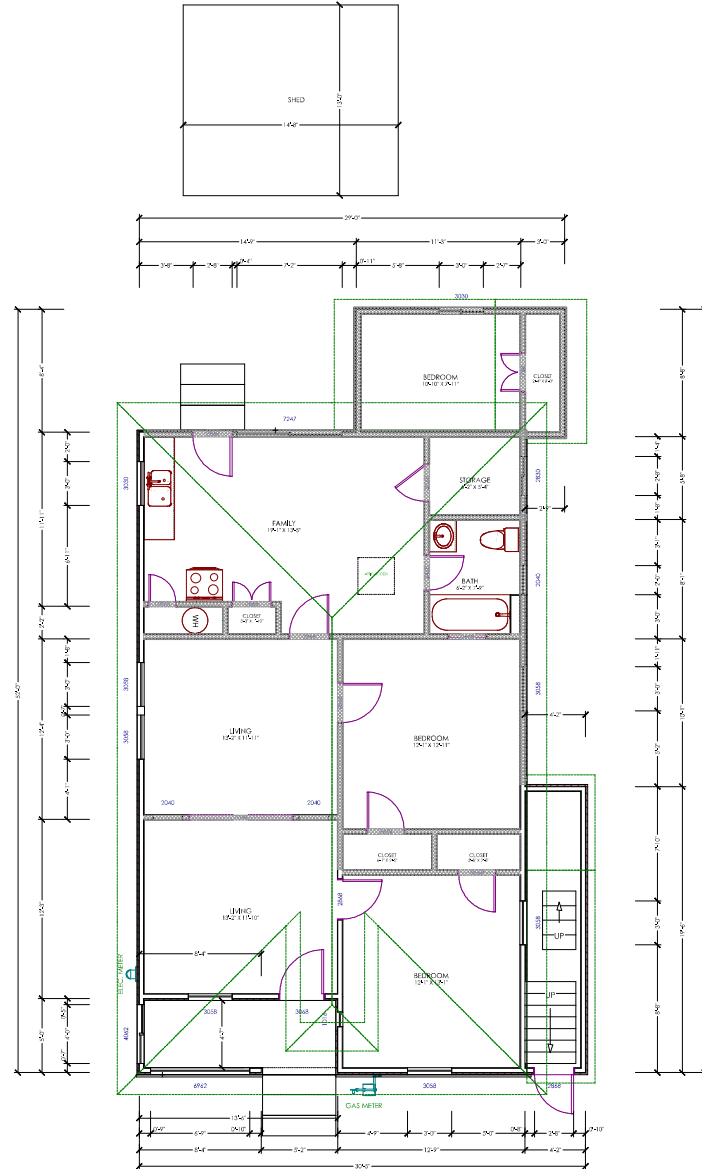
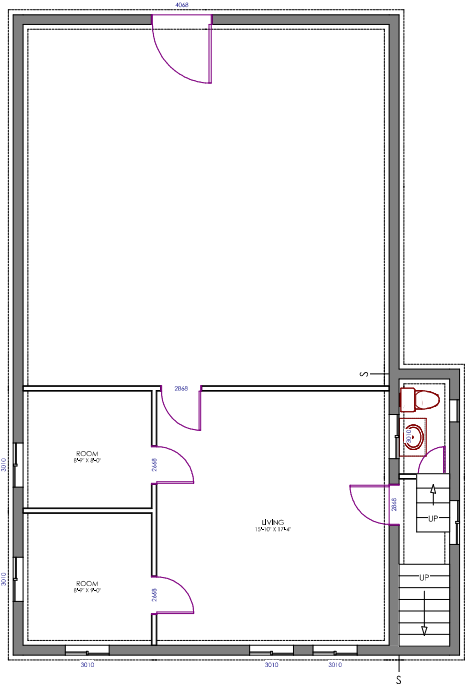


$$SC : 1/8" = 1'-0"$$



# LEGEND:

- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED

GRAPHIC SCALE: 1/4" = 1'-0"



**AMSDESIGN**  
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*Aradeh Masour*

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PROJECT NAME:  
**MAIN ST. RESIDENCE**  
1772 MAIN ST.  
SANTA CLARA, CA 95050

REVISION TABLE:

| REVISION | DATE | BY | DEP |
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ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR CONFORMANCE WITH THE SPECIFICATIONS OF THE MATERIALS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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SHEET TITLE:

**EXISTING PLANS**

PROJECT ID: 2009-01

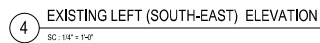
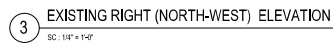
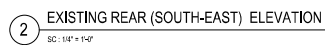
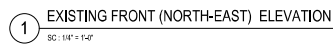
DATE: OCT, 2020

SCALE: 1/4" = 1'-0"

DRAWN BY: S.A.

SHEET NUMBER:

**RA-01.01**

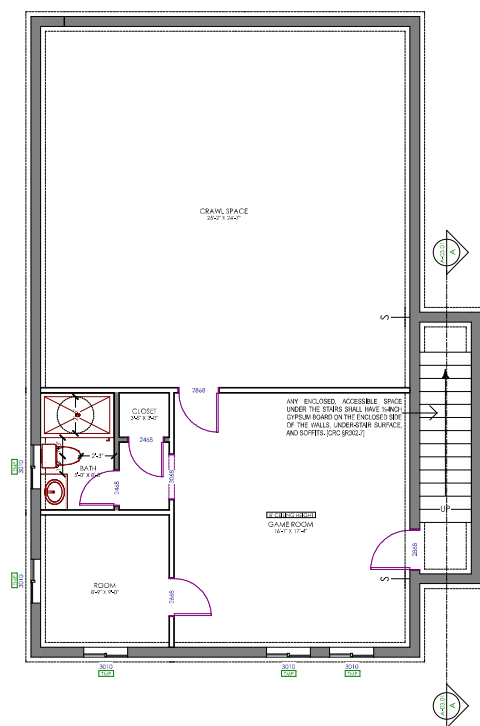


NORTH

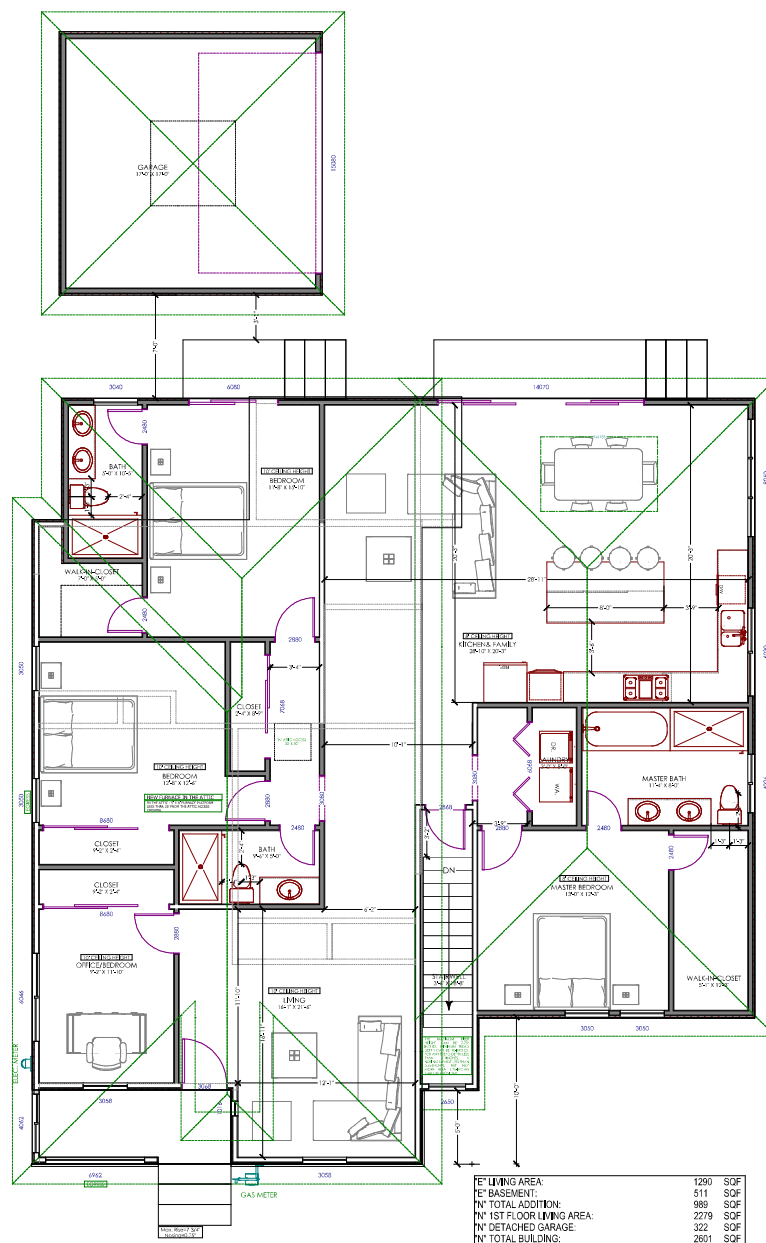
A circular compass rose with four diagonal lines representing the cardinal directions. The top line is labeled 'NORTH', the bottom line is labeled 'SOUTH', the left line is labeled 'WEST', and the right line is labeled 'EAST'. The lines are black and the background is white.

 NEW CONSTRUCTION WALL  
 EXISTING WALL TO STAY  
 EXISTING WALL TO BE REMOVED

GRAPHIC SCALE: 1" = 100' = 1 FEET



1 PROPOSED BASEMENT PLAN  
SC : 14" = 1'-0"



2 PROPOSED 1ST FLOOR PLAN  
SC: 1/4" = 1'-0"

|                            |      |     |
|----------------------------|------|-----|
| "E" LIVING AREA:           | 1290 | SQF |
| "E" BASEMENT:              | 511  | SQF |
| "N" TOTAL ADDITION:        | 989  | SQF |
| "N" 1ST FLOOR LIVING AREA: | 2279 | SQF |
| "N" DETACHED GARAGE:       | 322  | SQF |
| "N" TOTAL BUILDING:        | 2601 | SQF |

AMS  
DESIGNAMS<sub>DESIGN</sub>

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Azadeh Masrour

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PROJECT NAME:

**MAIN ST.  
RESIDENCE**

1772 MAIN ST.,  
SANTA CLARA, CA, 95050

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|----------------|--|
| REVISION TABLE |  |
|----------------|--|

| REV | REVISION DATE | BY | DESC |
|-----|---------------|----|------|
| 1   |               |    |      |

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VIEWED FOR THEMSELVES, DRAWS, EXTENT AND COMPLETENESS TO THE EXISTING SITE AND ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT ARISE OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AAS DESIGN'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY INFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

THE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELIEVE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY DISCREPANCY OR DISAGREEMENT BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AND DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ARCHITECT PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

**PROPOSED 1ST FLOOR  
PLAN / PROPOSED  
BASEMENT PLAN**

PROJECT ID: 2009-0

DATE: OCT. 2021

SCALE:  $1/4" = 1'$

DRAWN BY: S.A.

SHEET NUMBER:

**A-01.01**



