

SPECIAL INSPECTION

SPECIAL INSPECTION REQUIRED FOR RETRO EPOXY HOLD-DOWNS, DONE BY ARCHITECT AND / OR E.O.R.

CITY NOTES

A. APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITH 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE, PER CRC R100.12.

B. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDON FOR A PERIOD OF 180 DAYS, A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO 6 MONTHS, WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF 1 YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE, PER CRC R100.12.

C. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITIONS OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND 2019 CALIFORNIA ENERGY CODE.



SHEET LEGEND

A0.00 SITE/ROOF PLAN, DEMOLITION PLAN, GENERAL NOTES, PROJECT DATA, A1.00 1ST FLOOR CONSTRUCTION PLAN, KEY NOTES, A1.01 2ND FLOOR CONSTRUCTION PLAN, KEY NOTES, A2.00 EXT. ELEVATIONS, KEY NOTES.

DRAWINGS PREPARED BY:
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STORMWATER DRAINAGE PLAN

EROSION CONTROL (KEEPING THE DIRT IN PLACE) MINIMIZING THE IMPACT OF CONSTRUCTION

1. MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES AND SOIL.
2. PHASE CONSTRUCTION ACTIVITY.
3. CONTROL STORMWATER FLOWING ONTO AND THROUGH THE PROJECT.
4. STABILIZE SOILS & VEGETATION.

SEDIMENT CONTROLS (THE 2ND LINE OF DEFENSE)

5. PROTECT STORM DRAIN INLETS.
6. ESTABLISH PERIMETER CONTROLS.
7. RETAIN SEDIMENT ON-SITE AND CONTROL DRAINAGE PRACTICES.
8. ESTABLISH STABILIZED CONSTRUCTION EXITS.
9. INSPECT AND MAINTAIN CONTROLS.

Figure 13. Illustration of a storm drain inlet with rock-filled bags filtering stormwater.



CAL GREEN NOTES

A. Automatic irrigation systems controllers installed at the time of final inspection shall be weather-based (4.504.1).

B. Protect annular spaces around pipes, electric cables, conduits or other openings at exterior walls against the passage of rodents (4.504.3).

C. Cover duct openings and other related air distribution component openings during construction (4.504.3).

D. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits (4.504.2.1).

E. Paints, stains and other coatings shall be compliant with VOC limits (4.504.2.2).

F. Aerosol paints and coatings shall be compliant with product weighted MFR limits for RDC and other toxic compounds (4.504.2.3). Verification of compliance shall be provided.

G. A minimum of 50% of the non-hazardous construction and demolition waste generated at the site shall be diverted to an off-site recycle, diversion, or salvage facility (4.506).

H. Documentation will be provided, at the request of the Building Division, to verify compliance with VOC finish materials (4.504.2.4).

I. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards (4.504.5).

J. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program (702.1).

K. Check moisture content of building materials used in wall and floor framing before enclosure (4.505.3).

L. Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance.

GENERAL NOTES

A. THE WORK PROVIDED BY THE GENERAL CONTRACTOR SHALL CONSIST OF ALL LABOR, MATERIAL, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.

B. ALL CONSTRUCTION SHALL CONFORM TO THE APPROVED CALIFORNIA BUILDING CODE AND ANY OTHER LOCAL GOVERNING CODES AND ORDINANCES.

C. THE PLANS INDICATE THE GENERAL EXTENT OF CONSTRUCTION NECESSARY FOR THE WORK, BUT NOT INTENDED TO BE ALL INCLUSIVE. ALL WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS SHALL BE INCLUDED, REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES. THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR CONFLICTS IN THESE CONSTRUCTION DOCUMENTS. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

D. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSION AND SITE CONDITIONS. EACH SUBCONTRACTOR SHALL INSPECT AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFERENCES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY SEEN BY INSPECTION.

E. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF ANY PORTION OF THE BUILDING AFFECTED BY THE WORK.

F. PROTECT ALL FINISHES WHERE THEY CONTACT THE WORK OF OTHER TRADES AND WHEN WEATHER IS ANTICIPATED.

G. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT DIRT OR DEBRIS FROM AFFECTING FINISHED AREAS IN OR OUTSIDE THE JOB.

PLUMBING NOTE

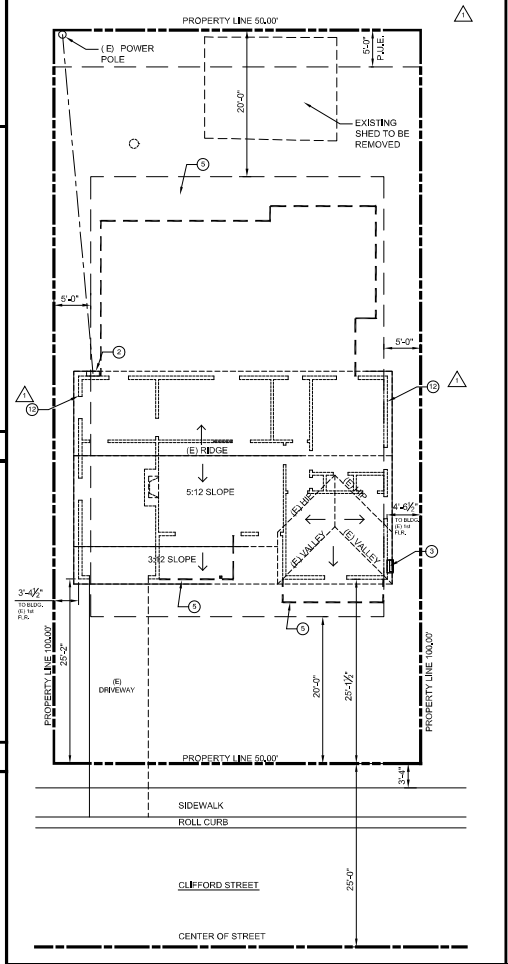
PER CALIFORNIA CIVIL CODE ARTICLE 11014 AND CALGREEN SECTION 901.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.5 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.5 GPM FOR KITCHEN FAUCETS).

SCOPE OF WORK:

1,757 SQUARE FOOT FIRST FLOOR AND SECOND FLOOR ADDITION TO AN EXISTING 1,065 SQUARE FOOT, TWO BEDROOM AND ONE BATHROOM ONE-STORY SINGLE FAMILY HOUSE WITH A 196 SQUARE FOOT ONE CAR GARAGE, RESULTING IN A 2,652 SQUARE FOOT, FIVE BEDROOM AND THREE BATHROOM 2-STORY SINGLE FAMILY HOUSE WITH AN ATTACHED TWO CAR GARAGE.

KEY NOTES

1. REFER TO SADDLE ROOF NOTES THIS SHEET.
2. (E) ELECTRIC METER TO BE REMOVED.
3. EXISTING GAS METER AND SERVICE.
4. HATCHED AREA INDICATES (E) ROOF STRUCTURE.
5. HEAVY DASHED LINE INDICATES ADDITION AREA.
6. (N) ROOF & EAVE VENTS PER VENTILATION CALCULATIONS, DISTRIBUTE EQUALLY.
7. NO VENTS ALONG SIDE YARD SETBACK AREA.
8. CONTRACTOR TO ENSURE THAT NO EAVE PROJECTIONS ARE WITHIN 9'-0" OF THE SIDE PROPERTY LINE.
9. (N) CLASS 5 MIN. COMPOSITION ROOF.
10. ROOF WATER LEADERS LEAD TO DOWNSPOUTS THAT ARE ORIENTED TO SPLASH-BLOCKS (OR OTHER IMPERVIOUS SURFACE) THAT DEFLECT THE WATER AWAY FROM THE BUILDING, SLOPE 2% AWAY FROM FOUNDATION AREA.
11. (N) ELECTRIC OVERHEAD AND METER TO BE ADDED TO THE NEW ADDITION STRUCTURE.
12. AS LONG AS THE EXISTING SIDE WALLS WITHIN BOTH 5'-0" OT SIDE YARD SETBACKS ARE NOT REMOVED AT ANY TIME DURING CONSTRUCTION THEN THEY MAY REMAIN IN THEIR CURRENT NON-COMPLYING LOCATIONS.



EXISTING SITE/ROOF PLAN SCALE: 1/8" = 1'-0"

PROJECT DATA

Project Address: 1863 CLIFFORD ST., SANTA CLARA, CA 95050

Governing Jurisdiction: SANTA CLARA BUILDING AND PLANNING DEPTS.

APN: 266-014025

Zone: R1-6L

Lot Size: 5,000 SF

Construction Type: VB

Occupancy: R34J

Fire Sprinklers: NO

Required Setbacks:

Front	20'-0"
Rear	20'-0"
Side	5'-0"

Height Limit: 25'

Lot Coverage Allowable: NOT TO EXCEED 40%

Existing 1st Floor Area:	867 SF
Existing Porch Area:	100 SF
Existing Garage Area:	198 SF
Total Existing Area:	1,165 SF

Total (E) Area: 1,165 SF

Proposed 1st Flr. Addition Area: 835 SF

Total Coverage Area: 2,000 SF

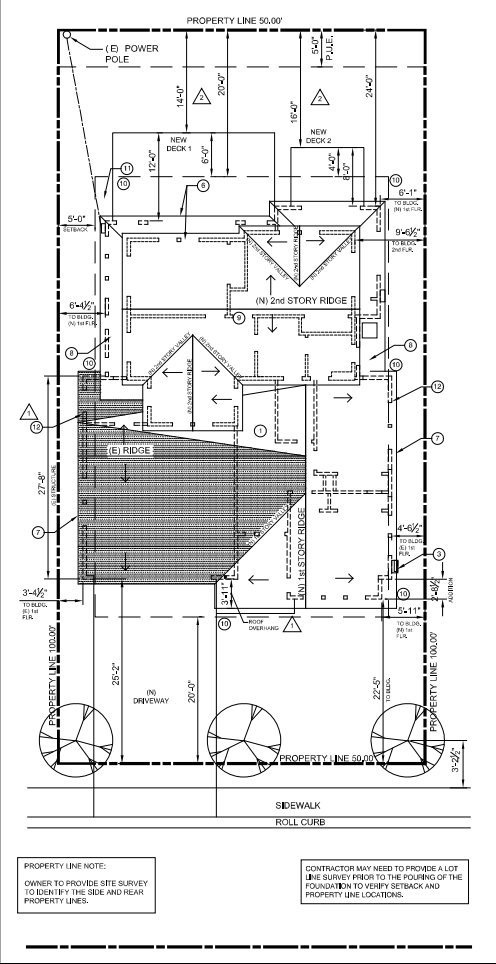
Proposed Coverage: 40 %

2nd Floor to 1st Floor %: 35 %

Floor Area:

Existing 1st Floor Area:	690 SF
Existing Garage Area:	198 SF
Proposed 1st Flr. Addition Area:	835 SF
Proposed Garage Area:	60 SF
Proposed 2nd Flr. Area:	892 SF
Total Combined Floor Area:	2,652 SF

ALL WORK SHALL BE IN ACCORDANCE WITH TITLE 2019 CBC, CBC, CMC, CPC, AND CEC



PROPOSED SITE / ROOF PLAN SCALE: 1/8" = 1'-0"

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MODIFICATIONS TO THE HOME OF:

SEAMUS NOLAN

1863 CLIFFORD ST., SANTA CLARA, CA 95050

EXISTING SITE/ROOF PLAN

PROPOSED SITE/ROOF PLAN

PROJECT DATA

KEY NOTES, CAL GREEN & GEN. NTS.

VENTILATION CALCULATIONS

SHEET LEGEND

VICINITY MAP

JOB NO.: 1863_20

DRAWN BY: LV

DATE: SEPT. 1, 2020

REVISIONS

1	PLANNING COMMENTS	OCT. 5, 2020
2	PLANNING COMMENTS	OCT. 21, 2020
3	PLANNING COMMENTS	NOV. 2, 2020
4	PLANNING COMMENTS	NOV. 2, 2020

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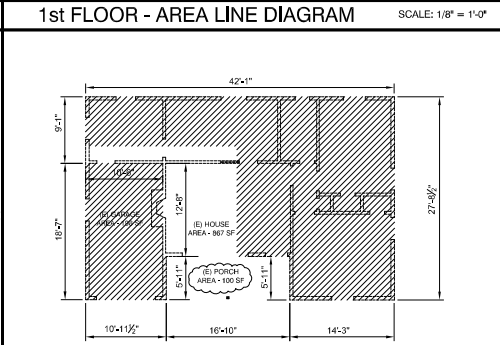
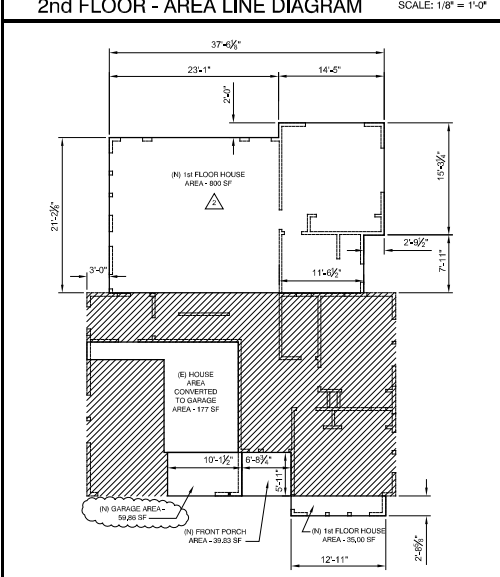
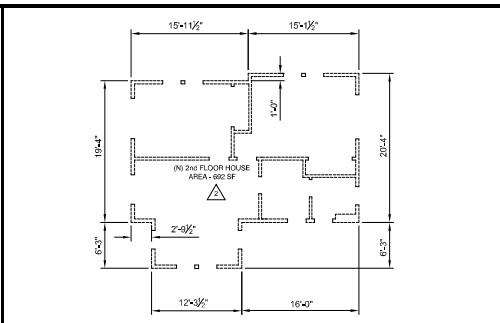
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EXTERIOR TRIM / SIDING IMAGES

	EXISTING	ADDITION	CONVERTED AREA	PROPOSED
LOT SIZE	5,000			NO CHANGE
FIRST FLOOR	867	835	(177)	1,525
SECOND FLOOR	693			693
GARAGE	198	60	177	435
GROSS FLOOR AREA	1,065	1,587		2,652 (1,525+692+435)
COVERED PORCH	100		(60)	40
TOTAL COVERED AREA	1,165			2,000 (1,525+435+40)
LOT COVERAGE %	23%			40%
BEDROOMS / BATHROOMS	2 BED - 1 BATH			5 BED - 1 BATH

AREA CALCULATIONS



SYMBOL LEGEND	
	WARM AIR REGISTER - WALL
	WARM AIR REGISTER - CEILING
	DUPLEX RECEPTACLE
	WATER PROTECTED WITH GROUND FAULT INTERRUPTER
	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER
	DUPLEX RECEPTACLE WITH ARC FAULT INTERRUPTER
	TV CONNECTION
	DUPLEX RECEPTACLE WITH ONE PLUG SWITCHED
	SINGLE POLE SWITCH 48\"/>
	TWO WAY, THREE WAY SWITCH
	SWITCH W/ DIMMER, 3 WAY W/ DIMMER
	FAN-LIGHT, SWITCH LIGHT & FAN
	THERMOSTAT
	HOSE BIBB
	GAS CONNECTION
	LED STRIP FXT, UNDER CTR.
	CEILING LIGHT FIXTURE - RECESSED
	CEILING LIGHT FIXTURE - RECESSED, DIRECTIONAL
	CEILING LIGHT FIXTURE - RECESSED, FLOOR, VAPOR
	WALL MOUNTED FIXTURE
	HIGH EFFICACY RECESSED CLG. FXT. (FLOOR, OR LED)
	PENDANT LIGHTING (FLOOR, OR LED)
	MOTION SENSOR WALL MOUNTED LIGHT FXT. (FLOOR, OR LED)
	HIGH EFFICACY WALL MOUNTED LIGHT FXT. (FLOOR, OR LED)
	TRACK LIGHTING UNDER CABINET
	FAN, MIN. 50 CFM, WITH HUMIDISTAT CONTROLLER
	CLG. MOUNT LIGHT FXT. (FLOOR,)
	CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, BE EQUIPPED WITH BATTERY BACKUP AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS
	PHOTOELECTRIC SMOKE ALARM - SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING, EQUIPPED WITH BATTERY BACKUP AND INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. DUAL SENSOR PHOTOELECTRIC ALARMS SHALL BE USED IF LOCATED NOT LESS THAN 20' FROM KITCHEN, FIREPLACE, OR WOOD BURNING STOVE AND AT THE TOP & BOT. OF THE INTERIOR STAIRCASE.

WALL LEGEND	
	NEW WALL
	EXISTING WALL
	REMOVE EXISTING WALL
	DIMENSION POINT TO CENTER OF FRAMING OPENING
	DIMENSION POINT TO FACE OF FRAMING
	DIMENSION POINT TO FACE OF MATERIAL OR FINISH

ELECT. / MECH. CODE NOTES

- * EVERY CNTRL. SPACE 12\"/>
- * ALL NEW RECEPTACLES TO BE TAMPER RESISTANT AND COUNTER RECEPTACLES MUST BE GFCI PROTECTED.
- * (2) 20amp DEDICATED CIRCUITS FOR COUNTER RECEPTACLES.
- * ALL COUNTER RECEPTACLES MUST BE GFCI PROTECTED.
- * ALL NEW HARDWIRED LIGHTING MUST BE HIGH EFFICACY.
- * ALL RECESSED LIGHT FIXTURES MUST BE INSTALLED IN INSULATING CEILINGS APPROVED FOR ZERO-CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIR TIGHT.
- * ARC FAULT CIRCUIT INTERRUPTER RECEPTACLES: ALL 120-VOLTS, SINGLE PHASE, 15-AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORE, KITCHENS, DEN, BEDROOMS, BATHROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROVIDED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- * ALL NEW SMOKE ALARMS ARE 110V WITH BATTERY BACKUP, AND ARE AUDIBLE IN ALL SLEEPING AREAS. CRC R314.4 CONTRACTOR MUST VERIFY THAT THE SMOKE ALARMS ARE VERIFIED OPERATIONAL AND WILL BE REPAIRED OR REPLACED AS NECESSARY.
- * CONTRACTOR TO VERIFY EXISTING PHOTOELECTRIC SMOKE ALARMS INSTALLED AT THE FOLLOWING LOCATIONS: (1) ALL BEDROOMS; (2) HALLWAYS LEADING TO BEDROOMS; (3) ABOVE TOPS OF STAIRS; AND (4) AT LEAST ONE AT EVERY LEVEL. DUAL SENSOR (PHOTOELECTRIC) ALARMS SHALL BE USED IF LOCATED NOT LESS THAN 20 FT FROM A KITCHEN, FIREPLACE OR WOOD-BURNING STOVE. CRC R314.3
- * CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. CRC R315.2. CONTRACTOR MUST VERIFY THAT THE ALARMS ARE VERIFIED OPERATIONAL AND WILL BE REPAIRED OR REPLACED AS NECESSARY.
- * FIREBLOCKING NOTE:
FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS ON STAGGERED STUDS, AS FOLLOWS:
1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRING CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO REBUILT THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION, ALL FIRESTOP MATERIALS SHALL COMPLY WITH R302.1.1 OF THE CRC.

EXISTING/DEMO FLOOR PLAN

SCALE: 1/8\"/>

KEY NOTES	
<p>(1) ALL (N) WINDOWS TO BE WHITE VINYL DUAL GLAZED, LOW-E WINDOWS.</p> <p>(2) (N) VANITY, FAUCET, CABINET, MIRROR, AND LIGHTS, (TO BE SELECTED BY OWNER.)</p> <p>(3) WATER CLOSET(S) TO HAVE A MIN. 22\"/></p> <p>(4) CONTRACTOR TO COORDINATE ALL SWITCHES, OUTLETS, AND FIXTURES WITH APPLIANCES AND OWNER.</p> <p>(5) SHOWER & TUB NOTES:</p> <p>A. TEMP. GL. AT SHOWER ENCLOSURE, DOOR, AND ADJACENT WINDOWS, SHWR. DOOR SHALL NOT OPEN INTO THE SHOWER AND BE A MIN. 22\"/></p> <p>B. SHOWER SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, PER CPC SEC. 403.3</p> <p>C. SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1024 SQUARE INCHES AND BE ABLE TO ENCOMPASS A 30\"/></p> <p>D. LIGHTS OVER TUB AND SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION.</p> <p>E. PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 12\"/></p> <p>(7) IN BATHROOMS ALL RECEPTACLES SHALL HAVE GFCI PROTECTION WITH AT LEAST ONE RECEPTACLE WITHIN 30\"/></p> <p>(8) PROVIDE EXHAUST FANS IN ALL BATHROOMS CONTAINING BATHTUBS & SHOWERS.</p> <p>(9) 24\"/></p> <p>(10) ELECTRICAL OUTLETS FOR TV, CABLE & INTERNET TO BE COORDINATED W/ OWNER</p>	
<p>CONSTRUCTION FLOOR PLAN</p> <p>SCALE: 1/4\"/></p>	

<p>EXISTING/DEMO FLOOR PLAN</p> <p>SCALE: 1/8\"/></p>	
<p>CONSTRUCTION FLOOR PLAN</p> <p>SCALE: 1/4\"/></p>	

MODIFICATIONS TO THE HOME OF:

SEAMUS NOLAN

1863 CLIFFORD ST., SANTA CLARA, CA 95050

EXISTING/DEMO FLOOR PLAN
(N) FLOOR & ELECTRICAL PLAN
SYMBOL LEGEND
ELECT./MECH. & CODE NOTES
KEY NOTES
WALL LEGEND

JOB NO. 1863_20
DATE: SEPT. 1, 2020

REVISIONS

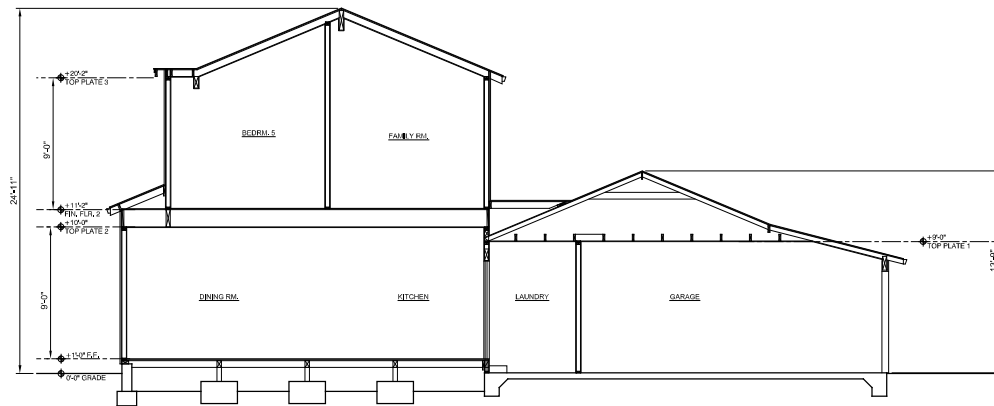
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	PLANNING COMMENTS NOV. 2, 2020
	PLANNING COMMENTS DEC. 11, 2020

SHEET NO. **A1.00**

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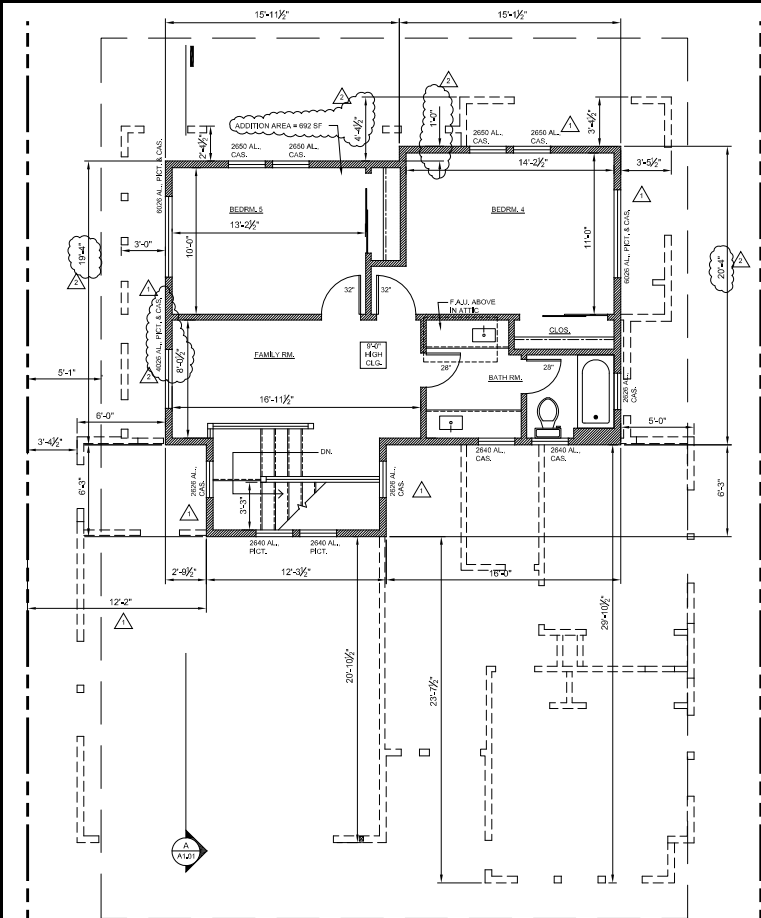


3d FRONT ELEVATION



SECTION - A

SCALE: 1/4" = 1'-0"



2ND FLOOR CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

	NEW WALL		DIMENSION POINT TO CENTER OF FRAMING OPENING
	EXISTING WALL		DIMENSION POINT TO FACE OF FRAMING
	REMOVE EXISTING WALL		DIMENSION POINT TO FACE OF MATERIAL OR FINISH

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MODIFICATIONS TO THE HOME OF:

SEAMUS NOLAN

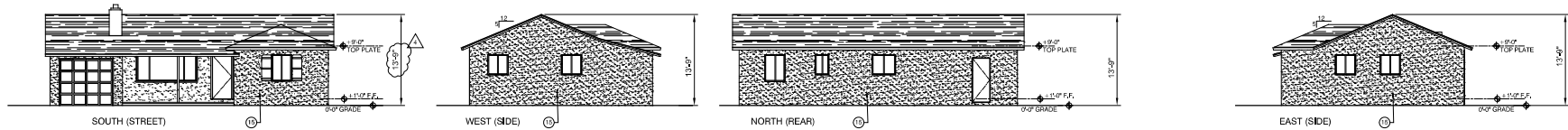
1863 CLIFFORD ST., SANTA CLARA, CA 95050

NEW 2ND FLOOR PLAN
KEYNOTES
3d IMAGE

JOB NO. 1863_20
DATE: SEPT. 1, 2020

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PLANNING COMMENTS OCT. 21, 2020

SHEET NO. A1.01



(E) EXTERIOR ELEVATIONS

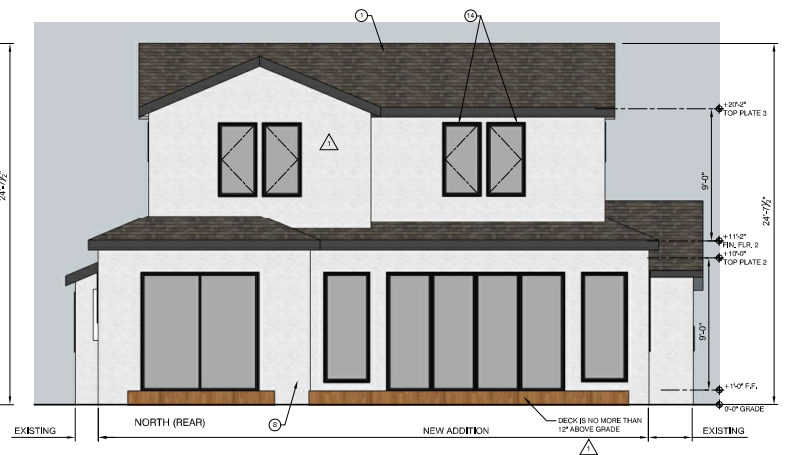
SCALE: 1/8" = 1'-0"

KEY NOTES

- ① (N) 30 YEAR, CLASS 1 MIN., COMPOSITION ROOF
- ② (N) WINDOWS TO BE AL DUAL GLAZED, LOW-E WINDOWS.
- ③ (N) MTL. PAINTED GUTTERS AND DOWNSPOUTS
- ④ ROOF WATER LEADERS LEAD TO DOWNSPOUTS THAT ARE DIRECTED TO SPLASHBLOCKS (OR OTHER IMPERVIOUS SURFACE) THAT DEFLECT THE WATER AWAY FROM THE BUILDING. SLOPE 2% AWAY FROM FOUNDATION AREA.

- ⑤ EN LOT DRAINAGE AWAY FROM BUILDING FOR A MIN. OF 10'. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PREVENT 10' DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATE METHOD. SLOPES USED FOR THIS PURPOSE SHALL BE SLOPED A MIN. OF 5%.
- ⑥ PROMOTE (N) FOUNDATION VENTS.
- ⑦ (N) ROOF VENTS PER ROOF PLAN, SHEET A1
- ⑧ NEW 5 COAT, 7/8" THK. CEM. PLASTER SIDING OVER 2 LAYERS OF TYPE-X BLDG. FELT OVER 1/2" PLWID. SHTS. W/ 1/2" @ 16" O.C. B.A.N., 6" O.C. E.N., & 12" O.C. F.A.N. W/ 24 BLDG. AT PANEL EDGES AND CONTINUOUS VEEP SCREEN

- ⑨ PRIMARY GLASS, OBSCURE
- ⑩ VINYL SIDING @ EAVES, RAKE, & UNDERSIDE OF PORCH
- ⑪ NEW ROOF CHIMNEY REFER TO SADDLE ROOF NOTES SHEET A200
- ⑫ NEW BOARD-AND-BATT PAINTED WOOD SIDING AT FRONT ELEVATION ONLY
- ⑬ NEW 2" PAINTED WOOD TRIM AROUND ALUMINUM WINDOWS THAT ARE ON BOARD-AND-BATT PAINTED SIDING. REFER TO IMAGES ON SHEET A200.
- ⑭ TRIMLESS ALUMINUM WINDOWS THAT ARE ON CEM. PLASTER SIDING
- ⑮ EXISTING STUCCO SIDING TO BE REMOVED AND TO BE REPLACED WITH NEW CEM. PLASTER SIDING PER KEY NOTE #4 AT NEW ELEVATIONS



(N) EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

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MODIFICATIONS TO THE HOME OF:

SEAMUS NOLAN

1863 CLIFFORD ST., SANTA CLARA, CA 95050

(E) & (N) EXTERIOR ELEVATIONS
KEYNOTES

JOB NO.
1863-20

DRAWN BY
LV

DATE:
SEPT. 1, 2020

REVISIONS

PLANNING COMMENTS
OCT. 5, 2020

PLANNING COMMENTS
OCT. 21, 2020

PLANNING COMMENTS
NOV. 2, 2020

PLANNING COMMENTS
DEC. 10, 2020

SHEET NO.

A2.00