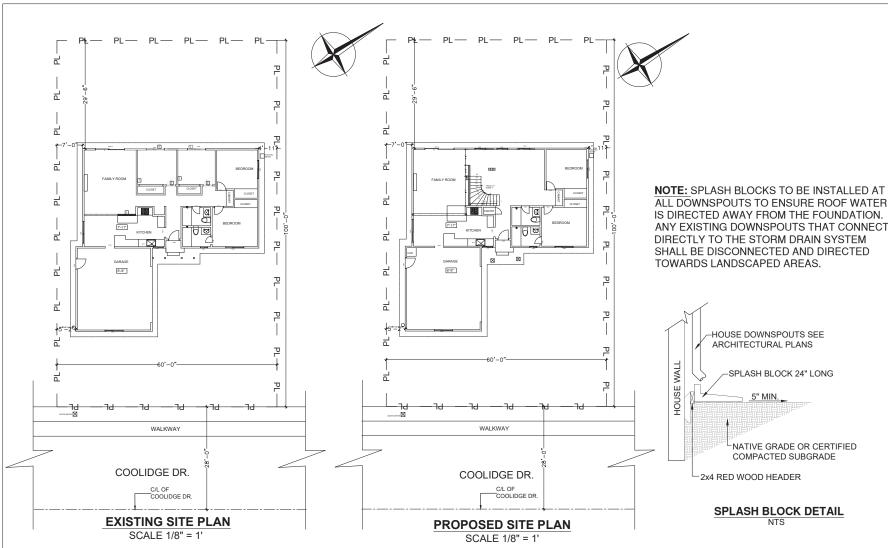
HOUSE REMODEL

2110, COOLIDGE DR., SANTA CLARA, CA-95051 APN -216-10-036

ALTV -2.10-10-000				
SCOPE OF WORK	PROJECT INFORMATION	VICINITY MAP	PRINCIPAL DEVENDRA DESHWAL E 5406, WOODHURST LN.	
 ADDITION OF 804 SQFT AT SECOND FLOOR. REMODELLING OF FIRST FLOOR. 	APN: 216-10-036 ZONING: R1 - 6L CONSTRUCTION TYPE: V-B(NON-SPRINKERED) STORIES: EXISTING -1; PROPOSED -2 BEDROOMS: EXISTING -4; PROPOSED -4 BATH: EXISTING -2; PROPOSED -3 GARAGE: 2 CARS OCCUPANCY: R3U	Monroe St. Business Park Business	SAN JOSE, CA - 95123 PH. NO.: 408-318-1053 EMAIL:dsdeshwal@gmail.com	
DRAWING INDEX	APPLICABLE CODES	APN MAP	1 40	
A0 - COVER SHEET A1 - SITE PLAN A2 - EXISTING/DEMOLITION & PROPOSED FIRST FLOOR PLAN A3 -PROPOSED SECOND FLOOR PLAN A4 - EXISTING & PROPOSED ROOF PLAN A5 - EXISTING & PROPOSED ELEVATIONS	2019 California Building Code 2019 California Residencial Code 2019 California Electrical Code 2019 California Mechanical Code 2019 California Plumbing Code 2019 California Green Building Standards Code 2019 California Fire Code 2019 California Energy Code All applicable local, county & Federal codes, Laws and regulations		PROJECT: 2110, COOLIDGE DR., SANTA CLARA, CA-95051	
PROJECT DATA	GENERAL NOTES	APPROVAL STAMP	SHEET TITLE:- COVER SHEET	
LOT AREA - 6001 SQFT MAX. COVERED AREA PERMISSIBLE AT FIRST FLOOR (-0.4X6001)= 2400 SQFT EXISTING FLOOR AREA AT FIRST FLOOR - 1288 SQFT GARAGE - 446 SQFT TOTAL COVERED AREA AT FIRST FLOOR = 1734 < 2400 SQFT PROPOSED FLOOR AREA - FIRST FLOOR - 1288 SQFT GARAGE - 446 SQFT SECOND FLOOR - 804 SQFT TOTAL FLOOR AREA - 2092 SQFT TOTAL COVERED AREA = 1734 < 2400 SQFT AT FIRST FLOOR TOTAL FLOOR AREA - 2502 SQFT TOTAL COVERED AREA = 1734 < 2400 SQFT AT FIRST FLOOR TOTAL FLOOR AREA AT SECOND FLOOR - 804 SQFT RATIO OF SECOND FLOOR AREA TO FIRST FLOOR AREA = \(\frac{244}{1544}\) = 46.4% < 66% - 0K	ALL CONTRICTION SMALL COMEY, WITH ADDITION SMAN AND FALVES OF THE COLERNON CASKY, AND THE LATEST AND CONTRICTIONS OF THE FILLIMMS 2019. THE CONTRICTOR SMALL ERECT AND MANYAM, AS REQUIRED BY EXEMPTION CONDITIONS AND PROGRESSES OF THE WORK, ALL THE REAGONABLE SAFEQUARDS FOR SAFETY AND PROTECTION MOLICIAINS CONTRICTORS. THE CONTRICTOR SMALL ERECT AND MANYAM, AS REQUIRED BY EXEMPTION CONDITIONS AND PROGRESSES OF THE WORK, ALL THE REAGONABLE SAFEQUARDS FOR SAFETY AND PROTECTION MOLICIAINS CONTRICTORS. PROMULEATING SAFETY REGULATIONS ON DIFFURN CONNESS. AND SHARL SHE REAGONABLE SAFEQUARDS FOR SAFETY AND PROTECTION MOLICIAINS. PROMULEATING SAFETY REGULATIONS ON DIFFURN CONNESS. AND SHARL SHE RESPONSIBLE FOR VERRIFICATION OF ALL DIMENSIONS, CRADES AND OTHER CONDITIONS AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SMETH, HE SHALL PROPORT AND PROSPERANCIES TO THE DESIGNAFE FOR A CASHEFFACTOR MAD AND CORRECTION PROVED TO DECINIONAL SAY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE COVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOUR SHAPE AND CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE COVERNING AGENCIES. AND SHALL PROVIDE ALL MATERIALS AND LABOUR SHAPE AND CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND CONTRACTOR SHAPE		DATE 09/03/2020 SCALE AS SHOWN ON PLANS SHEET A0	

OWNER :-

ANUBHA JAIN & DHRUV JAIN



NOTES:-

PROPERTY LINE DIMENSIONS ARE TAKEN FROM THE APN MAP

SITE DRAINAGE & GRADING NOTES

- SPLASH BLOCK TO BE PLACED BELOW EACH DOWN SPOUT.
- THE SITE SHOULD BE FINE GRADED TO PROVIDE MIN. 5% SLOPE AWAY FROM BUILDING PERIMETER & ADJACENT PROPERTY LINES. IN NO CASE SHALL THE FINISH GRADING RESULT IN AN INCREASE IN SHEET FLOW ONTO ADJACENT PROPERTIES.
- DRAINED WATER TO BE DIRECTED TO THE LANDSCAPED AREA AT A SLOPE OF 2%.

RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6

R311.3 FLOORS AND LANDING AT EXTERIOR DOORS:
THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF
EACH EXTERIOR DOOR. THE LANDING SHALL NOT BE LESS
THAN THE DOOR SERVED. EVERY EACH WIDTH OF
LANDING SHALL HAVE A MINIMUM DIMENSION OF 36
INCHES MEASURED IN THE DIRECTION OF TRAVEL.
EXTERIOR LANDING SHALL BE PERMITTED TO HAVE A
SLOPE NOT TO EXCEED \$\frac{1}{4}\$ UNIT VERTICAL IN 12 UNITS
HORIZONTAL (2PERCENT)

R311.3.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS:

LANDING OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

NEW OR REPLACED WINDOWS, WINDOWS U FACTOR OF 0.32 (CENC TABLE 150.1-A)

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ANUBHA JAIN & DHRUV JAIN

DESIGNER :-

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REVISIONS	NUMBER			

2110, COOLIDGE DR., SANTA CLARA, CA-95051

SHEET TITLE:-

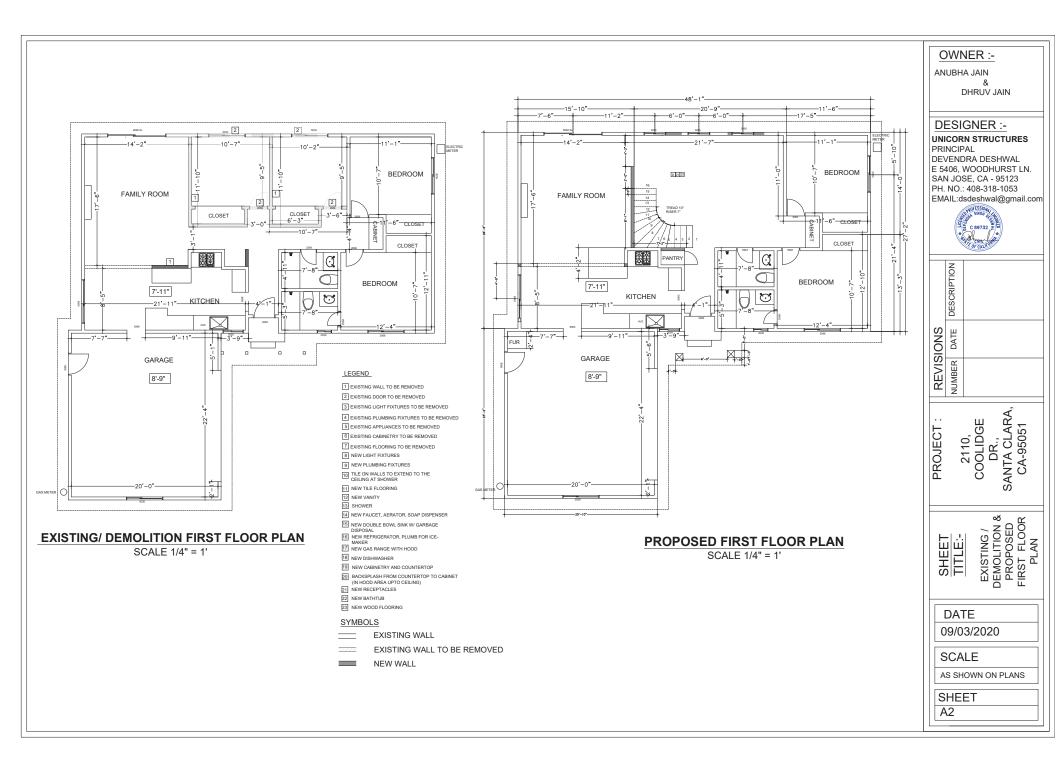
PROJECT

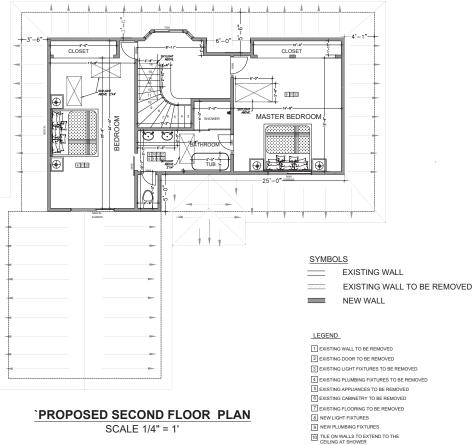
DATE 09/03/2020

SCALE

AS SHOWN ON PLANS

SHEET A1





- 11 NEW TILE FLOORING
- 12 NEW VANITY
- 13 SHOWER
- 14 NEW FAUCET, AERATOR, SOAP DISPENSER
- 15 NEW DOUBLE BOWL SINK W/ GARBAGE
- 17 NEW GAS RANGE WITH HOOD
- 18 NEW DISHWASHER
- 19 NEW CABINETRY AND COUNTERTOP
- 20 BACKSPLASH FROM COUNTERTOP TO CABINET
- 21 NEW RECEPTACLES
- 22 NEW BATHTUB
- 23 NEW WOOD FLOORING

A. GENERAL NOTES

A LEADER AND A STATE OF THE CONTROLLED COUNTIES CONTROLLED AND POLICIES OF THE CONTROLLED AND POLICIES OF THE COLONIAGE 2017 CARGODIST OF THE FOLLOWING 2017 C

- BATTERION ANTICHER NOTES

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 3 LOANTON FACETS TO HAVE A FLOW FARTE OF 12 OFM OR LESS AT OF RES. (CAGGEREN 420.11)

 3 LOANTON FACETS TO HAVE A FLOW FARTE OF 12 OFM OR LESS AT OF RES. (CAGGEREN 420.11)

 4 WITES CLOSETS TO HAVE A FLOW FARTE OF 12 OFM OR LESS AT OF RES. (CAGGEREN 420.11)

 5 KITCHEN FALCETS TO HAVE A FLOW FARTE OF 12 OFM OR LESS AT OF RES. (CAGGEREN 420.11)

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 6 KITCHEN FALCETS TO HAVE A FLOW FARTE OF 12 OFM OR HEAD SHALL BE PRESENTED WITH A MONABORRENT SURFACE TO HEIGHT NOT LESS THAN FEET ABOVE THE ADDRESS AND THE ADDRESS AND

- ALL LOTE PROTUES SHALL CONTINUE BLEEP THAT ARE LABELED AS JAKES TO BE SEALD LIKE OR RECESSED FOUNDES), SORRY BLABS ARE PERMITTED DECEPT IN RECESSED LOTE OF THE CONTINUES OF THE

- 21 MITCHEN RECEPTACLES SHALL BE SUPPLIED BY CIRCUITS MEETING ALL OF THE POLLOWING REQUIREMENTS (CEC 210.11, 210.52, 422.16)

 COUNTRICTOR RECEPTACLES SHALL BE SUPPLIED BY AMMAIN OF TWO 20 AMP DEWANDER OF COUNTS.

 A RECOLLED BOOTON IN REQUIRED FOR COME AND FALL OF COUNTRICTED RANGE DEBOYS INCOLD, SEPARATE CIRCUITS MAY BE REQUIRED FOR THE GARBAGE DISPOSAL, DISHMASHER.

 A RECEIVED BOOTON IN THE DISPOSAL DISHMASHER.

 ANY NEW RECEPTACLES ADDED IN THE DINNING AREA BREAKFAST ROOM, PAINTRY, OR SIMILAR AREAS SHALL BE SUPPLIED BY A 20-AMP CRICUIT, THE COUNTERTOP CIRCUITS MAY BE USED TO SUPPLY THESE AREAS.
- THE EXISTING ELECTRICAL PANEL MAY NEED TO BE UPGRADED, OR SUB- PANEL ADDED, IF THE REQUIREMENTS ABOVE CANNOT BE ACCOMMODATED.

22.CABINET REQUIREMENTS

IF INSTALLING A CABINET NEXT TO AN EXISTING FIRE RATED WALLWALLS (I.E. BETWEEN APARTMENT UNITS OR TOWNHOMES ETC.) THE INTEGRITY OF THE FIRE RATED WALLWALLS IF ASSTAURA COMMENT MEST ON ALL DISTINGUISE GREEN DIVIDATION, ALL SILL SE SEMENDE ANAMENENT UNIT ON TOWN-MOMEST ICT. THE REPORT OF THE PRATTER WALLINGLISE.

THE SEMENDAL CONTROLLED THE CONTROLLED THE PRATTER WALLINGLISE CONTROLLED THE CONTROLLED THE PRATTER WALLINGLISE CONTROLLED THE CONTRO

- C. TURSHOWER AND WATER CLOSET REQUIREMENTS:

 1. THE MONO VALVE IN A SHOWER DIGLIDING OVER A TUB SHALL BE PRESSURE BULANCING SET AT A JAMANIAN TO REGISTE F. THE INTERFELER VALVE IN BITTHERWIND POORS SHALL

 1. THE MONO VALVE IN A SHOWER DIGLIDING OVER A TUB SHALL BE REGISTE IN A WATER MERITER THE MONOTH REGISTED TO MEET THE PROVISION (FOR ANY A LOW A

 2. NEW OR RECOVER/ORD SHOWER STALL SHALL BE A MANNIA PRISHED INTERFELO OF 1/10 SAUDIES FOR EXCHANGE TO EXCOMPASION A O MANNIETE CRICLE. ANY DOORS

 BHALL SHIME OUT OF THE EXCLOSURE HAVE A LEAF OREMAN OF Z ROKES MINIMUM. (FOR CAS. 488)

 1. MET OR RECOVERY AND A BENTILLE WITH BURNETH HAVE A LEAF OREMAN OF Z ROKES MINIMUM. (FOR CAS. 488)

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 1. MET OR RECOVERY AND A BENTILLE WITH BURNETH HAVE A ROW AND A ROW A ROW AND A ROW A

- CRC R037 2)

 4. HE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WISE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT) (CPC 402.5).

 5. WISER HE WATER CLOSET (OR OTHER PLANENCE PATURE) COMES NOT CONTACT WITH "HE WALL OR FLOOR THE JOHN "SHALL BETCH." HE SHEEPING "THE FIRST WATER CLOSET (OR OTHER PLANENCE PATURE) COMES NOT CONTACT WITH "HE WALL OR FLOOR THAT BE CALLED AND SEALED TO BE WITE FIRST WATER CLOSET (OR OTHER PLANENCE PATURE) CONTINUED HE FIRST WATER CLOSET AND THE SHEEPING "THE FIRST WATER CLOSET THE CONTINUED HE FIRST WATER CONSTRUCTED HER CROSS AND THE CONSTRUCTED HER CROSS AND THE CONTINUED HER CROSS AND THE CROSS
- HEIGHT FROM FLOOR TO CEILING ETC)

 **HORDMASSAGE FLOOR ILL BUT SHEEL HAVE ACCESS TO THE MOTOR, BE SUPPLIED BY A OFCI PROTECTED DEDICATED CRICUIT, AND BE LISTED BY A RECOGNIZED TESTING ACREAVY IBL. U.A. M.E.TAL CALES, FITTINGS, PRIVAL, OR OTHER METAL SUPPLIES BY A OFCI PROTECTED DEDICATED CRICUIT, AND BE LISTED BY A RECOGNIZED TESTING ACREAVY IBL. U.A. METAL CALES, FITTINGS, PRIVAL, OR OTHER METAL SUPPLIES. TO THE RECOGNIZED TESTING ACREAVY IBL. U.A. THE PROTECTION OF THE METAL SUPPLIES. AND ACCESSIONAL CITE OF THE STANDARD OF THE METAL SUPPLIES. AND ACCESSIONAL CITE OF THE STANDARD OF THE METAL SUPPLIES. AND ACCESSIONAL CITE OF THE ACCESSIONAL CI
- ACCORDANCE WITH THE MANAGETHERERS RECORDANGEMENT TOOLS WHITE RESISTANT OFFERE BOARD (OF E. PUPPLE BOARD) MAY BE USED WHEN ATTACHED DEFECTLY TO STUDY.

 SHOWER FLOOR SHELL BE LINED WHEN AT PROPOSED SHOWER AND ON CHARGE THE LOT ATTEMPTOR AT PROPOSED SHIP LINED AND SHELL LETS DO SHELD AT THE PROPOSED SHIP LETS AND SHELL LETS DO SHELD AND SHELL LETS DO SH

- PREDUCATION (-00: 2490A, 2493.1 AND UN. 30: 1, 1905.4)

 WERED GLAZINS SIZEL BE RISTALLED IN THE LOCATIONS LISTED BELOW. TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS

 WANNENTLY APPLED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED I.G. SAND BLASTER, AND ETCHED, CERAMIC PRED, LAZER ETCHED, OR BRIGOSED)

 WITHIN A PORTION OF WALL ENCLOSED A TUBBISHOPRE WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN OR HORSE ABOVE THE STRANDING SURFACE AND DRAIN

 WITHIN A PORTION OF WALL ENCLOSED A TUBBISHOPRE WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN OR HORSE ABOVE THE STRANDING SURFACE AND DRAIN
- N 60 INCHES OF TUB/SHOWER WHERE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- GLAZING WITHIN 24 INCHES OF EITHER SIDE OF DOOR IN THE PLANE OF THE DOOR IN CLOSED POSITION.
 GLAZING ON THE HINGE-SIDE OF AN IN-SWINGING DOOR THAT IS INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE DOOR

E KITCHEN MECHANICAL

1. A MECHANICAL PERMIT IS REQUIRED TO REPLACE THE KITCHEN EXHAUST HOOD THAT INCLUDES AN OUTSIDE AIR VENT. THE VENT MUST TERMINATE ON THE BUILDING EXTERIOR AT LEAST 3FT FROM OTHER OPENINGS INTO THE BUILDING IQMOS02.21, FLEXBLE (CORRUGATED) DUCTING IS NOT ALLOWED FOR EXHAUST HOODS (DMC 504.3).

G. CALGREEN NOTES:
PER CALFORMA ONL CODE ARTICLE 1101 A AND CALGREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESSERVAL PROPERTY, EXISTING
PLANIANCH PRITINES IN THE EXTINES HOUSE THAT DO NOT MEET COMPLANT FLOW PARTES WILL NEED TO BE UPGRANDED, WATER CLOSETS WITH A FLOW PARTE IN EXCESS OF 1 figer Will INSECTION
FROM THE PROPERTY OF THE PROPERTY

N. CLOTH DRYEE CHANST DUCK MOTE:

OFFICE SCHAMED TOUCH MAST BE CONSUMPED WITH A BACKDRAFT DAMPER WITH NO SCREEN DUST IS LIMITED TO 14 FEET IN LENGTH WITH 20 SEGREE ELBOWS FROM THE DRIVER TO THE POINT OF TERMANTON PRIC CUS 201.3 12 (DUST 304L). TERMANTE AY LEAST 36 SCREEN FROM DEPENDED BY TO THE RELIDING)

FERMANTON PRIC CUS 201.3 12 (DUST 304L). TERMANTE AY LEAST 36 SCREEN FROM DEPENDED BY TO 14 FEET IN LENGTH WITH 20 SEGREE ELBOWS FROM THE DRIVER TO THE POINT OF TERMANTE INTO A CHANGE SPACE, ATTE, OR OTHER CONCELLED SPACE, (ASS 201.4 CHANGE AND SHAPE). THE CONCELLED SPACE (ASS 201.4 CHANGE AND SHAPE LIGHT AND SHAPE AN

OWNER:-

ANUBHA JAIN **DHRUV JAIN**

DESIGNER:-

UNICORN STRUCTURES PRINCIPAL DEVENDRA DESHWAL

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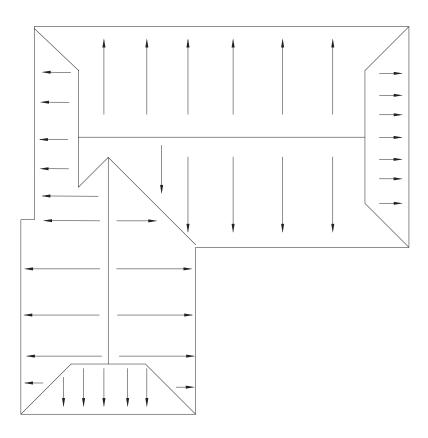
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09/03/2020 SCALE

AS SHOWN ON PLANS

SHEET

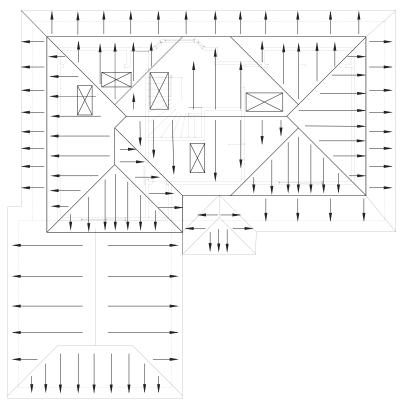
A3



EXISTING ROOF PLAN SCALE = $\frac{1}{4}$ "=1'

ELEVATIONS NOTES:

- 1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
- 2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
- 3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
- 4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
- 5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
- 6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.



 $\frac{\text{PROPOSED ROOF PLAN}}{\text{SCALE = }\frac{1}{4}\text{"=1'}}$

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DESIGNER :-

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REVISIONS

NUMBER DATE DESCRIPTION

2110, COOLIDGE DR., SANTA CLARA, CA-95051

PROJECT

SHEET TITLE:-EXISTING & PROPOSED ROOF PLAN

DATE 09/03/2020

SCALE

AS SHOWN IN PLANS

SHEET

A4

