

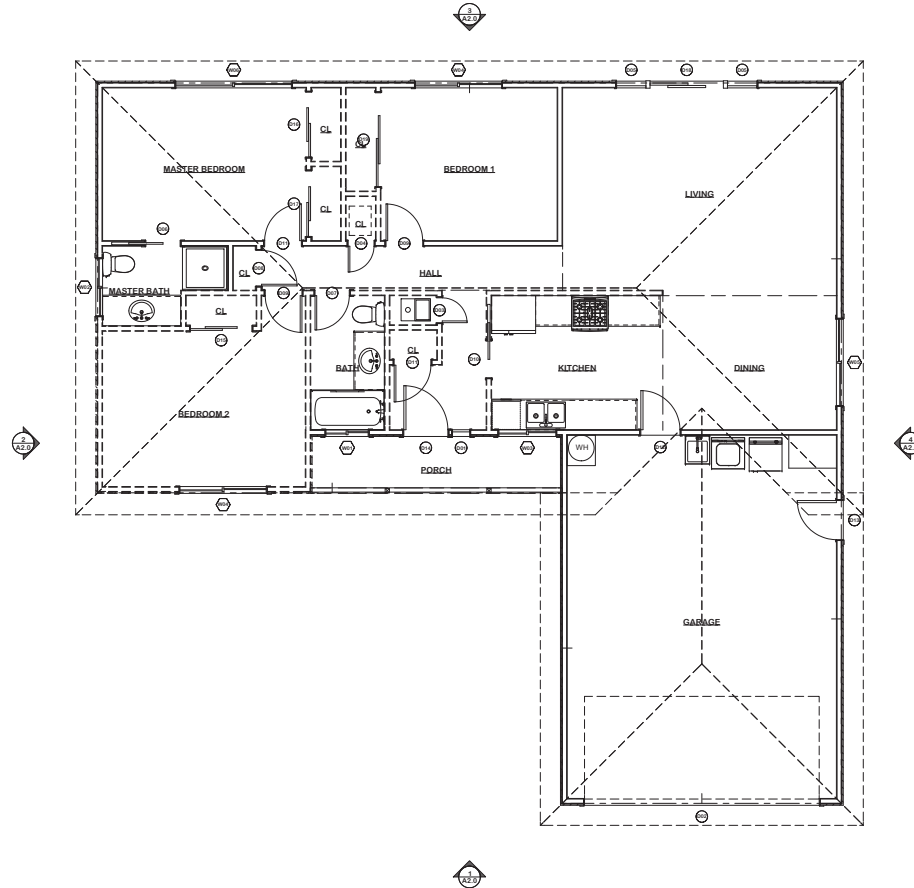


# GENERAL NOTES:

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, ARE ALL PART OF THE CONSTRUCTION DOCUMENTS, GENERAL CONTRACTOR AND ITS SUBCONTRACTORS ARE TO REVIEW AND FOLLOW CONDITIONS LISTED BELOW THAT ARE APPLICABLE TO THIS SPECIFIC PROJECT.
2. IN CASE OF ANY DISCREPANCIES CONSULT THE DESIGNER BEFORE PROCEEDING.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES AND REGULATIONS. O.C. SHALL BECOME FAMILIAR WITH ALL CITY OF SAN JOSE, CA, ASPECTS OF WORKING.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL FACES OF THIS WORK AND ALL TRADES INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, IF ANY WORK IS TO BE INSTALLED BY THE OWNER/CLIENT DIRECTLY, ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE, COORDINATE WITH DESIGNER/OWNER/G.C.
5. GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS FOR CONSTRUCTION WORKERS AND FOR THE OWNER.
6. GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN RE-ROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. GENERAL CONTRACTOR SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN-HOUSE AT ALL TIMES.
7. NO DIMENSIONS SHALL BE TAKEN BY SCALING FROM THE DRAWINGS, DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS OR FLOOR PLANS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE DESIGNER, REFER TO THE COVER SHEET FOR DIMENSIONING STANDARDS.
8. VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.
9. GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE FRAMING. COORDINATE RECESSED LIGHT FIXTURES LOCATION, SHAFTS AND HVAC DUCTWORK PRIOR TO FRAMING, IT IS IMPERATIVE THAT FRAMING MEMBER LOCATION DO NOT CONFLICT WITH THE LOCATIONS RECESSED LIGHT FIXTURES. IF CONFLICT EXISTS NOTIFY THE DESIGNER.
10. GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ALL GUARANTEES, INSTRUCTION BOOKLETS, AND INFORMATION REGARDING NEW EQUIPMENT SHALL BE HANDED DIRECTLY TO THE OWNER/CLIENT IN A MANILA ENVELOPE AT THE TIME OF SUBSTANTIAL COMPLETION.
11. THE INSTALLER OF EACH MAJOR UNIT OF WORK IS REQUIRED TO INSPECT THE SUBSTRATE AND CONDITIONS TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO THE GENERAL CONTRACTOR AND SHALL NOT PROCEED UNTIL SATISFACTORY CONDITIONS ARE ATTAINED.
12. FOR THE MOUNTING HEIGHTS NOT CLEARLY OUTLINED ON THE PLANS OR SCHEDULES, COORDINATE WITH THE DESIGNER.
13. PROVIDE SOLID BLOCKING AS NECESSARY FOR WALL MOUNTED SHELVES, FIXTURES, AND FITTINGS, EVEN WHEN WORK IS TO BE DONE BY OWNER DIRECTLY. REVIEW SCOPE OF WORK AND LOCATIONS FROM INTERIOR ELEVATIONS AND COORDINATE WITH OWNER/DESIGNER.
14. ALL FASTENING DEVICES TO BE CONCEALED UNLESS OTHERWISE SHOWN.
15. WEATHER-STRIP ALL EXTERIOR DOORS AND WINDOWS.
16. CAULK OR OTHERWISE SEAL AROUND OPENINGS TO LIMIT INFILTRATION, INCLUDED BUT NOT LIMITED TO: EXTERIOR JOINTS, AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES, AND EXTERIOR WALL PANELS.
17. GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATER-TIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER-TIGHTNESS PRIOR TO THE SUBSTANTIAL COMPLETION.
18. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY OF THESE PLANS AND SPECIFICATIONS.
19. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE OWNER/DESIGNER/ ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE REVIEWED SHOP DRAWINGS AND SAMPLES.
20. SHOULD A DISCREPANCY APPEAR IN SPECIFICATIONS OR DRAWINGS, OR IN WORK DONE BY OTHERS AFFECTING THIS WORK, NOTIFY THE DESIGNER/OWNER AT ONCE FOR INSTRUCTIONS AS TO PROCEDURE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE DESIGNER/OWNER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT.
21. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS OR WHERE REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONTRACTOR INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED WRITTEN DECISION FROM THE DESIGNER AS TO WHICH METHOD OR MATERIAL WILL BE REQUIRED.
22. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
23. THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF 'DCS' AND ASSOCIATES/ DESIGNERS AND SHALL NOT BE USED ON ANY WORK EXCEPT BY AGREEMENT OF THE DESIGNER.
24. CONSTRUCTION LIABILITY: CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM AND ALL LIABILITY, REAL OR NEGLIGENCE OF THE DESIGN PROFESSIONAL.
25. ALL VENTS THROUGH ROOF SHALL BE KEPT AT A MINIMUM HEIGHT CONSISTENT WITH APPLICABLE CODES.
26. ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED OR WEATHER STRIPPED TO LIMIT AIR LEAKAGE.
27. INTERIOR WALL AND CEILING FINISH SHALL CARRY A FLAME SPREAD RATING AS REQUIRED BY U.F.C. CHAPTER 8.
28. ALL DIMENSIONS SHOWN ON THESE PLANS ARE MEASURED FROM FINISH WALLS, FLOOR, CEILING AND/ OR CENTER LINES OF UTILITY ROUGH-INS UNLESS NOTED OTHERWISE. THE SUBCONTRACTOR SHALL MAKE NECESSARY ALLOWANCES FOR FINISHES DURING ROUGH-IN AS REQUIRED.
29. ITEMS NOTED "EXISTING, VENDOR, FUTURE, BY OTHER, AND NIC (NOT IN CONTRACT)" SHALL BE VERIFIED BY THE RESPECTIVE SUB-CONTRACTOR FOR SIZE AND REQUIREMENTS PRIOR TO ROUGH-IN AND FINAL CONNECTION. NOTIFY THE DESIGNER AND ITS CONSULTANTS IMMEDIATELY FOR ERRORS AND DISCREPANCIES.

| DOOR SCHEDULE |       |       |      |    |     |          |
|---------------|-------|-------|------|----|-----|----------|
| NUMBER        | LABEL | FLOOR | SIZE | EX | FIN | COMMENTS |
| D01           | 1506  | 1     | 1506 | EX |     |          |
| D02           | 1507  | 1     | 1507 | EX |     |          |
| D03           | 1508  | 1     | 1508 | IN |     |          |
| D04           | 1509  | 1     | 1509 | EX |     |          |
| D05           | 1510  | 1     | 1510 | IN |     |          |
| D06           | 1511  | 1     | 1511 | IN |     |          |
| D07           | 1512  | 1     | 1512 | IN |     |          |
| D08           | 1513  | 1     | 1513 | IN |     |          |
| D09           | 1514  | 1     | 1514 | IN |     |          |
| D10           | 1515  | 1     | 1515 | IN |     |          |
| D11           | 1516  | 1     | 1516 | IN |     |          |
| D12           | 1517  | 1     | 1517 | EX | YES |          |
| D13           | 1518  | 1     | 1518 | IN |     |          |
| D14           | 1519  | 1     | 1519 | IN |     |          |
| D15           | 1520  | 1     | 1520 | IN |     |          |
| D16           | 1521  | 1     | 1521 | IN |     |          |
| D17           | 1522  | 1     | 1522 | IN |     |          |
| D18           | 1523  | 1     | 1523 | IN |     |          |

| WINDOW SCHEDULE |       |       |    |     |                    |                    |
|-----------------|-------|-------|----|-----|--------------------|--------------------|
| NUMBER          | LABEL | FLOOR | EX | FIN | DESCRIPTION        | RECESS (EMERGENCY) |
| W01             | 4001S | 1     | 1  | 1   | 4001S LEFT SLIDING | YES                |
| W02             | 4002S | 1     | 1  | 1   | 4002S LEFT SLIDING |                    |
| W03             | 4003S | 1     | 1  | 1   | 4003S LEFT SLIDING |                    |
| W04             | 4004S | 1     | 1  | 1   | 4004S LEFT SLIDING |                    |
| W05             | 4005S | 1     | 1  | 1   | 4005S LEFT SLIDING |                    |
| W06             | 4006S | 1     | 1  | 1   | 4006S LEFT SLIDING |                    |



## EXISTING AND DEMOLITION FLOOR PLAN

1

1/4" = 1'-00"

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TWO STORY ADDITION AND REMODEL FOR:  
**THE SINGH RESIDENCE**  
3725 DANIEL WAY  
SANTA CLARA, CA 95051

J.C. Navarro / DESIGNER

DATE: 12/23/2020  
PROJECT No. 32-070920

EXISTING AND DEMOLITION  
FLOOR PLAN



**A1.0**

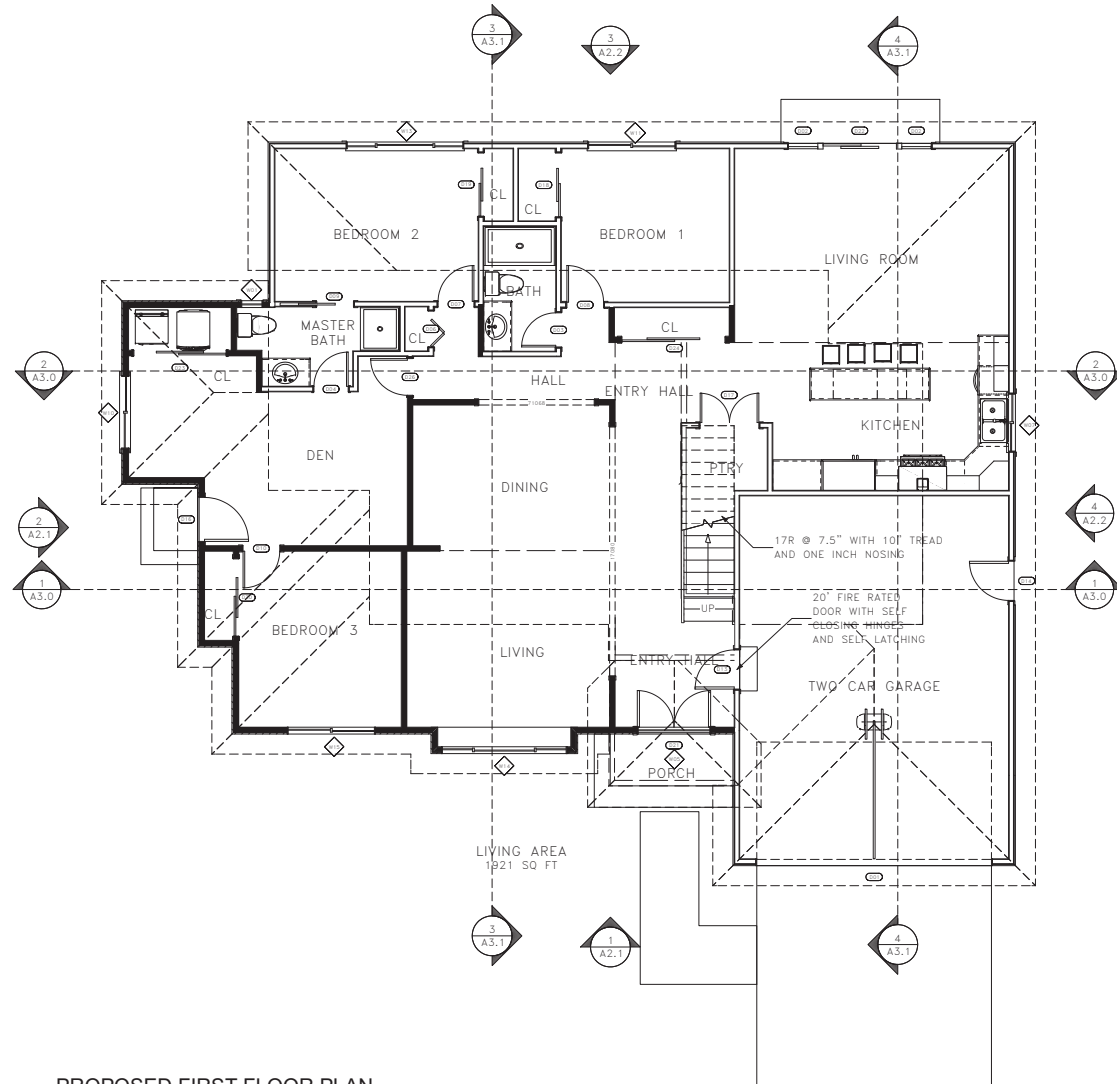
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1 PROPOSED FIRST FLOOR PLAN

1/4" = 1'-00"

TWO STORY ADDITION AND REMODEL FOR:  
**THE SINGH RESIDENCE**  
3725 DANIEL WAY  
SANTA CLARA, CA 95051



J.C. Navarro / DESIGNER

DATE: 2/4/2021

PROJECT No. 32-070920

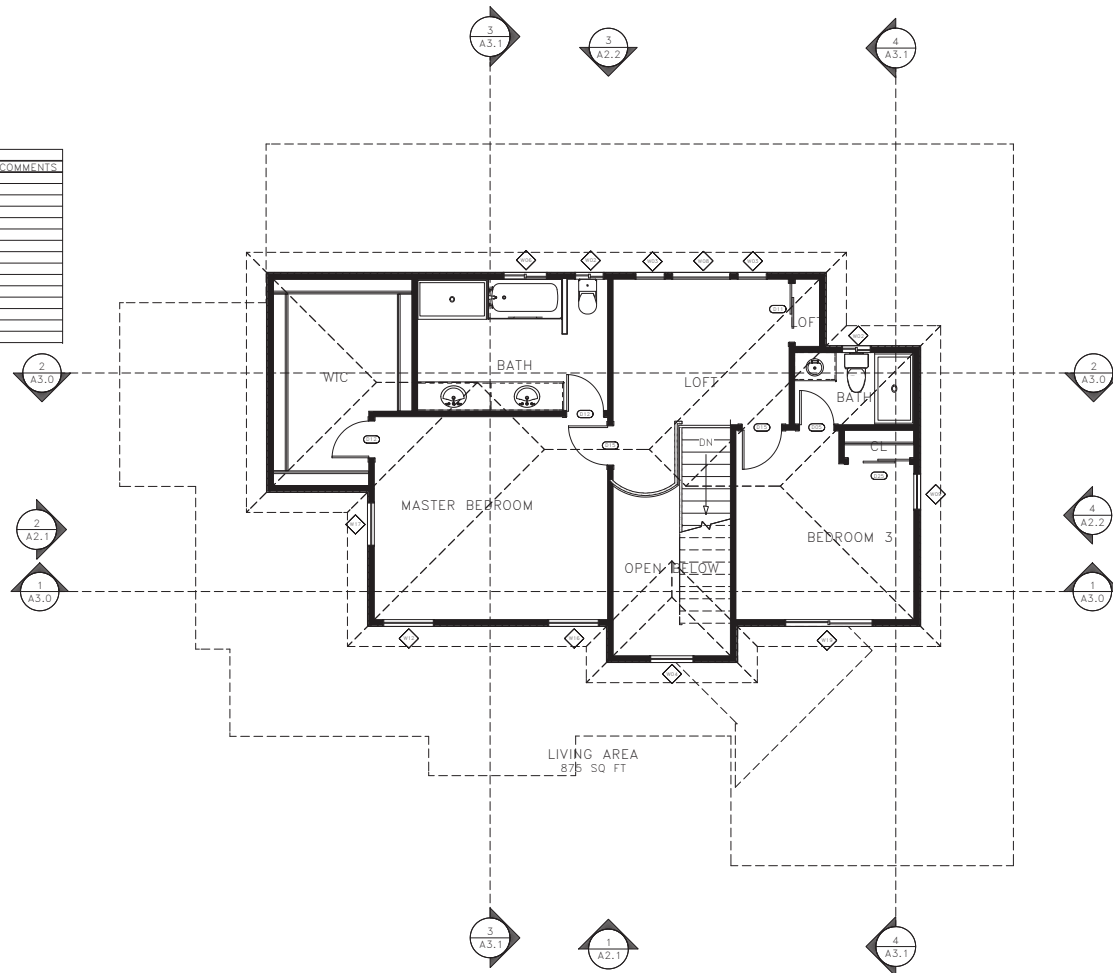
PROPOSED FIRST FLOOR  
PLAN



**A1.1**

| DOOR SCHEDULE |       |     |       |       |                        |
|---------------|-------|-----|-------|-------|------------------------|
| NUMBER        | LABEL | QTY | FLOOR | SIZE  | R/O                    |
| D01           | 16080 | 1   | 1     | 16080 | 194 X99                |
| D02           | 2068  | 2   | 1     | 2068  | EX 26 X83              |
| D03           | 2480  | 1   | 1     | 2480  | L IN 29 15/16 X98 1/2" |
| D04           | 2468  | 1   | 1     | 2468  | R IN 30 X82 1/2"       |
| D05           | 2468  | 1   | 2     | 2468  | L IN 30 X82 1/2"       |
| D06           | 2568  | 1   | 1     | 2568  | R 51 1/16 X82 1/2"     |
| D07           | 2568  | 1   | 1     | 2568  | R IN 51 1/4 X82 1/2"   |
| D08           | 2668  | 1   | 1     | 2668  | L IN 52 X82 1/2"       |
| D09           | 2668  | 1   | 1     | 2668  | R 62 X82 1/2"          |
| D10           | 2668  | 1   | 1     | 2668  | R IN 52 X82 1/2"       |
| D11           | 4068  | 1   | 2     | 4068  | L IN 49 15/16 X82 1/2" |
| D12           | 2668  | 2   | 2     | 2668  | L IN 52 X82 1/2"       |
| D13           | 2880  | 1   | 1     | 2880  | L EX 34 X99            |
| D14           | 2868  | 1   | 1     | 2868  | R EX 34 X83            |
| D15           | 2868  | 2   | 2     | 2868  | R IN 44 X82 1/2"       |
| D16           | 5068  | 1   | 1     | 5068  | R EX 58 X83            |
| D17           | 4080  | 1   | 1     | 4080  | L/R IN 50 X98 1/2"     |
| D18           | 4468  | 1   | 1     | 4468  | L IN 54 1/8 X82 1/2"   |
| D19           | 4468  | 1   | 1     | 4468  | R IN 53 9/16 X82 1/2"  |
| D20           | 5368  | 1   | 1     | 5368  | R IN 65 1/16 X82 1/2"  |
| D21           | 5068  | 1   | 1     | 5068  | L/R EX 62 X83          |
| D22           | 5068  | 1   | 1     | 5068  | R EX 62 X83            |
| D23           | 6368  | 1   | 1     | 6368  | R IN 77 3/8 X82 1/2"   |
| D24           | 7080  | 1   | 1     | 7080  | L IN 86 1/4 X98 1/2"   |
| D25           | 4268  | 1   | 2     | 4268  | L IN 51 7/8 X82 1/2"   |

| WINDOW SCHEDULE |        |     |       |        |             |
|-----------------|--------|-----|-------|--------|-------------|
| NUMBER          | LABEL  | QTY | FLOOR | SIZE   | R/O         |
| W01             | 1630DH | 1   | 1     | 1630DH | 19 X37      |
| W02             | 2026RS | 2   | 2     | 2026RS | 25 X31      |
| W03             | 2040DH | 2   | 2     | 2040DH | 25 7/16 X49 |
| W04             | 3046FX | 1   | 2     | 3046FX | 37 X55      |
| W05             | 5014FX | 1   | 1     | 5014FX | 61 X17      |
| W06             | 3026RS | 1   | 2     | 3026RS | 37 X31      |
| W07             | 4030RS | 1   | 1     | 4030RS | 49 X37      |
| W08             | 4040FX | 1   | 2     | 4040FX | 49 X49      |
| W09             | 2628FX | 1   | 2     | 2628FX | 31 X33      |
| W10             | 5040RS | 1   | 1     | 5040RS | 61 X49      |
| W11             | 6030RS | 1   | 1     | 6030RS | 73 X37      |
| W12             | 3646DH | 1   | 2     | 3646DH | 43 X55      |
| W13             | 8030TS | 1   | 1     | 8030TS | 97 X37      |
| W14             | 8750TS | 1   | 1     | 8750TS | 104 3/4 X61 |
| W15             | 6050RS | 1   | 1     | 6050RS | 73 X61      |



1 PROPOSED SECOND FLOOR

1/4" = 1'-00"



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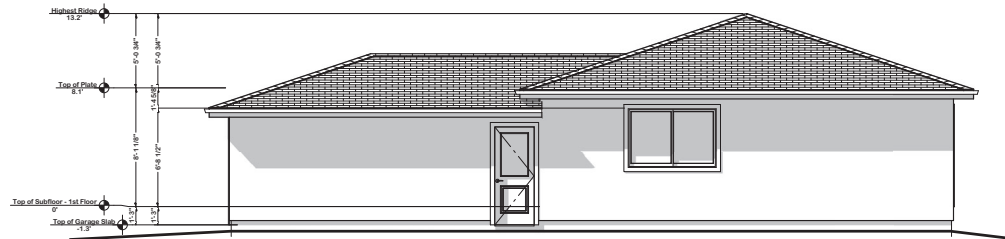
J.C. Navarro / DESIGNER

DATE: 2/4/2021  
 PROJECT No. 32-070920

PROPOSED SECOND FLOOR  
 PLAN

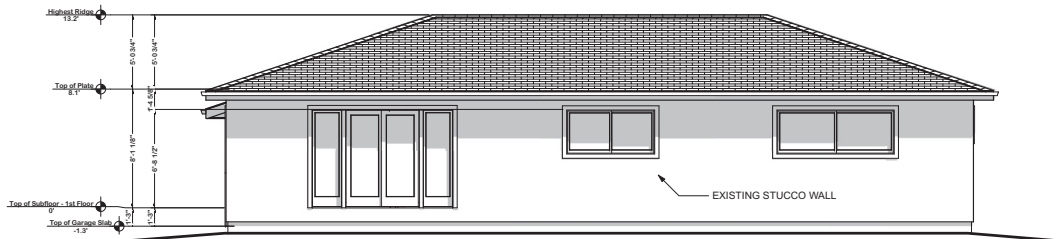


A1.2



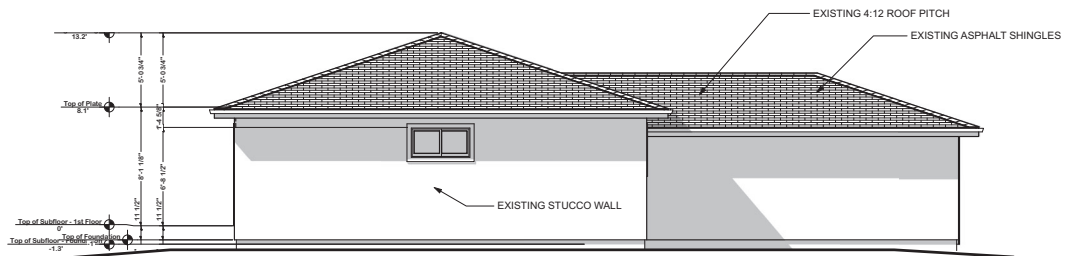
4 EXISTING RIGHT SIDE ELEVATION

1/4" = 1'-00"



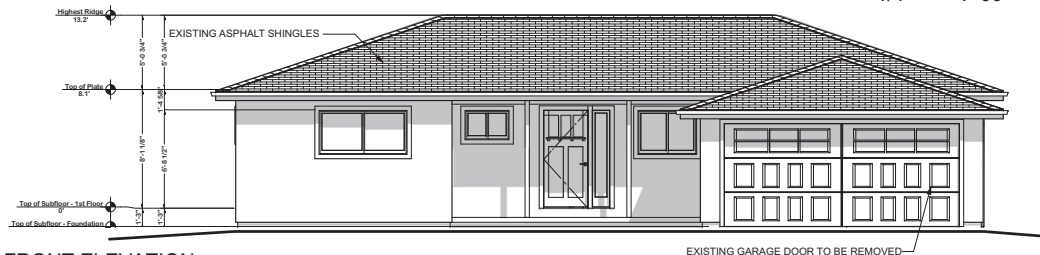
3 EXISTING BACK ELEVATION

1/4" = 1'-00"



2 EXISTING LEFT SIDE ELEVATION

1/4" = 1'-00"



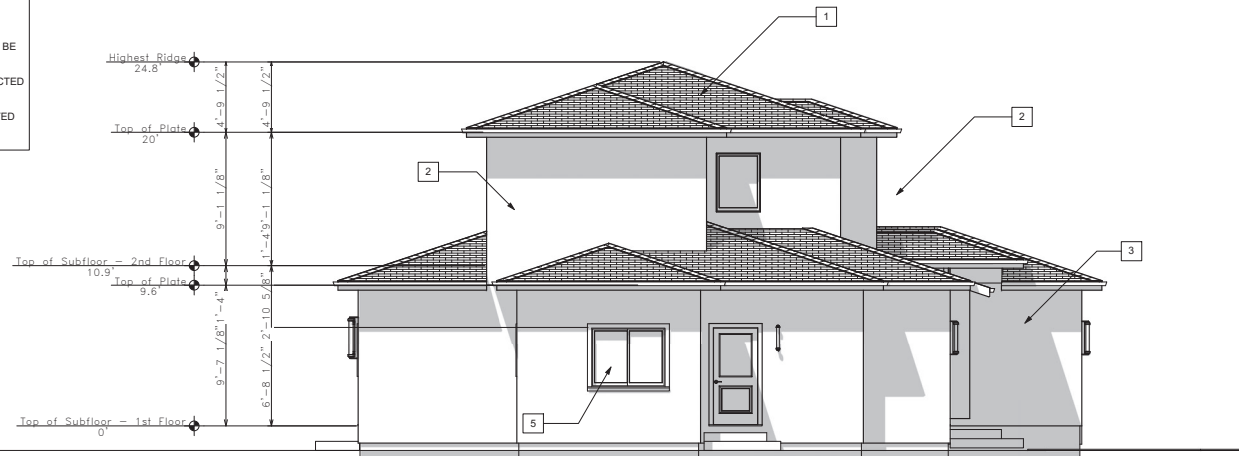
1 EXISTING FRONT ELEVATION

1/4" = 1'-00"

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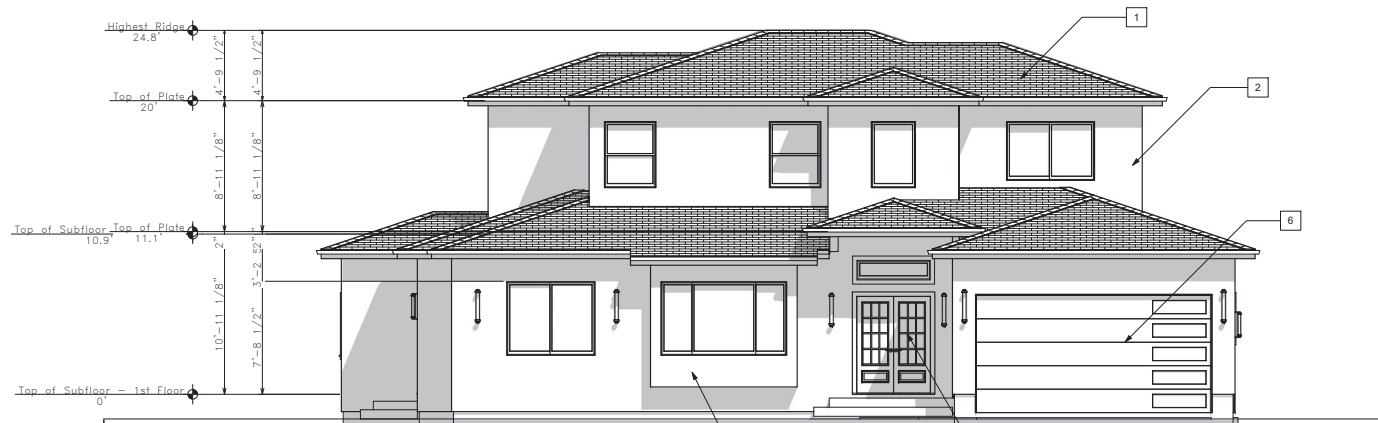


| EXTERIOR FINISHES |  |
|-------------------|--|
| 1-                | PROPOSED NEW CLASS 'C' MINIMUM ASPHALT COMPOSITION SHINGLES OVER TIGER COOL ROOF UNDERLAYMENT OR SIMILAR |
| 2-                | NEW 7/8" MIN. 3 COAT STUCCO OVER SELF FURRING WIRE MESH OVER TWO LAYERS OF GRADE 'D' BUILDING PAPER.     |
| 3-                | NEW VERTICAL EXTERIOR SCONCE LIGHT TO BE SELECTED BY OWNER   |
| 4-                | NEW BOXED WINDOW WITHOUT FOUNDATION  |
| 5-                | NEW DOUBLE PANE VINYL WINDOWS MFG. TO BE SELECTED BY OWNER   |
| 6-                | PROPOSED NEW GARAGE DOOR TO BE SELECTED BY OWNER   |
| 7-                | PROPOSED NEW ENTRY DOOR TO BE SELECTED BY OWNER  |



② PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-00"



① PROPOSED FRONT ELEVATION

1/4" = 1'-00"

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SANTA CLARA, CA 95051



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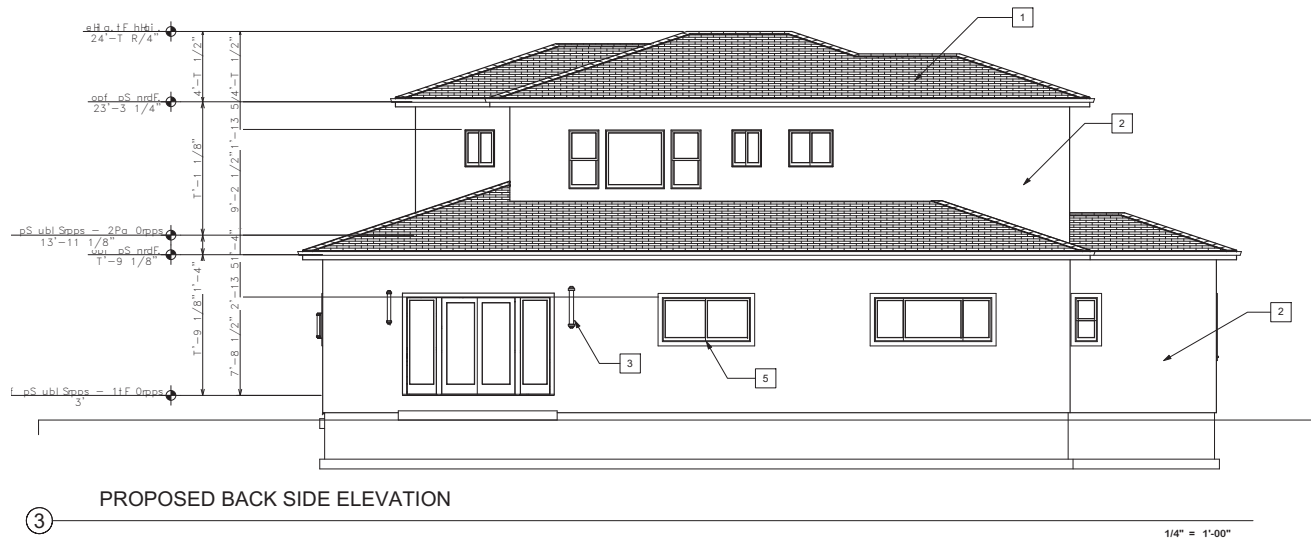
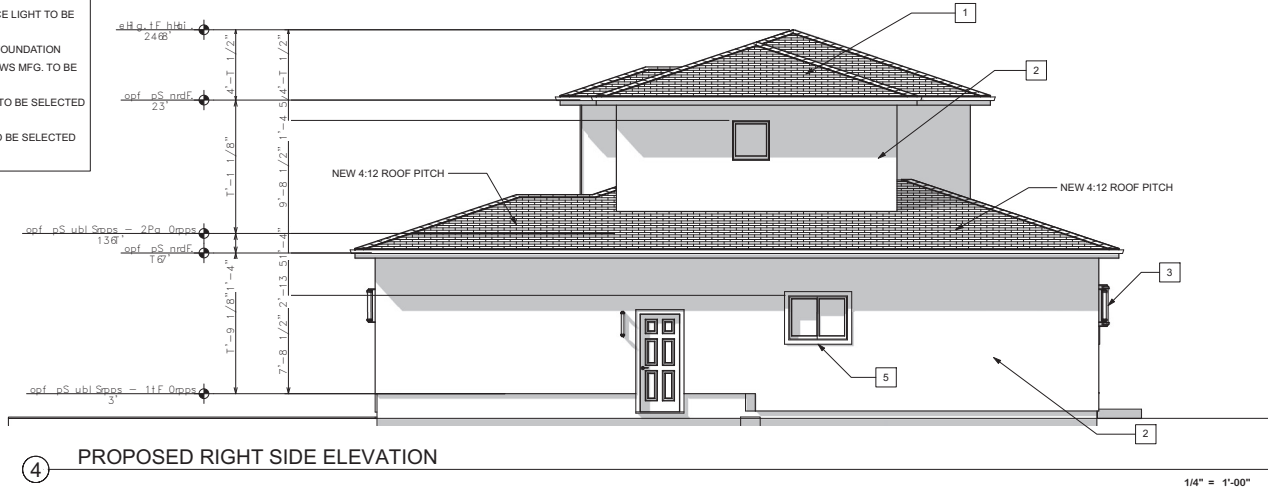
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PROPOSED ELEVATIONS



**A1.2**

- EXTERIOR FINISHES
- 1- PROPOSED NEW CLASS 'C' MINIMUM ASPHALT COMPOSITION SHINGLES OVER TIGER COOL ROOF UNDERLAYMENT OR SIMILAR
  - 2- NEW 7/8" MIN. 3 COAT STUCCO OVER SELF FURRING WIRE MESH OVER TWO LAYERS OF GRADE 'D' BUILDING PAPER.
  - 3- NEW VERTICAL EXTERIOR SCONCE LIGHT TO BE SELECTED BY OWNER
  - 4- NEW BOXED WINDOW WITHOUT FOUNDATION
  - 5- NEW DOUBLE PANE VINYL WINDOWS MFG. TO BE SELECTED BY OWNER
  - 6- PROPOSED NEW GARAGE DOOR TO BE SELECTED BY OWNER
  - 7- PROPOSED NEW ENTRY DOOR TO BE SELECTED BY OWNER



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JBC6 Ndvdspp / DEuIGNEh  
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nhOJECa Np6 R2-393723  
PROPOSED ELEVATIONS

**A2.2**

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