OPEN SPACE IS AVAILABLE OF PUBLIC USE AND THE HOURS OF USE

SECTION 04.2 STREET ZONES
STANDARD D - BUILDING SETBACKS
• FOR RETAIL FRONTAGES ALONG CALLE DEL SOL, SETBACKS WILL BE TREATED AS SPILL-OUT ZONES WHERE USES CAN SPILL OUT OF THE BUILDING IN THE FORM OF FURNITURE, SIGNAGE, AND MERCHANDISING.

SECTION 06.4 BUILDING FRONTAGES
SETBACKS STANDARD B - HORIZONTAL PROJECTIONS INTO SETBACK ZONE
• BUILDING SIGNAGE AND LIGHTING MAY PROJECT UP TO 3 FEET AND MUST BE AT LEAST 10 FEET ABOVE SIDEWALK GRADE.
• CANOPIES AND AWNINGS MAY PROJECT UP TO 8 FEET AND MUST BE AT LEAST 10 FEET ABOVE SIDEWALK GRADE.
GROUND FLOOR RETAIL AND ACTIVE USES GUIDELINE D
• RETAIL FRONTAGES SHOULD MAINTAIN CLEAR LINES OF SIGHT INTO THE RETAIL SPACES; FOR EXAMPLE SHELVES OR SIGNS SHOULD NOT BE PLACED IN FRONT OF WINDOWS SUCH THAT A PEDESTRIAN WALKING BY CANNOT SEE INTO THE SPACE.

NOTE: SEE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN INTENT.
LANDSCAPE SHOWN CONCEPTUALLY FOR CONTEXT ONLY AND MAY VARY
FROM PROPOSED DESIGN

TOTAL SF = 3205 SF
GLAZING SF = 1615 SF
GLAZING %
(1615 SF/3205 SF) = 50%



1
A215
1/8" = 1'-0"

EXTERIOR ELEVATION - SOUTH_ENLARGED 1



2
A215
1/8" = 1'-0"

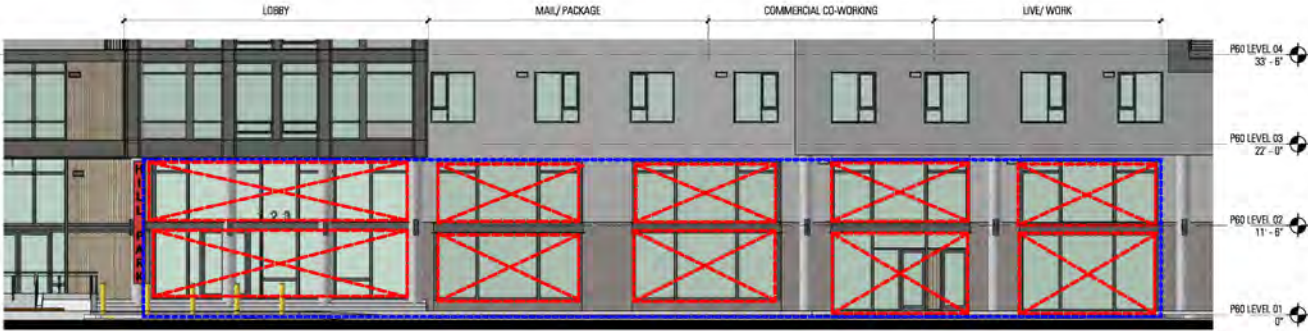
EXTERIOR ELEVATION - SOUTH_ENLARGED 1 FLAT

NOTE: SEE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN INTENT.
LANDSCAPE SHOWN CONCEPTUALLY FOR CONTEXT ONLY AND MAY VARY
FROM PROPOSED DESIGN

TOTAL SF = 2830 SF

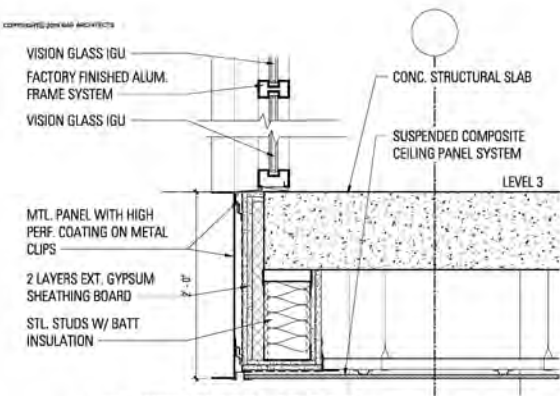
GLAZING SF = 1772 SF

GLAZING %
(1890 SF/ 2830 SF) = 62%

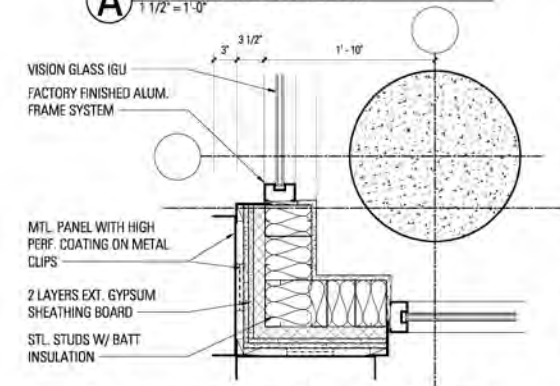


1
A216
EXTERIOR ELEVATION - SOUTH_ENLARGED 2
1/8" = 1'-0"

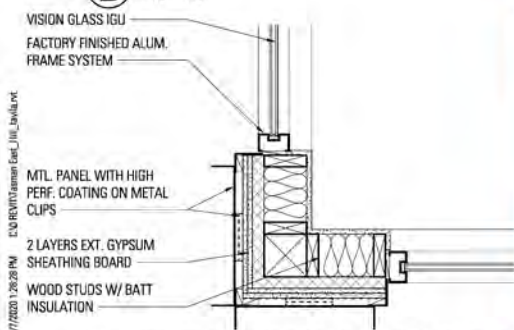
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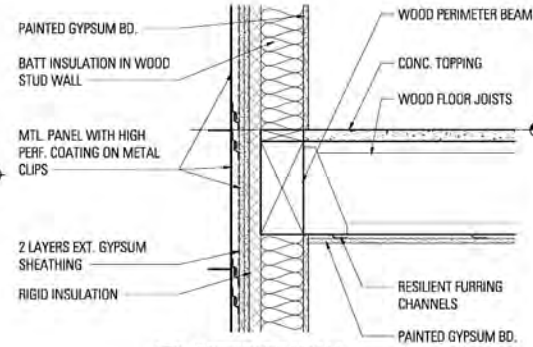
A WINDOW SILL AT FLOOR
1 1/2" = 1'-0"



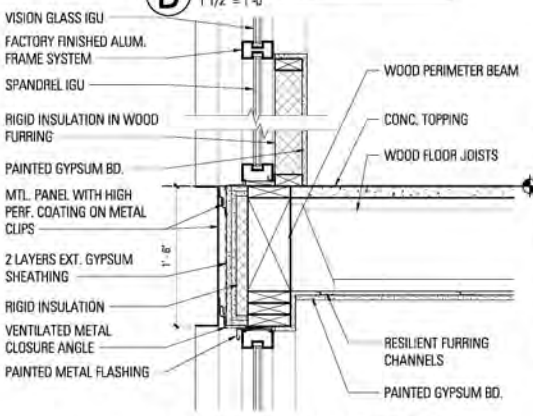
B WINDOW JAMB AT OUTSIDE CORNER
1 1/2" = 1'-0"



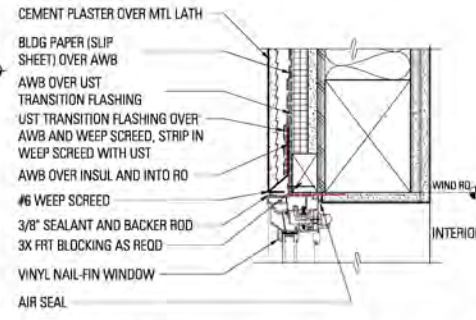
C WINDOW JAMB AT OUTSIDE CORNER 1
1 1/2" = 1'-0"



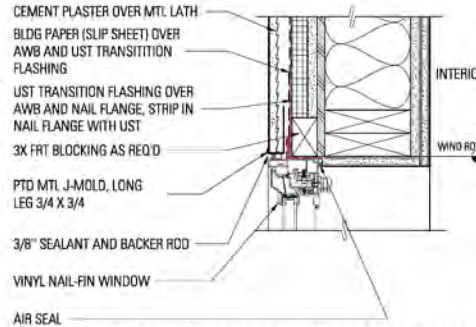
D EXTERIOR WALL
1 1/2" = 1'-0"



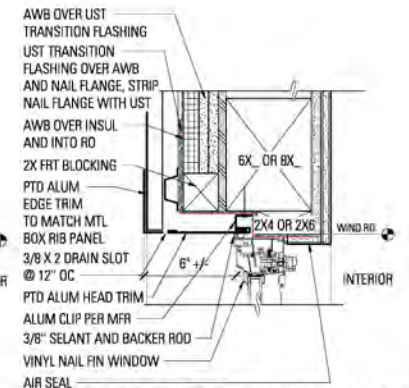
E WINDOW SILL AT FLOOR 1
1 1/2" = 1'-0"



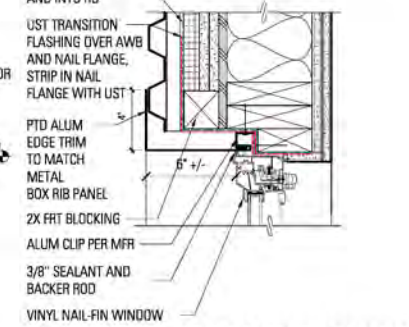
F WINDOW HEAD AT PLASTER WALL
3" = 1'-0"



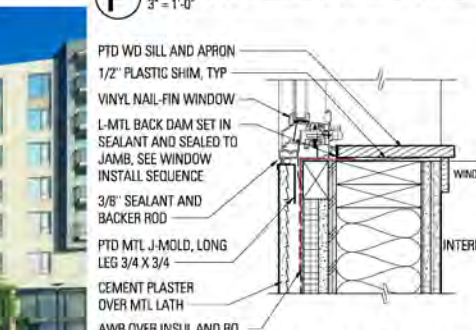
F WINDOW JAMB AT PLASTER WALL
3" = 1'-0"



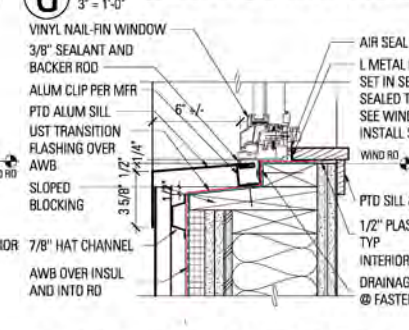
G WINDOW HEAD AT CORR MTL WALL
3" = 1'-0"



G WINDOW JAMB AT CORR MTL WALL
3" = 1'-0"

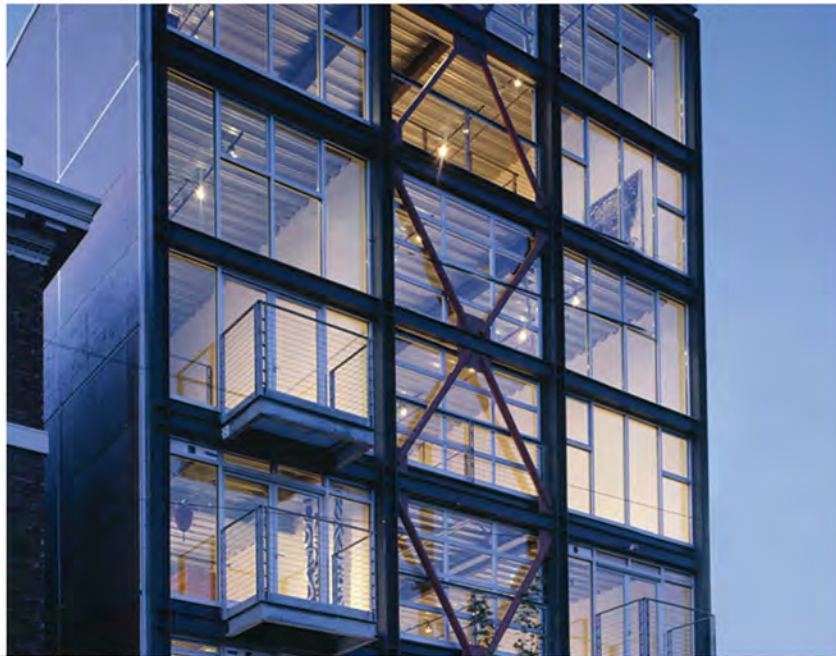


F WINDOW SILL AT PLASTER WALL
3" = 1'-0"



G WINDOW SILL AT CORR MTL WALL
3" = 1'-0"





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TASMAN EAST - THE HILL

SANTA CLARA, CA

2263 CALLE DEL MUNDO, SANTA CLARA, CA

07/27/2020

18020

BAR architects

ENSEMBLE
REAL ESTATE INVESTMENTS

RETHINK
ENVIRONMENT

PRECEDENT IMAGERY

A220



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RENDERING PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. FOR MATERIALS AND COLOR PALETTE, SEE A300. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN.

TASMAN EAST - THE HILL
SANTA CLARA, CA

2263 CALLE DEL MUNDO, SANTA CLARA, CA

07/27/2020

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REAL ESTATE INVESTMENTS

RETHINK
development

PERSPECTIVES

A221



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TASMAN EAST - THE HILL
SANTA CLARA, CA

2263 CALLE DEL MUNDO, SANTA CLARA, CA

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18020

BARarchitects

ENSEMBLE
REAL ESTATE INVESTMENTS

RETHINK
development

PERSPECTIVES

A222



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RENDERING PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. FOR MATERIALS AND COLOR PALETTE, SEE A300. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN.

TASMAN EAST - THE HILL SANTA CLARA, CA	2263 CALLE DEL MUNDO, SANTA CLARA, CA	07/27/2020	18020	BAR architects	ENSEMBLE REAL ESTATE INVESTMENTS	PERSPECTIVES A223
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TASMAN EAST - THE HILL		2263 CALLE DEL MUNDO, SANTA CLARA, CA			PERSPECTIVES	
SANTA CLARA, CA			07/27/2020	18020	BARarchitects	ENSEMBLE [®] REAL ESTATE INVESTMENTS
						RETHINK development
						A225



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RENDERING PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. FOR MATERIALS AND COLOR PALETTE, SEE A300. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE DESIGN.

TASMAN EAST - THE HILL
SANTA CLARA, CA

2263 CALLE DEL MUNDO, SANTA CLARA, CA

07/27/2020

18020

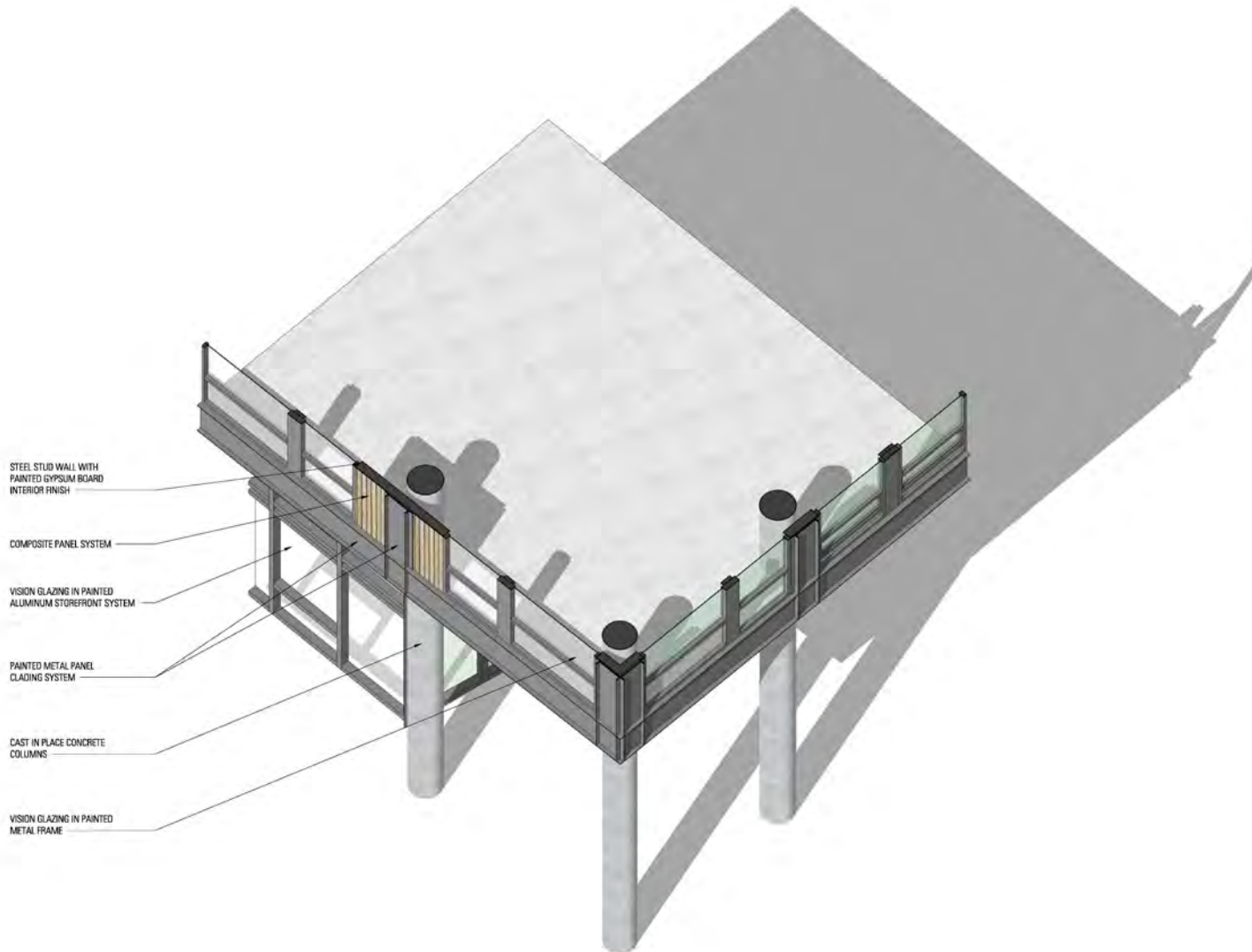
BARarchitects

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REAL ESTATE INVESTMENTS

RETHINK
development

PERSPECTIVES

A226



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METAL PANEL - DARK GREY
LARSON 5-381 CHARCOAL*



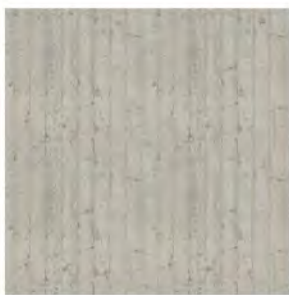
ACCENT METAL PANEL - LIGHT GREY
LARSON 5-32 CADET GREY*



CORRUGATED METAL
LARSON 5-381 CHARCOAL*



CEMENT PLASTER - WHITE
SW 7627 WHITE HERON*



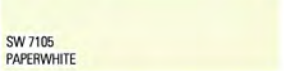
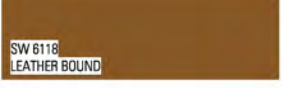
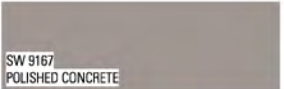
CONCRETE - CAST IN PLACE WITH FORM LINER



PANEL SIDING
Etic Rovere, or similar



GARAGE DOOR



GARAGE SCREEN COLORS



STOREFRONT

RESIDENTIAL UNIT

LOW-E WINDOWS

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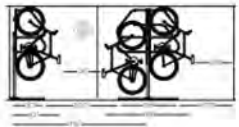
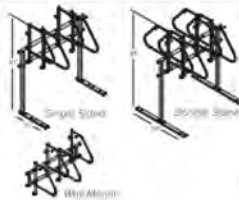
RETHINK
DESIGN

EXTERIOR MATERIALS

A300

* COLOR SPECIFICATION IS APPROXIMATE TO SHOW DESIGN INTENT ONLY. COLOR IS SUBJECT TO CHANGE UPON MANUFACTURER SELECTION AND ON-SITE BRUSH OUT VERIFICATION.

ULTRA SPACE SAVER Submittal Sheet



CAPACITY

Maximum installation:
1 bike per arm

MATERIALS

Hanger is 1" diameter tube with 1/2" diameter end connecting disk 48 inch long.
Upright is 2" square tube.
Ends are 60" x 41 galvanized steel material.
Crossbars are 125" x 125" x 1/2" galvanized pipe (1600' OD).
Spacers are 2.375" OD x 1/2" tubes with 20' inch thickness.

FINISHES

Black powder coat
Cross bars, end upright galvanized
Hangers with rubber coated
Spacers powder

☐ Powder Coat (Interior Use)

Our interior powder coat finish ensures a high level of adhesion and durability for indoor use by following these steps:

1. Sandblast
2. Prime (Primer: TPC polyester powder coat)

☐ Powder Coat (Exterior Use) Additional Coat

Our exterior powder coat finish ensures a high level of adhesion and durability for outdoor or protected use by following these steps:

1. Sandblast
2. Prime (Primer: TPC polyester powder coat)
3. Final (Primer: TPC polyester powder coat)

MOUNT OPTIONS

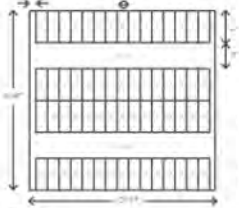
☐ Floor Mount

Ultra Space Saver floor mount has a 1/2" hole for angle, 1/2" and 3/4" for outside attachment. Mount must be anchored to the floor.

☐ Wall Mount

A wall mounted and survey mounting system is available. Mount must be anchored to the wall.

WHEEL STOPS



Use a generic guidelines, but do not fit approximately 60 bicycles.

Then Ultra Space Saver Support stand line (line every 15" with a vertical line extending out 40" from the wall).



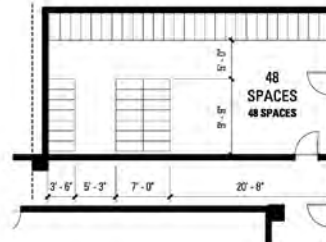
www.dero.com | 1-888-337-6729

© 2019 Dero

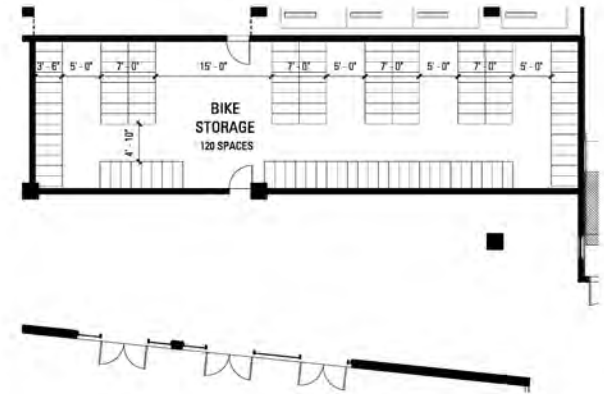


3
A400
SAMPLE GARAGE DOOR
1" = 30'-0"

SAMPLE RACK, OTHER STYLES OR MANUFACTURERS MAY BE USED



2
A400
P60 LEVEL 03- BIKE STORAGE
1/8" = 1'-0"



1
A400
P60 LEVEL 01 - BIKE STORAGE
1/8" = 1'-0"



TASMAN EAST - THE HILL
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18020

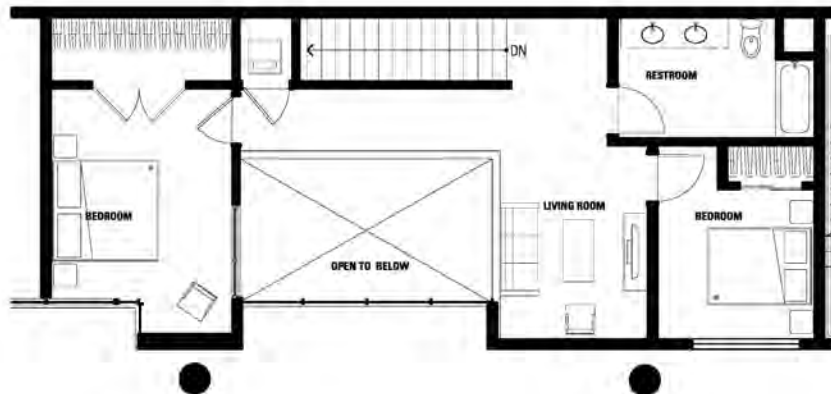
BAR architects

ENSEMBLE
REAL ESTATE INVESTMENTS

RETHINK
CONCRETE

BIKE PARKING

A400



4 LW2 LEVEL 2
A401 1/4" = 1'-0"



2 LW LEVEL 2
A401 1/4" = 1'-0"



3 LW2 LEVEL 1
A401 1/4" = 1'-0"



1 LW LEVEL 1
A401 1/4" = 1'-0"

UNIT PLANS ARE FOR REFERENCE ONLY AND DEPICT SIZE AND SCALE OF UNIT. INTERIOR DESIGN AND LAYOUT OF UNIT MAY CHANGE.

TASMAN EAST - THE HILL
SANTA CLARA, CA

2263 CALLE DEL MUNDO, SANTA CLARA, CA

07/27/2020

18020

BAR architects

ENSEMBLE
REAL ESTATE INVESTMENTS

RETHINK

LIVE/WORK

A401

UNIT PLANS ARE SIMILAR TO
ENSEMBLE UNIT PLANS IN OTHER
TASMAN EAST PARCELS. THESE UNIT
PLANS ARE SHOWN FOR REFERENCE
ONLY AND MAY BE REVISED.



4
A402
A3.1 - 1BA/1BR
1/4" = 1'-0"



3
A402
A2.1 - 1BA/1BR
1/4" = 1'-0"



2
A402
A1.4 - 1BA/1BR
1/4" = 1'-0"



1
A402
A1.1 - 1BA/1BR
1/4" = 1'-0"

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UNIT PLANS ARE SIMILAR TO
ENSEMBLE UNIT PLANS IN OTHER
TASMAN EAST PARCELS. THESE UNIT
PLANS ARE SHOWN FOR REFERENCE
ONLY AND MAY BE REVISED.



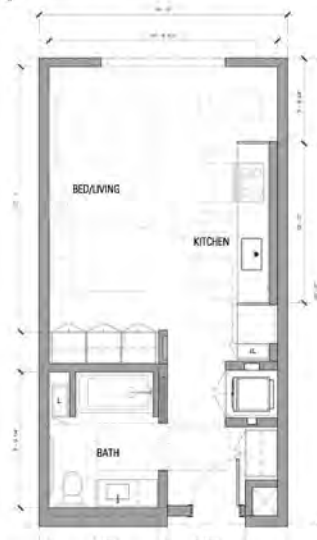
3 B1.1 - 2BA/BR
A403 1/4" = 1'-0"



2 B2.1 - 2BA/2BR
A403 1/4" = 1'-0"



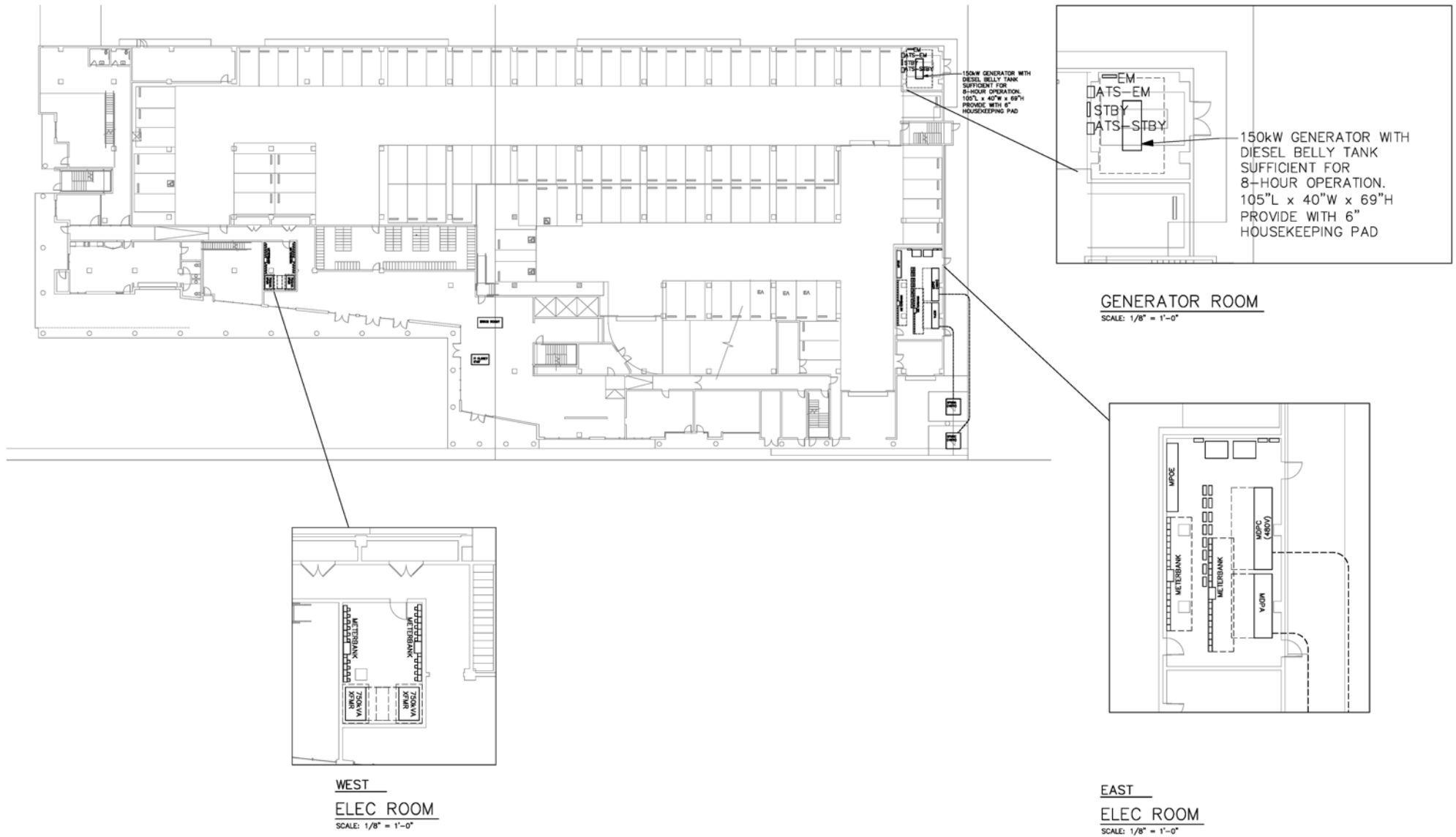
5 M1.2 - STUDIO
A403 1/4" = 1'-0"



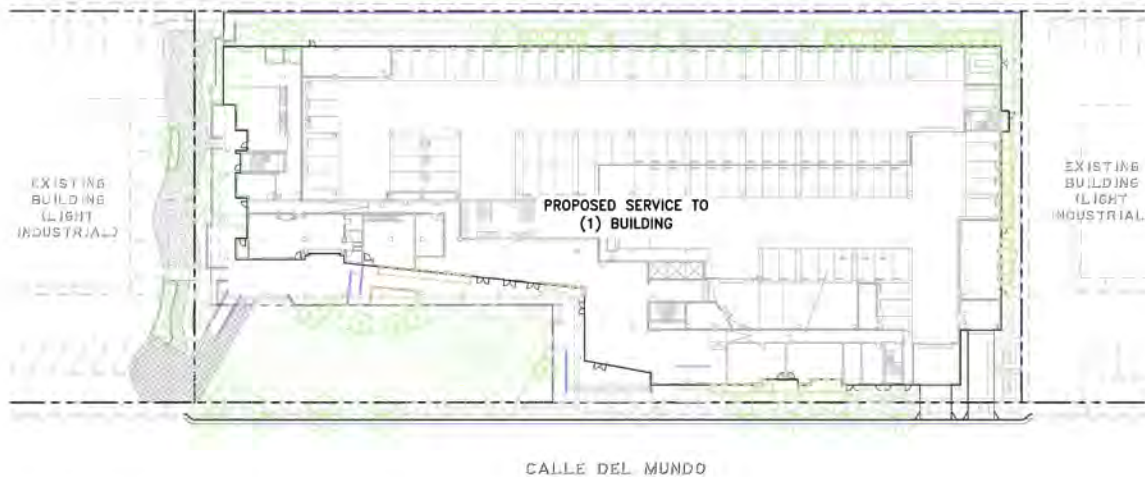
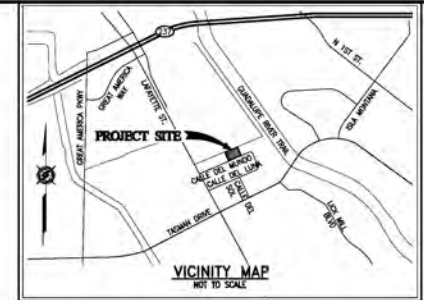
4 M1.1 - STUDIO
A403 1/4" = 1'-0"



1 C3.1 - 1BA/1BR
A403 1/4" = 1'-0"



ENSEMBLE INVESTMENTS, LLC
ENSEMBLE
PARCEL 60/61
SANTA CLARA, CALIFORNIA
(JOINT TRENCH INTENT - NOT FOR CONSTRUCTION)



APN 097-48-03B
PIVX
(PARCEL 1)
PM 422 M 263

APN 097-48-024
CALLE DEL MUNDO
PARTNERS
(PARCEL 9)
PM 388 M 1461B

APN 097-48-02B
TRUE SOLAR USA INC
(PARCEL 1)
PM 465 M 351

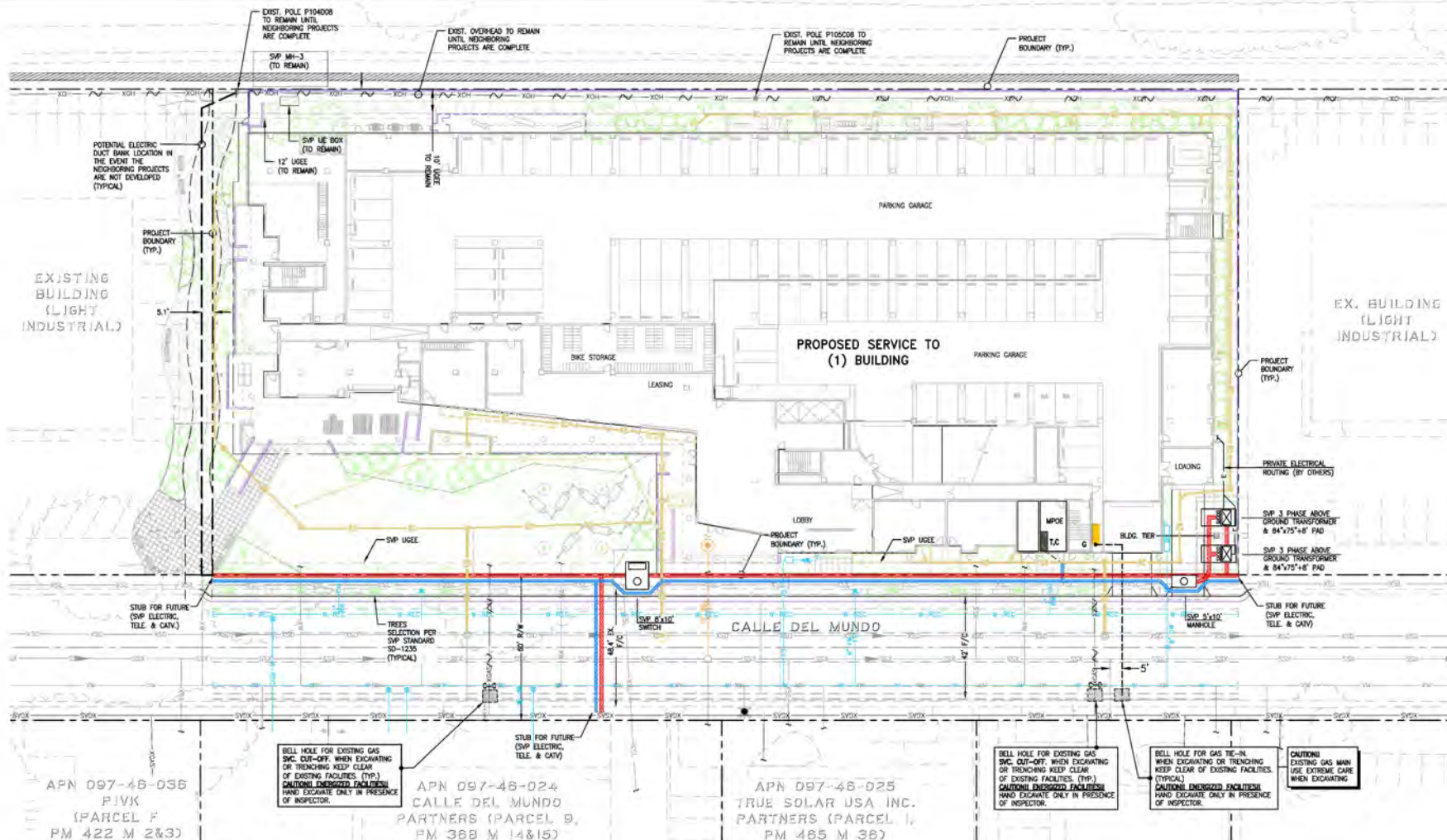
PROJECT TEAM CONTACTS			PG&E PM NO.	LATEST FILES RECEIVED				PROJECT DESCRIPTION & SCOPE	SHEET INDEX	
COMPANY:	CONTACT:	PHONE:		DESCRIPTION:	BY:	DATE:	STATUS:		SHEET	DESCRIPTION
ENSEMBLE REAL ESTATE INVESTMENTS	JEWELLE KENNY	562-257-1016	ELECTRIC:	GAS DESIGN				NEW SERVICE TO (1) BLDG. OF 313 UNITS AND DEMO COORDINATION	INT1	JOINT TRENCH INTENT TITLE SHEET
BKF	JEREMY MARIELLO	408-467-9100	RULE 15:	ELECTRIC DESIGN					INT2	JOINT TRENCH INTENT
SILICON VALLEY POWER			RULE 18:	TELEPHONE LAYOUT					INT3-INT4	JOINT TRENCH INTENT DETAILS
AT&T	JOHN PABANICK	408-635-8844	RELOC:	CATV LAYOUT						
CHARLEON	TORTUKE KHALANI	408-206-2802	GAS:	STREET LIGHT PLANS - PUBLIC						
S&B ARCHITECTS	ZACH PROWDA	213-433-4672	RULE 15:	STREET LIGHT PLANS - PRIVATE						
THE GUZZARDO PARTNERSHIP	PAUL LETTIERI / MORGAN BURKE	415-433-4672	RELOC:	IMPROVEMENT PLANS (ELECTRONIC FILE)	BKF	07-08-20				
GIACALONE DESIGN SERVICES, INC.	ANDREW CUMMINS	925-467-1740								

APPROVE: _____
REVISIONS: _____
TERMINAL DATE: _____

GIACALONE
DESIGN SERVICES, INC.
10000 W. 14TH AVE. SUITE 100
DENVER, CO 80202
303.751.1111 | www.giacalone.com

JOINT TRENCH INTENT TITLE SHEET
ENSEMBLE INVESTMENTS, LLC
ENSEMBLE
PROJECT 60/61
SANTA CLARA
CALIFORNIA

PROJECT MANAGER:
ANDREW CUMMINS
DRAWN BY:
JPS
CHECKED BY:
D. CROWFOOT P.E.
SCALE:
1"=30'
JOB NUMBER:
19-037
DATE LAST MODIFIED:
07-27-20
SHEET
INT1
OF 4 SHEETS

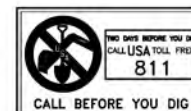
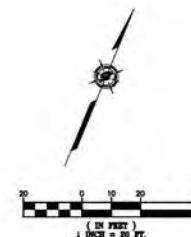


LEGEND

- EXISTING TRENCH OR UTILITIES
- - - PROPOSED TRENCH (DISTRIBUTION)
- - - PROPOSED TRENCH (SERVICE)
- EXISTING UTILITY SPUR BOX
- ⊠ SILICON VALLEY POWER 3 PHASE ABOVE GROUND TRANSFORMER & PAD 7'x12' x 8' PAD
- ⊡ SILICON VALLEY POWER PRIMARY MANHOLE
- ⊙ 8\"/>

EXISTING STREET LIGHT BOX

EXISTING STREET LIGHT

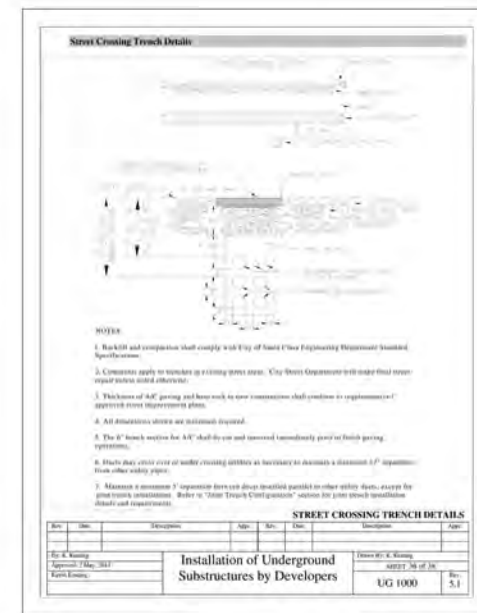
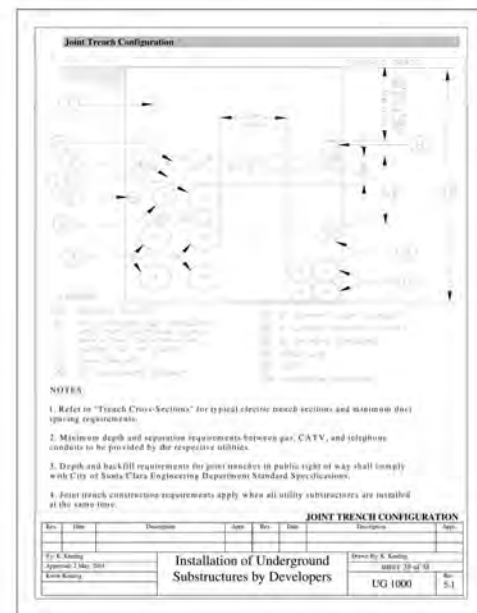
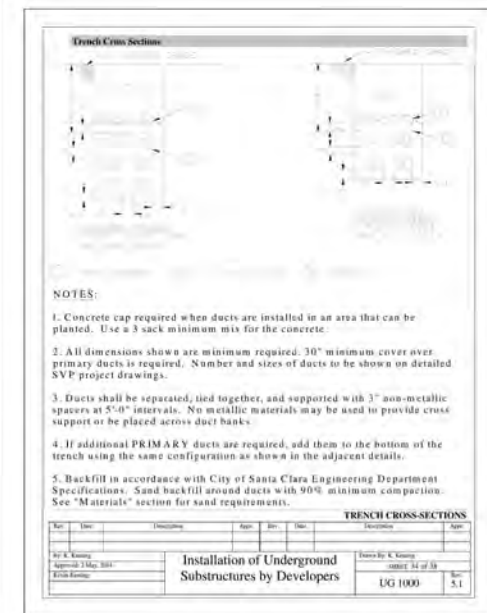
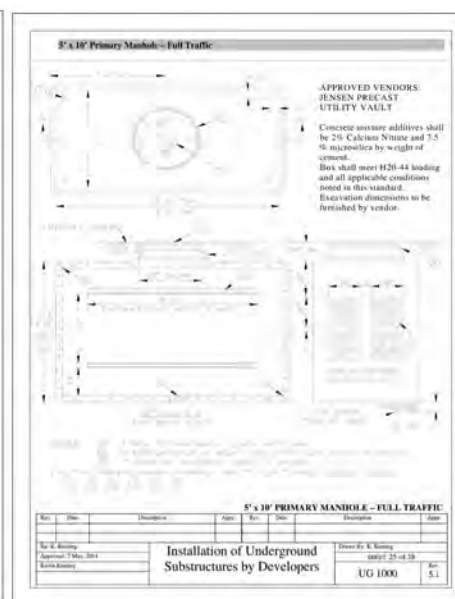
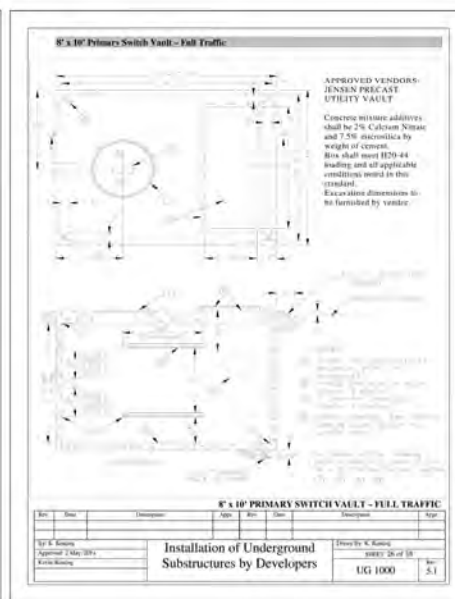
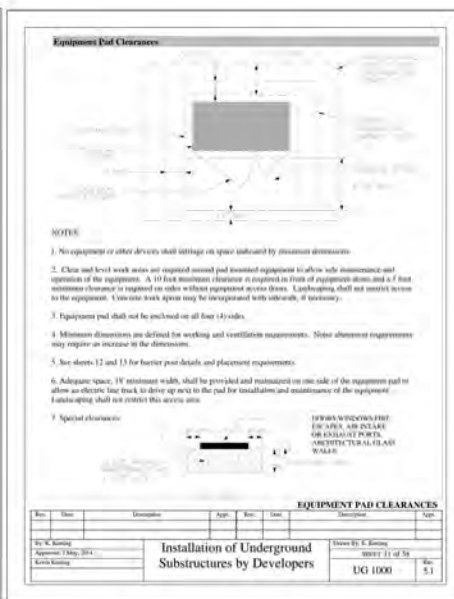
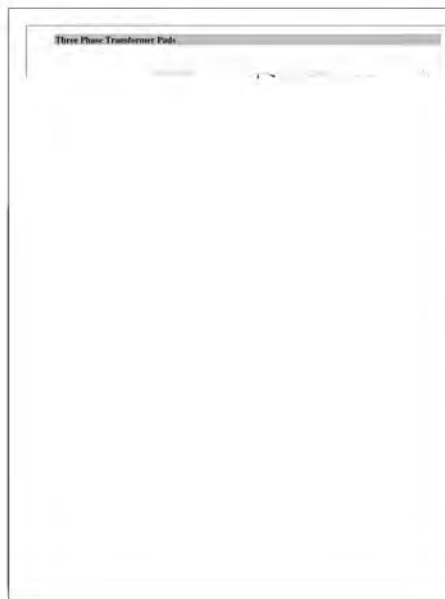


REVISIONS	DATE	DESCRIPTION

GIACALONE
DESIGN SERVICES, INC.
1000 W. 14TH AVE. SUITE 100
DENVER, CO 80202
303.733.1111

JOINT TRENCH INTENT
ENSEMBLE INVESTMENTS, LLC
ENSEMBLE
PROJECT 60/61
SANTA CLARA
CALIFORNIA

PROJECT MANAGER:
ANDREW COLUMBIS
DRAWN BY:
JPS
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D. CROWFOOT P.E.
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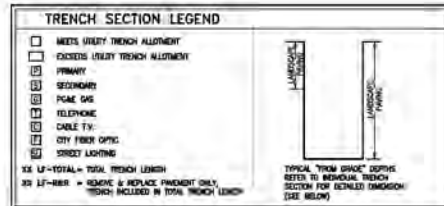


GIACALONE
DESIGN SERVICES, INC.
1000 AUTUMN HILL RD., #100 J. PUGHMAN, CA 94088
(415) 751-1111

JOINT TRENCH INTENT DETAILS
ENSEMBLE INVESTMENTS, LLC
ENSEMBLE
PROJECT 60/61
SANTA CLARA CALIFORNIA

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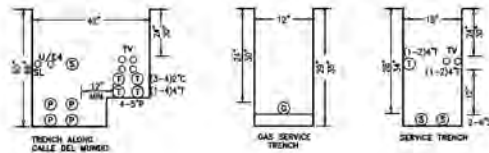
MINIMUM COVER & CLEARANCE CHART						
UTILITY	6	8	10	12	14	MINIMUM COVER
1. (SEE NOTE 3 & 4)	12"	12"	12"	12"	12"	24" MIN. IN STREET
2. TELEPHONE	12"	12"	12"	12"	12"	24" MIN. IN STREET
3. CABLE TV	12"	12"	12"	12"	12"	24" MIN. IN STREET
4. (SEE NOTE 3)	12"	12"	12"	12"	12"	24" MIN. IN STREET
5. (SEE NOTE 3)	12"	12"	12"	12"	12"	24" MIN. IN STREET
6. (SEE NOTE 3)	12"	12"	12"	12"	12"	24" MIN. IN STREET



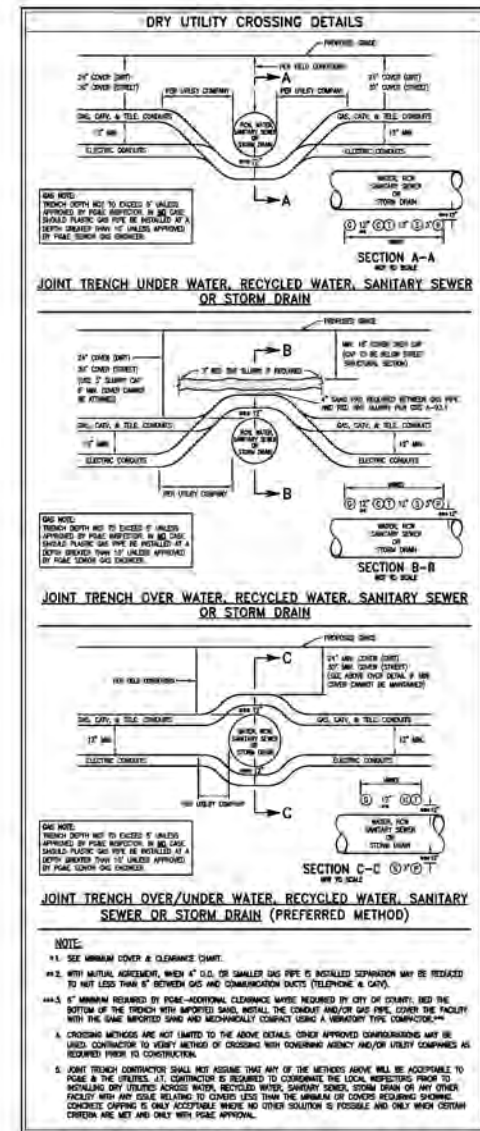
GENERAL TRENCH SECTION NOTES

- TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATIONS WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE. ALLOCATION SPACE CONSIDERATIONS OF REINFORCED CONCRETE, MAY BE USED PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
- CONTRACTOR TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL INTERFERING UTILITIES.
- TRENCH SECTIONS SHOWN ARE SCHEMATIC AND INDICATE AREAS OF OCCUPANCY ONLY. THEY DO NOT REFLECT THE SIZE OR QUANTITY OF THE FACILITIES BEING INSTALLED AND ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS SHOWN ON EACH TRENCH FUTURE/PROPOSED CONSTRUCTION DRAWINGS. REFER TO THE COMPOSITE, CONDUIT, CONDUIT/PLUMB AND/OR EACH RESPECTIVE UTILITY CONTRACTORS CONSTRUCTION DRAWINGS FOR THE NECESSARY CONDUIT, CABLE AND/OR PIPE BEING INSTALLED.

TRENCH SECTIONS



SEE CIVIL SHEET C4.1 FOR TYPICAL STREET SECTION



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ENSEMBLE INVESTMENTS, LLC
ENSEMBLE
PROJECT 80/61
SANTA CLARA
CALIFORNIA

JOINT TRENCH INTENT DETAILS

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