

# HOUSE REMODEL

2110, COOLIDGE DR.,  
SANTA CLARA, CA-95051  
APN -216-10-036

## OWNER :-

ANUBHA JAIN  
&  
DHRUV JAIN

## DESIGNER :-

**UNICORN STRUCTURES**  
PRINCIPAL  
DEVENDRA DESHWAL  
E 5406, WOODHURST LN.  
SAN JOSE, CA - 95123  
PH. NO.: 408-318-1053  
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REVISIONS	DESCRIPTION
	DATE
NUMBER	

PROJECT :  
2110,  
COOLIDGE  
DR.,  
SANTA CLARA,  
CA-95051

SHEET  
TITLE:-  
COVER  
SHEET

DATE  
09/03/2020

SCALE

AS SHOWN ON PLANS

SHEET  
A0

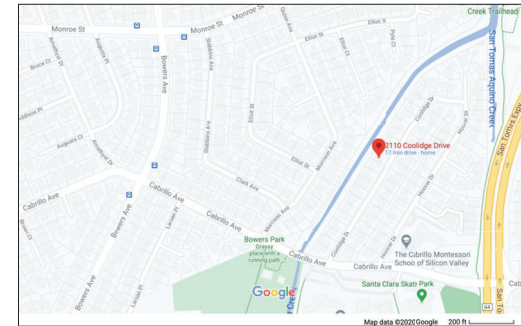
## SCOPE OF WORK

1. ADDITION OF 804 SQFT AT SECOND FLOOR.
2. REMODELLING OF FIRST FLOOR.

## PROJECT INFORMATION

APN : 216-10-036  
ZONING : R1 - 6L  
CONSTRUCTION TYPE : V-B(NON-SPRINKERED)  
STORIES : EXISTING -1; PROPOSED -2  
BEDROOMS : EXISTING -4; PROPOSED -4  
BATH : EXISTING -2; PROPOSED -3  
GARAGE : 2 CARS  
OCCUPANCY : R3U

## VICINITY MAP



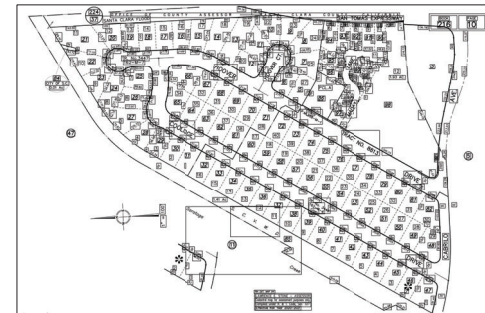
## DRAWING INDEX

- A0 - COVER SHEET
- A1 - SITE PLAN
- A2 - EXISTING/DEMOLITION & PROPOSED FIRST FLOOR PLAN
- A3 -PROPOSED SECOND FLOOR PLAN
- A4 - EXISTING & PROPOSED ROOF PLAN
- A5 - EXISTING & PROPOSED ELEVATIONS

## APPLICABLE CODES

2019 California Building Code  
2019 California Residential Code  
2019 California Electrical Code  
2019 California Mechanical Code  
2019 California Plumbing Code  
2019 California Green Building Standards Code  
2019 California Fire Code  
2019 California Energy Code  
All applicable local, county & Federal codes, Laws and regulations

## APN MAP



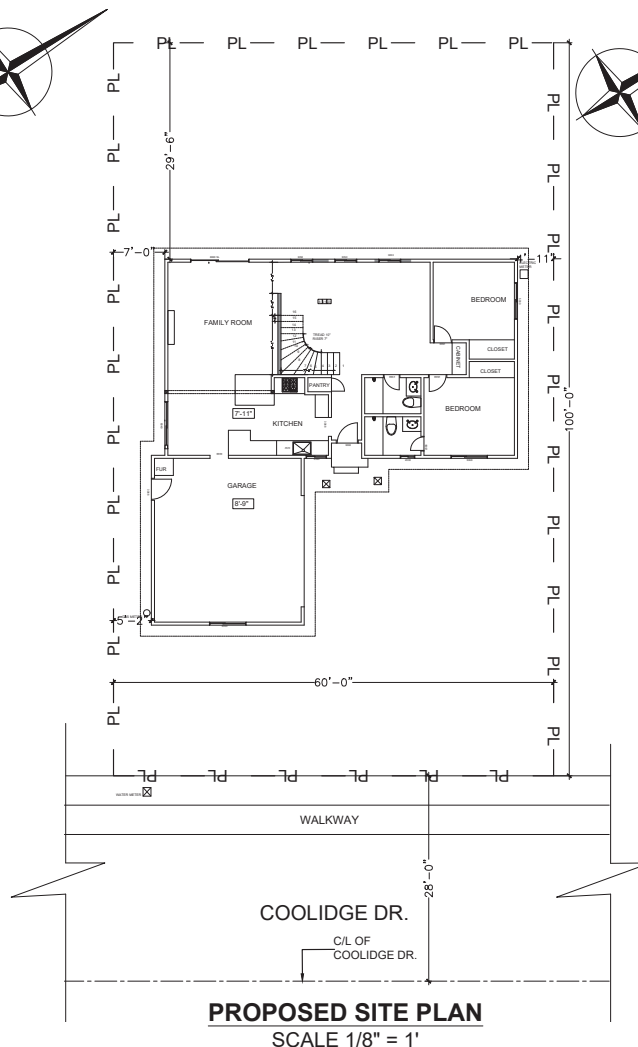
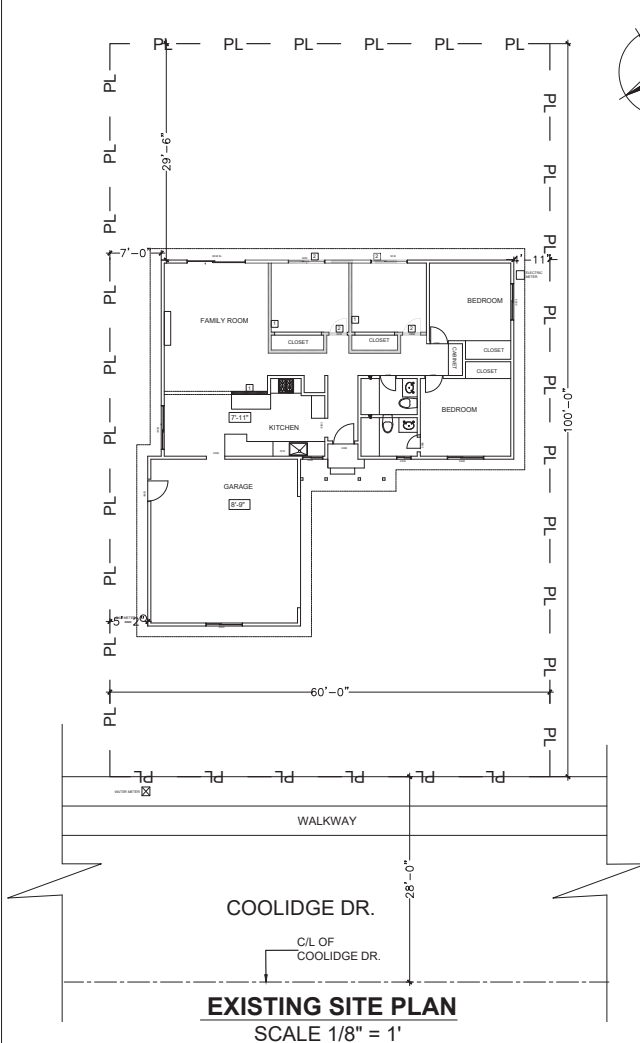
## PROJECT DATA

**LOT AREA** - 6001 SQFT  
**MAX. COVERED AREA PERMISSIBLE AT FIRST FLOOR**  
(- 0.4X6001)= 2400 SQFT  
**EXISTING**  
**FLOOR AREA AT FIRST FLOOR** - 1288 SQFT  
**GARAGE** - 446 SQFT  
**TOTAL COVERED AREA AT FIRST FLOOR** = 1734 < 2400 SQFT  
**PROPOSED**  
**FLOOR AREA** -  
**FIRST FLOOR** -1288 SQFT  
**GARAGE** - 446 SQFT  
**SECOND FLOOR** - 804 SQFT  
**TOTAL FLOOR AREA** - 2092 SQFT  
**TOTAL COVERED AREA** = 1734 < 2400 SQFT AT FIRST FLOOR  
**TOTAL FLOOR AREA AT SECOND FLOOR** - 804 SQFT  
**RATIO OF SECOND FLOOR AREA TO FIRST FLOOR AREA** =  $\frac{804}{1734} = 46.4\%$  < 66% - OK

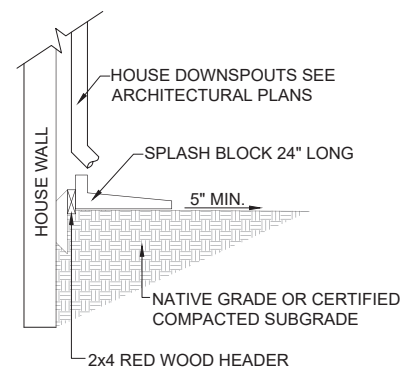
## GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS OF THE FOLLOWING 2019 CALIFORNIA RESIDENTIAL AND BUILDING CODE (CBC, CRC), CALIFORNIA ELECTRICAL CODE 2019, CALIFORNIA ENERGY CODE 2019, AND 2019 CALIFORNIA GREEN BUILDING CODE.  
- THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESSES OF THE WORK, ALL THE REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.  
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.  
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORK AND COORDINATION OF ALL TRADES AND THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOUR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.  
- CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:  
1. CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY ROOF STRUCTURE.  
2. INTERIOR DOOR AND ZERO CLEARANCE FIREPLACE RELOCATION SHOWN ON THE APPROVE PLANS  
3. A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM AND  
4. INTERIOR NON - STRUCTURAL WALL FINISHES.  
SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK ( FOR THE NEW PLAN CHANGES ) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.  
**CAL GREEN NOTES:**  
PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLAINT FLOW RATES WILL NEED TO BE UPGRADED, WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6gpf WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 gpf. SHOWER HEADS WITH A FLOW GREATER THAN 2.5gpm WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 gpm @80 psi SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 gpm WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 gpm @80 psi (OR 1.8 gpm @80 psi FOR KITCHEN FAUCETS)

## APPROVAL STAMP



**NOTE:** SPLASH BLOCKS TO BE INSTALLED AT ALL DOWNSPOUTS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM THE FOUNDATION. ANY EXISTING DOWNSPOUTS THAT CONNECT DIRECTLY TO THE STORM DRAIN SYSTEM SHALL BE DISCONNECTED AND DIRECTED TOWARDS LANDSCAPED AREAS.



**SPLASH BLOCK DETAIL**  
NTS

**NOTES:-**  
**PROPERTY LINE DIMENSIONS ARE TAKEN FROM THE APN MAP**

**SITE DRAINAGE & GRADING NOTES**

1. SPLASH BLOCK TO BE PLACED BELOW EACH DOWN SPOUT.
2. THE SITE SHOULD BE FINE GRADED TO PROVIDE MIN. 5% SLOPE AWAY FROM BUILDING PERIMETER & ADJACENT PROPERTY LINES. IN NO CASE SHALL THE FINISH GRADING RESULT IN AN INCREASE IN SHEET FLOW ONTO ADJACENT PROPERTIES.
3. DRAINED WATER TO BE DIRECTED TO THE LANDSCAPED AREA AT A SLOPE OF 2%.

**RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6**

**R311.3 FLOORS AND LANDING AT EXTERIOR DOORS:**  
THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY EACH WIDTH OF LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDING SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED  $\frac{1}{4}$  UNIT VERTICAL IN 12 UNITS HORIZONTAL (2PERCENT)

R311.3.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS:  
LANDING OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

NEW OR REPLACED WINDOWS, WINDOWS U FACTOR OF 0.32 (CENC TABLE 150.1-A)

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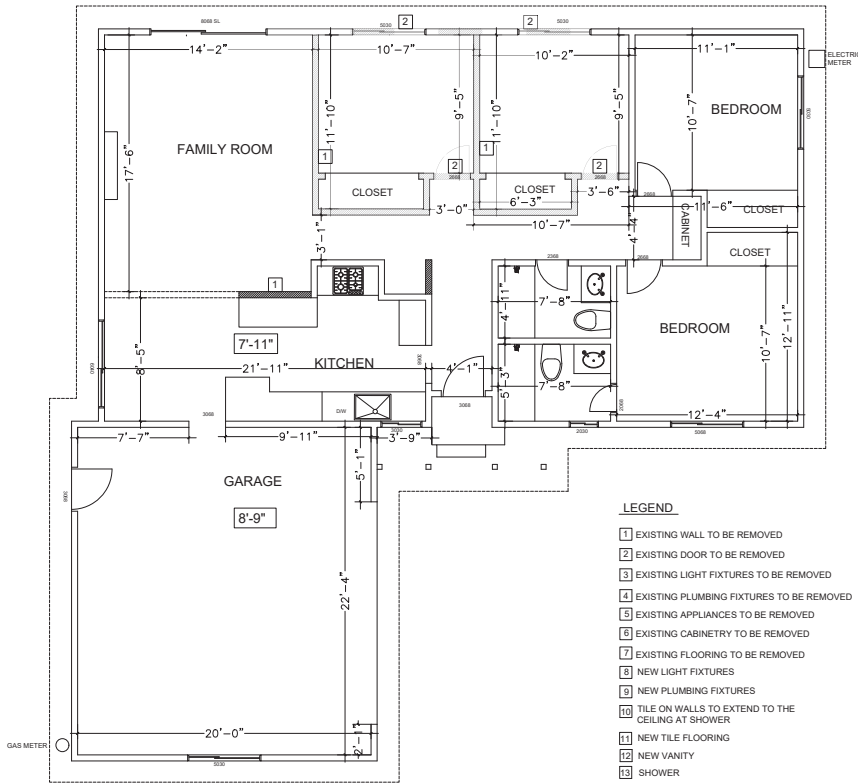
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**SHEET**  
**TITLE:-**  
**SITE PLANS**

**DATE**  
09/03/2020

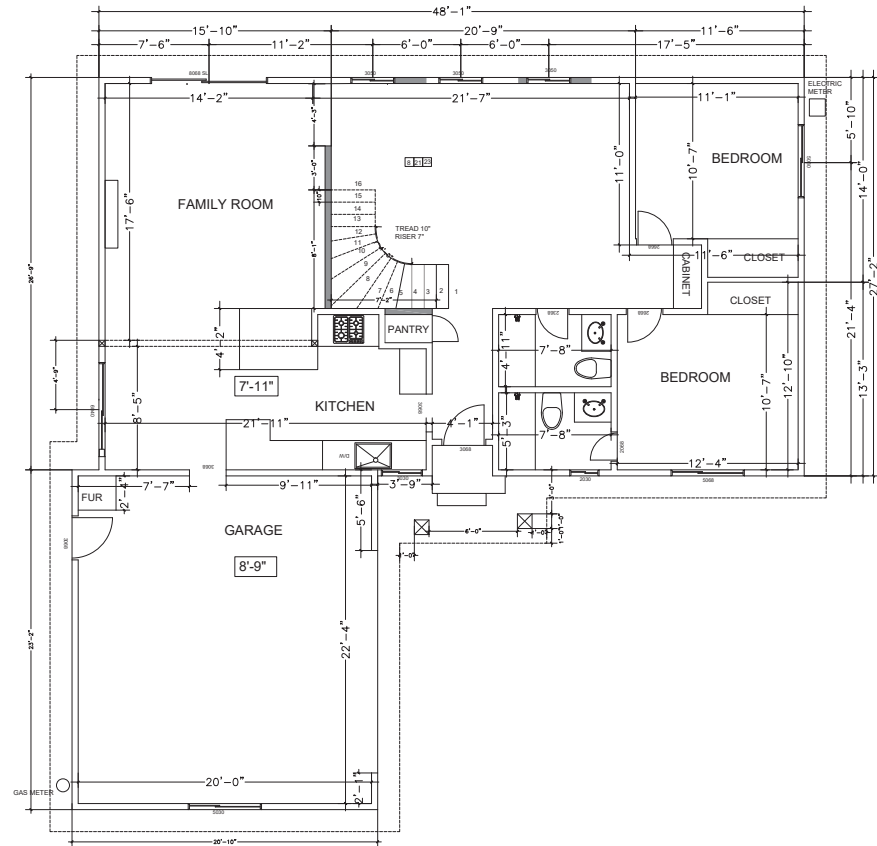
**SCALE**  
AS SHOWN ON PLANS

**SHEET**  
A1



## EXISTING/ DEMOLITION FIRST FLOOR PLAN

SCALE 1/4" = 1'



## PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'

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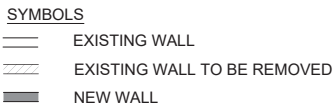
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FIRST FLOOR  
PLAN

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A2



- 1 EXISTING WALL TO BE REMOVED
- 2 EXISTING DOOR TO BE REMOVED
- 3 EXISTING LIGHT FIXTURES TO BE REMOVED
- 4 EXISTING PLUMBING FIXTURES TO BE REMOVED
- 5 EXISTING APPLIANCES TO BE REMOVED
- 6 EXISTING CABINETRY TO BE REMOVED

- 7 EXISTING FLOORING TO BE REMOVED
- 8 NEW LIGHT FIXTURES
- 9 NEW PLUMBING FIXTURES
- 10 TILE ON WALLS TO EXTEND TO THE CEILING AT SHOWER
- 11 NEW TILE FLOORING
- 12 NEW VANITY
- 13 SHOWER
- 14 NEW FAUCET, AERATOR, SOAP DISPENSER
- 15 NEW DOUBLE BOWL SINK W/ GARBAGE DISPOSAL
- 16 NEW REFRIGERATOR, PLUMB FOR ICE-MAKES
- 17 NEW GAS RANGE WITH HOOD
- 18 NEW DISHWASHER
- 19 NEW CABINETRY AND COUNTERTOP
- 20 BACKSLAP FROM COUNTERTOP TO CABINETS (IN HOOD AREA UP TO CEILING)
- 21 NEW RECEPTACLES
- 22 NEW BATHTUB
- 23 NEW WOOD FLOORING

SCALE 1/4" = 1'

- [illegible]

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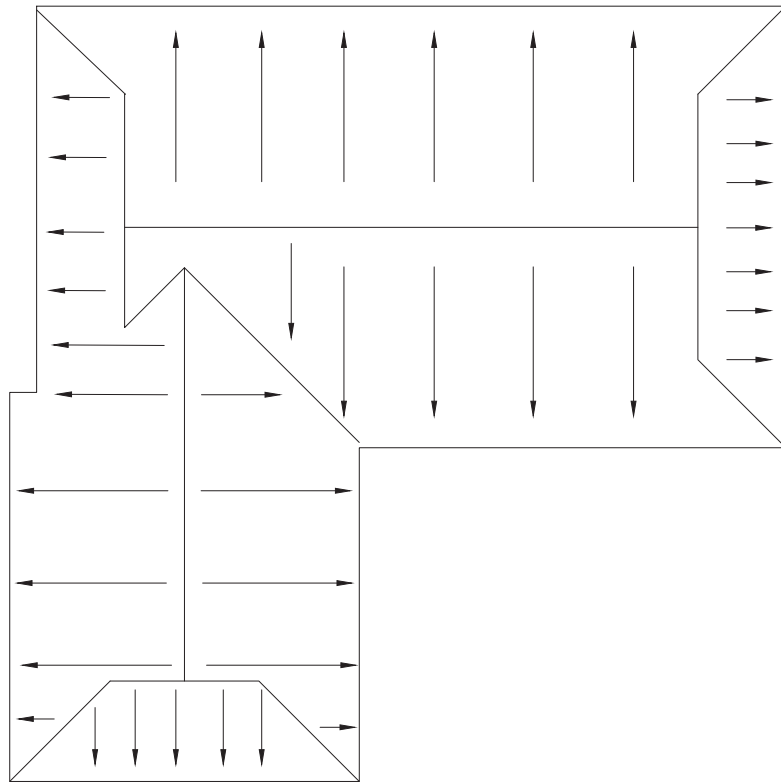
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AS SHOWN ON PLANS

SHEET
A3

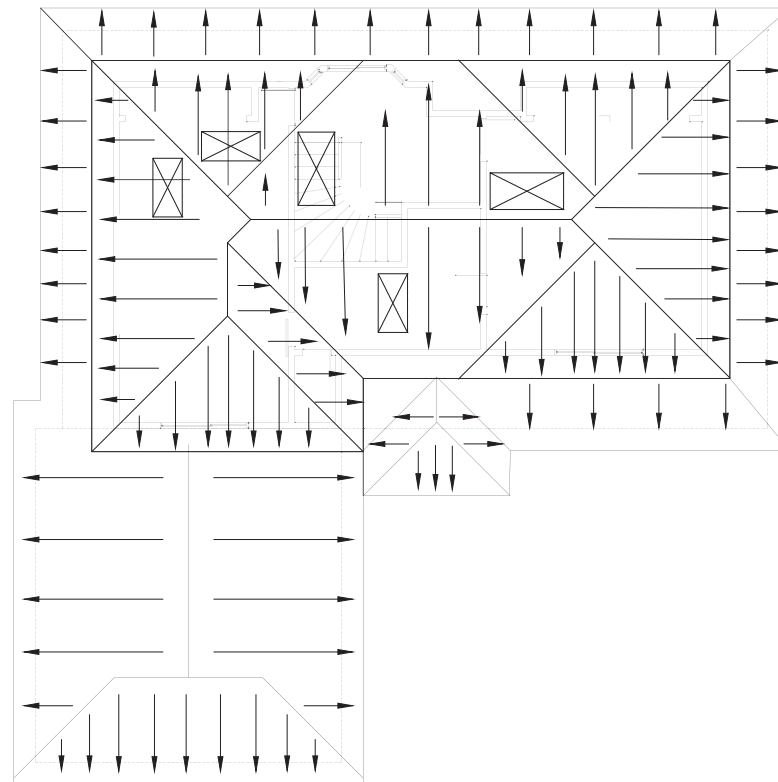


**EXISTING ROOF PLAN**

SCALE =  $\frac{1}{4}"=1'$

**ELEVATIONS NOTES:**

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.



**PROPOSED ROOF PLAN**

SCALE =  $\frac{1}{4}"=1'$

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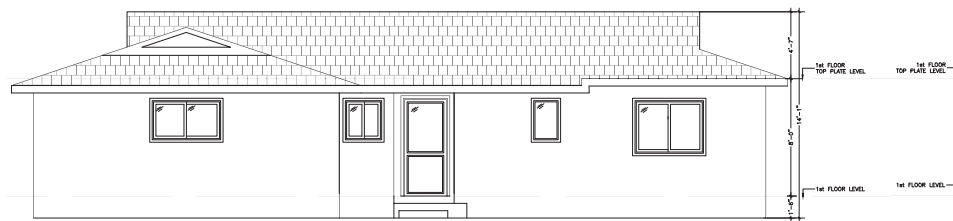
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EXISTING &  
PROPOSED  
ROOF PLAN

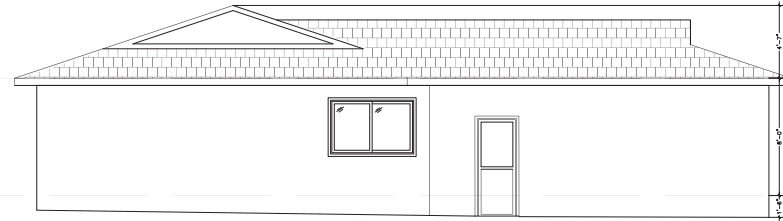
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**SCALE**  
AS SHOWN IN PLANS

**SHEET**  
A4



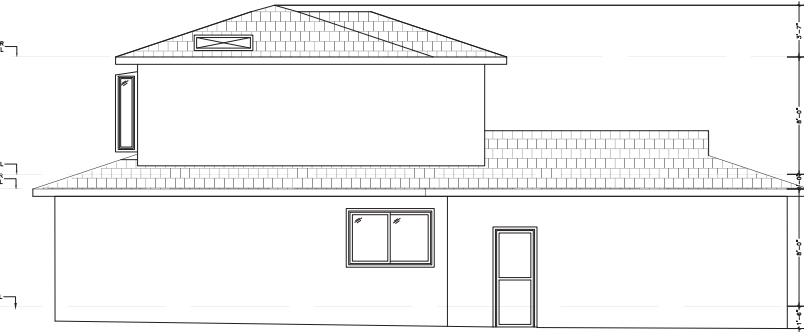
**EXISTING FRONT ELEVATION**  
SCALE = 1/4"=1'



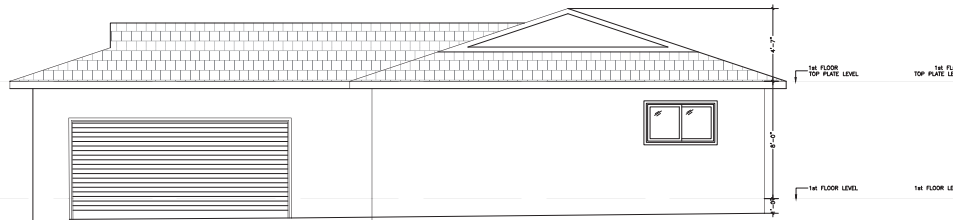
**EXISTING LEFT SIDE ELEVATION**  
SCALE = 1/4"=1'



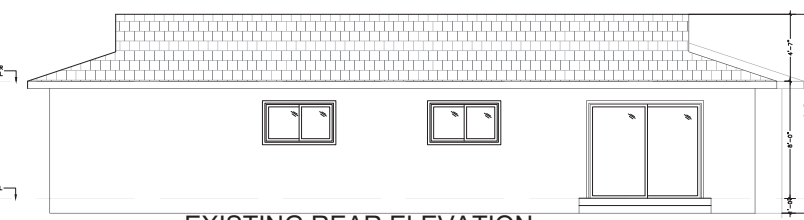
**PROPOSED FRONT ELEVATION**  
SCALE = 1/4"=1'



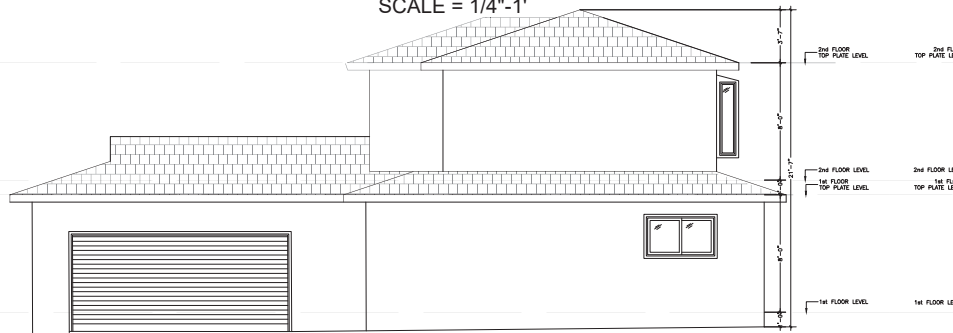
**PROPOSED LEFT SIDE ELEVATION**  
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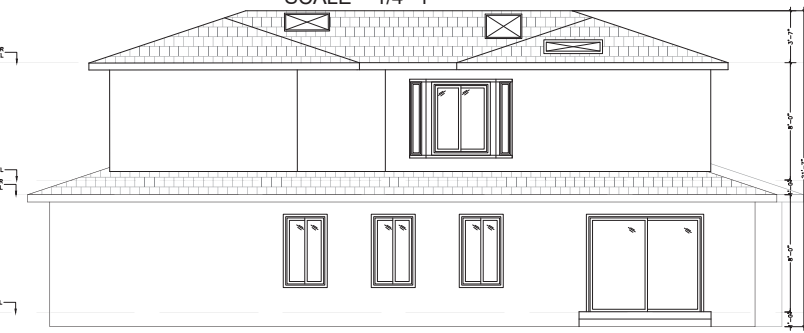
**EXISTING RIGHT SIDE ELEVATION**  
SCALE = 1/4"=1'



**EXISTING REAR ELEVATION**  
SCALE = 1/4"=1'



**PROPOSED RIGHT SIDE ELEVATION**  
SCALE = 1/4"=1'



**PROPOSED REAR ELEVATION**  
SCALE = 1/4"=1'

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A5