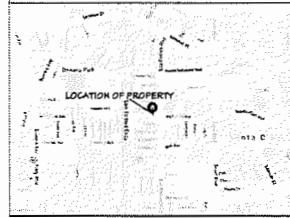
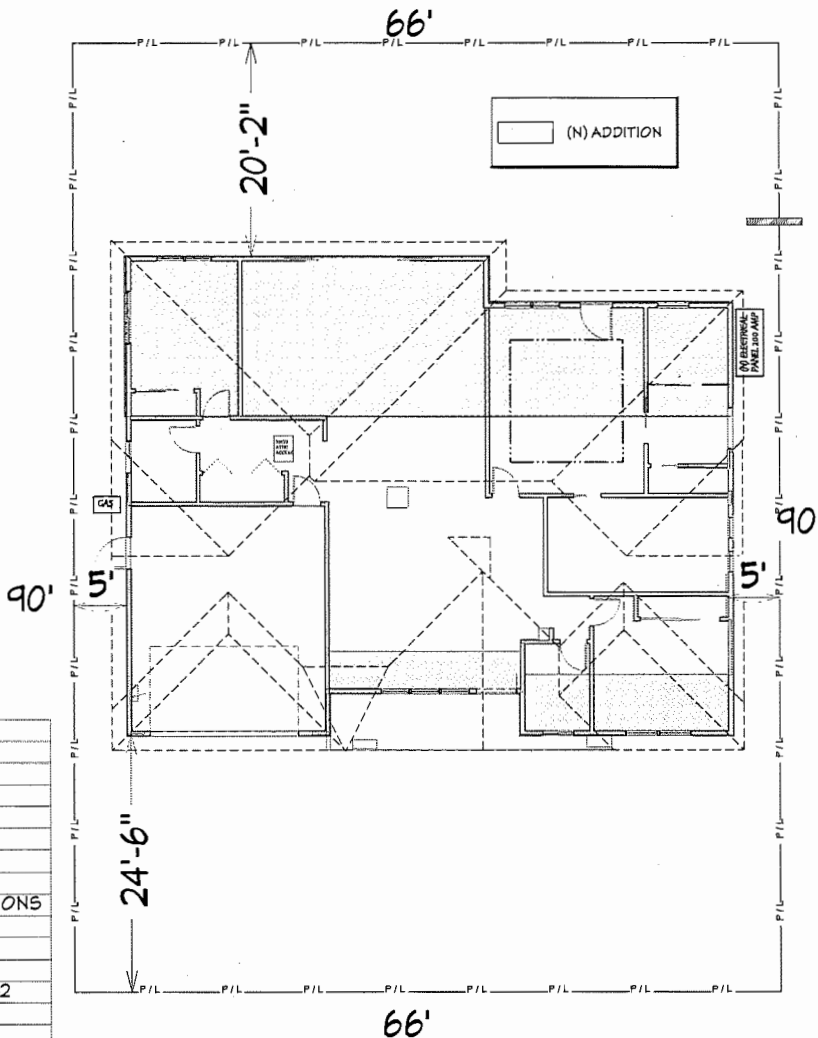


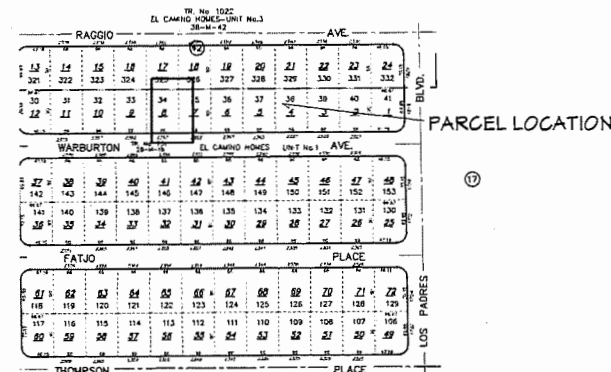
PROJECT INFORMATION		
OWNER: MICHAEL SCORSUR ADDRESS: 2331 WARBURTON SANTA CLARA, CA 95050 APN: 224-130-04 OCCUPANCY CLASSIFICATION/CONSTRUCTION TYPE: SINGLE FAMILY OCCUPANCY GROUP TO BE: R-3M CONSTRUCTION TYPE TO BE: TYPE V		
SQUARE FOOTAGE	EXISTING	PROPOSED
FIRST FLOOR FINISHED AREA	1,021 SQFT	439 SQFT
TOTAL MAIN HOME AREA		1,491 SQFT
GARAGE	400 SQFT	
FRONT PORCH	40' VLT 8,940 SQFT	100 SQFT 8,940 SQFT
LOT SIZE: 5,940 SF LOT COVERAGE: (1,491 SF + 400 SQFT + 100 SQFT)/5,940 SQFT = 24.1% LOT COVERAGE: (1,491 SF + 400 SQFT + 100 SQFT)/5,940 SQFT = 24.1% LOT COVERAGE: (1,491 SF + 400 SQFT + 100 SQFT)/5,940 SQFT = 24.1% LOT COVERAGE: (1,491 SF + 400 SQFT + 100 SQFT)/5,940 SQFT = 24.1%		
SCOPE OF WORK: 1. REMODEL AND ADD 1,035 SQFT OF LIVING SPACE AREA TO EXISTING STRUCTURE ADD 2 BATHROOMS, OFFICE, LAUNDRY, REMODEL KITCHEN CODES TO BE USED AND FOLLOWED: CALIFORNIA BUILDING CODE (CBC) 2014 EDITION CALIFORNIA MECHANICAL CODE (CMC) 2014 EDITION CALIFORNIA ELECTRICAL CODE (CEC) 2014 EDITION CALIFORNIA RESIDENTIAL CODE (CRC) 2014 EDITION CALIFORNIA ENERGY CODE (CEC) 2014 EDITION CALIFORNIA GREEN BUILDING CODE 2014 EDITION		



Label	Title
A-0	SITE PLAN
A-1	EXISTING FLOOR PLAN
A-2	(E) ELEVATIONS
A-3	DEMOLITION PLAN
A-4	PROPOSED FLOOR PLAN
A-5	PROPOSED ELEVATIONS
A-6	ROOF PLAN & CROSS SECTIONS
A-7	ELECTRICAL PLAN
A-8	MEP NOTES
A-9	ARCHITECTURAL DETAILS
A-10	ARCHITECTURAL DETAILS #2
CG	CAL GREEN



SITE PLAN  
SCALE: 3/16"=1'-0"



SHEET NUMBER  
**A-0**

SCALE: AS NOTED  
DATE: DEC 2020  
DRAWN BY: RS  
Checked: [Signature]

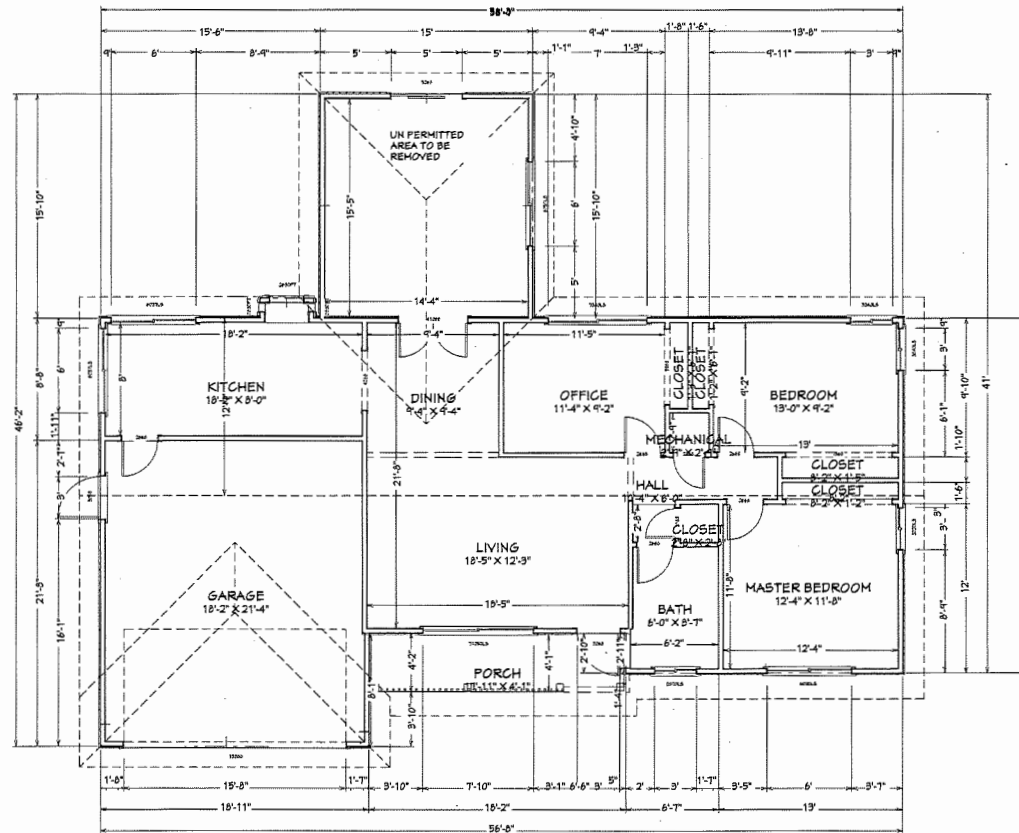
SITE PLAN

MICHAEL SCORSUR  
HOME ADDITION  
2331 WARBURTON AVE  
SANTA CLARA, CA 95050

- SCOPE DOCUMENTS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LATEST ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.
- THE FOLLOWING NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED, AND SHALL TAKE PRECEDENCE OVER THEIR GENERAL NOTES. SEE ALSO NOTES, ABBREVIATIONS, DRAWING LEGENDS AND SYMBOLS, STRUCTURAL DRAWINGS.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT.
- THE CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE REGULATIONS, AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.
- RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT AND OWNER IN WRITING AT ONCE FOR INSTRUCTIONS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL HAVE GOOD AND RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE OWNER WITH NO RESULTING COST TO THE OWNER. SHOULD A CONFLICT OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON THE CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND CONSTRUCTION METHODS INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT / OWNER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS OR UNLESS THE ORIGINAL GO IS APPROPRIATELY QUALIFIED.
- THE CONTRACTOR SHALL CONFINE HISHER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCLUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HISHER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HISHER OPERATION.
- ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
- PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PANELS, HVAC EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.
- ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- STORAGE & DISPOSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GASES AND HAZARDOUS CHEMICALS SHALL COMPLY WITH THE UNIFORM FIRE CODE REGULATIONS.
- NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HISHER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENLARGE ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED, DIRECTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.
- SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL SUPPLY THE ARCHITECT/ENGINEER WITH THE REQUIRED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS AND SPECIFICATIONS BY THE ARCHITECT/ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT IMPLY THAT THEY SUPERSEDE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL COMMENCE UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES. THE ARCHITECT SHALL NOT PROCEED WITH THE REVIEW OF SHOP DRAWINGS FOR A SPECIFIC SECTION OF SPECIFICATIONS UNLESS THE SHOP DRAWINGS FOR THAT SECTION AND ALL RELATED AND CONTIGUOUS SECTIONS OF WORK ARE SUBMITTED IN THEIR ENTIRETY SIMULTANEOUSLY. THE REVIEW AND ACCEPTANCE OF A PART OF THE SHOP DRAWINGS SHALL NOT IMPLY THE ACCEPTANCE OF THE SHOP DRAWINGS IN WHOLE OR IN PART.
- DIMENSIONS:
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
  - ALL DIMENSIONS SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS, FACE OF CONCRETE / CONC. BLOCK WALLS, EDGE OF SLAB, FACE OF FINISH UNLESS OTHERWISE NOTED.
  - CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR OR SLAB TO THE FINISHED FACE OF CEILING.
  - DIMENSIONS AND ELEVATIONS ARE TO THE TOP OF CONCRETE, BLOCK OR OTHER HARD SURFACE MATERIALS, NOT TO THE TOP OF FLOOR COVERINGS OR ROOFING U.O.N.
  - DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY EGRESS SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10-B-C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SF OR PORTION THEREOF ON EACH FLOOR.
- CAL GREEN CHECKLIST:
  - CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:
    - COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, OR
    - A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2, OR
    - A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3, OR
    - THE WASTE SITE WASTE REDUCTION ALTERNATIVE, PER SECTION 4.408.4.
  - POLLUTANT CONTROL:
    - 4.408.1 DUCT OPENINGS AND OTHER RELATIVE AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
    - 4.408.1.1 ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
    - 4.408.1.2 PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
    - 4.408.1.3 AEROSOLS, PAINTS AND COATINGS SHALL BE COMPLIANT WITH SOLID PARTICLE WEIGHTED AVERAGE LIMITS FOR ROCK AND OTHER TOXIC COMPOUNDS.
    - 4.408.1.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
    - 4.408.1.5 CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
  - INTERIOR MOISTURE CONTROL: 4.408.3 MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
  - QUALIFICATIONS: 22.1 HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.
  - 22.2 SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.
  - VERIFICATION: 24. VERIFICATION OF COMPLIANCE WITH CAL GREEN CODE REQUIREMENTS SHALL BE PROVIDED TO THE ENFORCING AGENCY. SPECIFICATIONS, BUILDING OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

HEN T. KIM NGUYEN  
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**SHEET NUMBER**

A-1

SCALE: AS NOTED

DATE : DEC 2020

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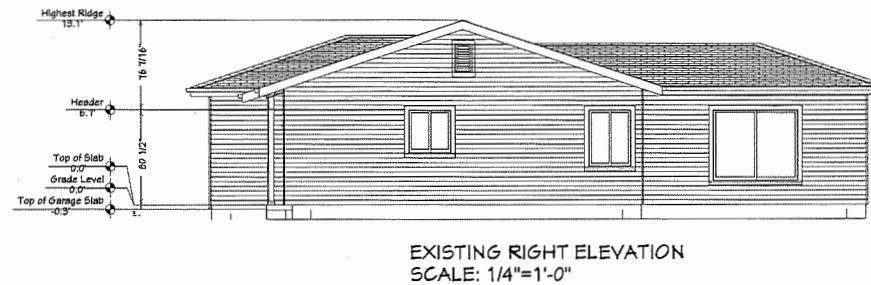
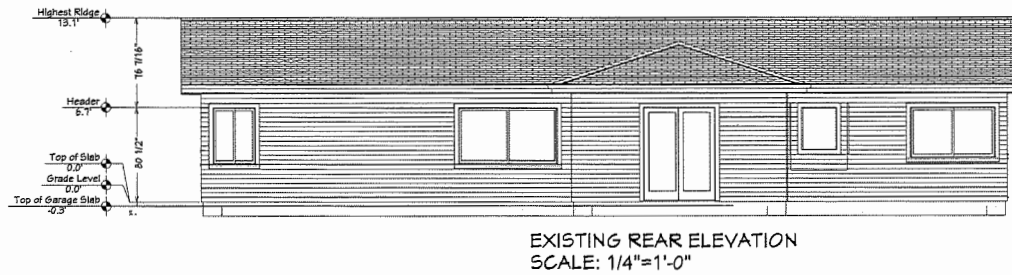
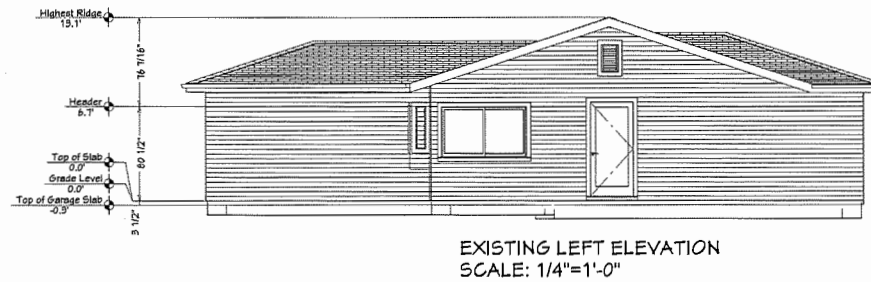
URANIN BT:RR  
Raymond Ressler

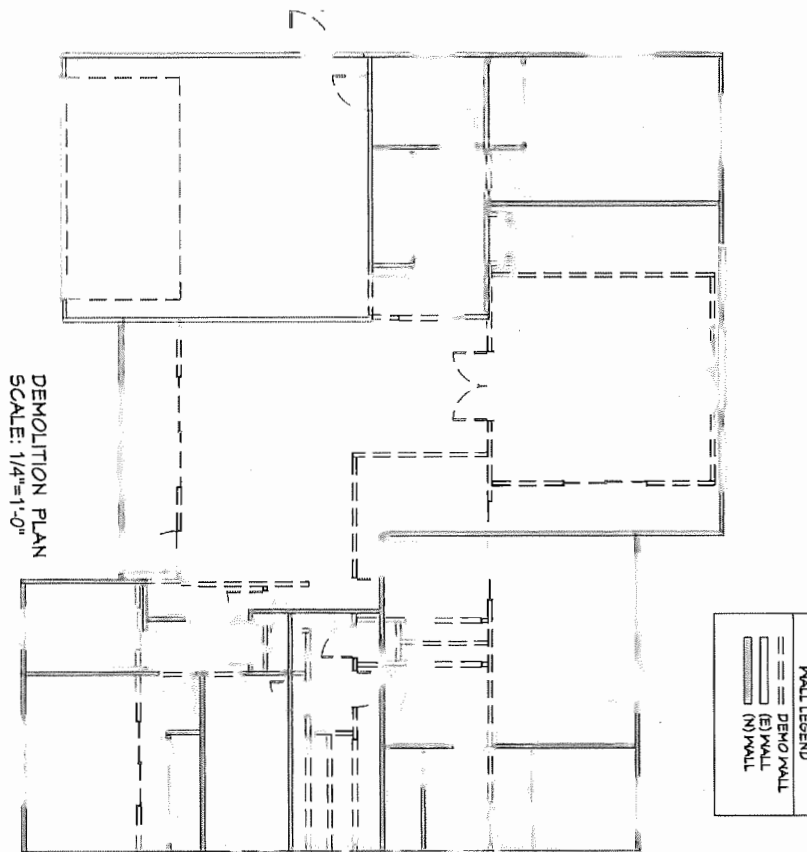
EXISTING FLOOR PLAN

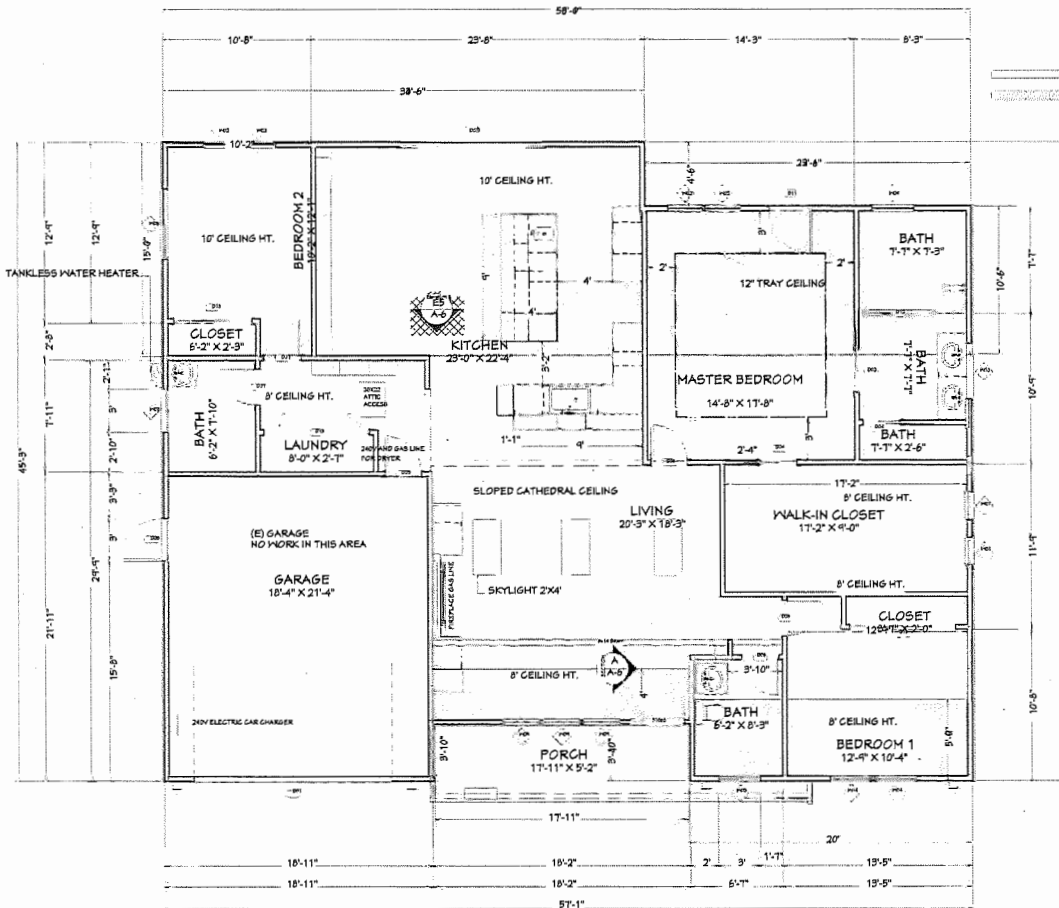
MICHAEL SCORSUR  
HOME ADDITION  
2337 WARBURTON AVE  
SANTA CLARA, CA 95050

**HIEN T. KIM NGUYEN**  
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care







PROPOSED FLOOR PLAN  
SCALE: 1/4"=1'-0"

(N) WALL  
(E) WALL

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER
D01	14000	1	1	14000	165"	85"	17'0"x34"	GARAGE-GARAGE DOOR P09	2X12X18" (2)
D02	21165	1	1	21165 L	85"	80"	12'X82 1/2"	POCKET-DOOR P04	2X6X75" (2)
D03	10062	1	1	10062 L/R EX	120"	73 3/4"	184'X16 1/4"	EXT. 2-2 PANEL POCKET-CERO PANEL	2X6X181" (2)
D04	2666	2	1	2666 L	80"	80"	5'7X82 1/2"	POCKET-DOOR P04	2X6X85" (2)
D05	2666	1	1	2666 L EX	80"	80"	5'7X85"	EXT. HINGED-DOOR E21	2X6X35" (2)
D06	2666	3	1	2666 L IN	80"	80"	5'7X82 1/2"	HINGED-DOOR P04	2X6X35" (2)
D07	2666	2	1	2666 R IN	80"	80"	5'7X82 1/2"	HINGED-DOOR P04	2X6X35" (2)
D08	3066	1	1	3066 L EX	36"	80"	38'X23"	EXT. HINGED-PANEL	2X6X41" (2)
D11	3066	1	1	3066 L EX	36"	80"	38'X23"	EXT. HINGED-GLASS PANEL	2X6X41" (2)
D12	4170	1	1	4170 R IN	85"	84"	5'7X86 1/2"	SLIDER-GLASS DOOR	2X6X67" (2)
D13	5560	1	1	5560 L IN	65"	80"	6'7'X82 1/2"	SLIDER-DOOR P04	2X6X10" (2)
D15	1566	1	1	1566 L/R	85 1/2"	80"	40 1/2'X82 1/2"	4 DR. BIFOLD-LOUVERED	2X6X85 1/2" (2)
D16	1566	1	1	1566 R IN	84"	80"	11'X82 1/2"	SLIDER-DOOR P04	2X6X44" (2)

NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER
P01	2020SH	2	1	2020SH	24"	24"	25'X25"		SINGLE HUNG	2X6X25" (2)
P02	2540PH	4	1	2540PH	30"	48"	5'1'X48"		POSSIBLE HUNG	2X6X48" (2)
P03	3016LS	2	1	3016LS	36"	18"	5'1'X18"		LEFT SLIDING	2X6X48" (2)
P04	3030DH	1	1	3030DH	36"	36"	5'1'X31"		DOUBLE HUNG	2X6X48" (2)
P06	5020LS	1	1	5020LS	20"	24"	5'1'X25"		LEFT SLIDING	2X6X64" (2)
P07	1220	1	2	1220	14"	24"	15'X25"		LOUVERED	2X6X18" (2)
P08	2850DH	3	1	2850DH	32"	80"	39'X61"		DOUBLE HUNG	2X6X36" (2)
P10	4010PT	1	1	4010PT	48"	12"	11'X13"		PASS-THROUGH	2X6X32" (2)
P14	3040DH	2	1	3040DH	36"	48"	5'1'X48"		DOUBLE HUNG	2X6X48" (2)

PROPOSED FLOOR PLAN

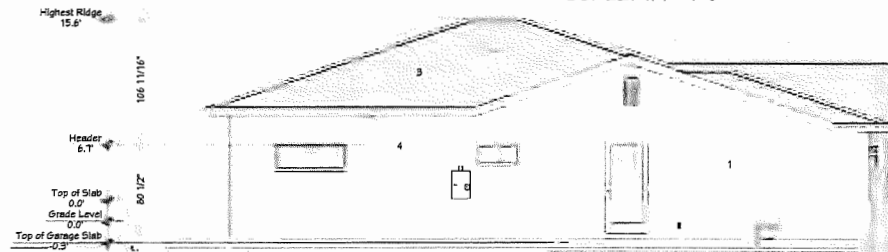
MICHAEL SCORSUR  
HOME ADDITION  
2331 WARBURTON AVE  
SANTA CLARA, CA 95050

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14000 N. 1st St., Suite 100  
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402-505-6600  
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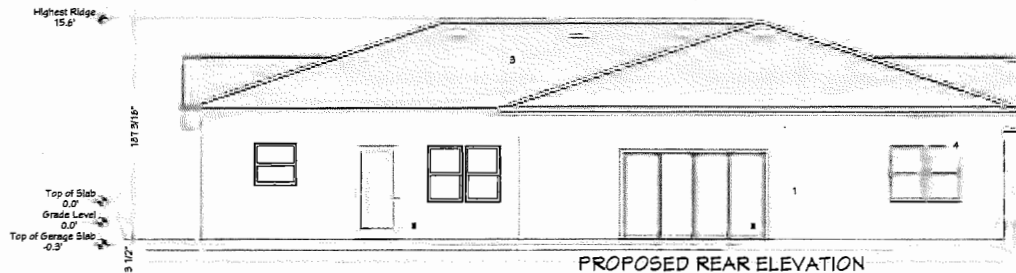




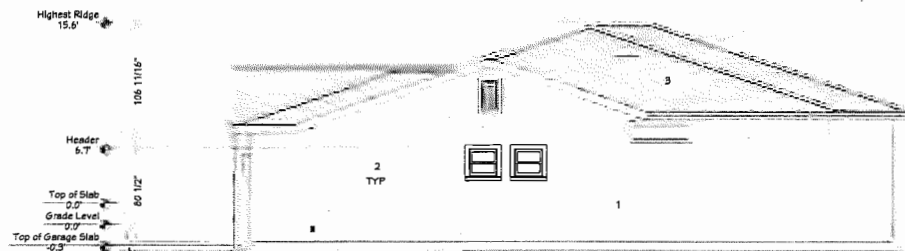
PROPOSED FRONT ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED LEFT ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

EXTERIOR FINISH NOTES:

- \*\* 3 COAST AND MIN. 7/8" THICK
- \*\* PROVIDE 2 LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING

- 1 STUCCO
- 2 WHITE VINYL WINDOWS W/ 1"X4" TRIM
- 3 ASPHALT SHINGLE ROOFING (CLASS A)
- 4 2 X FACIA AND WEATHER RESISTANT VINYL SOFFIT W/VENT AS REQUIRED

SHEET NUMBER  
**A-5**

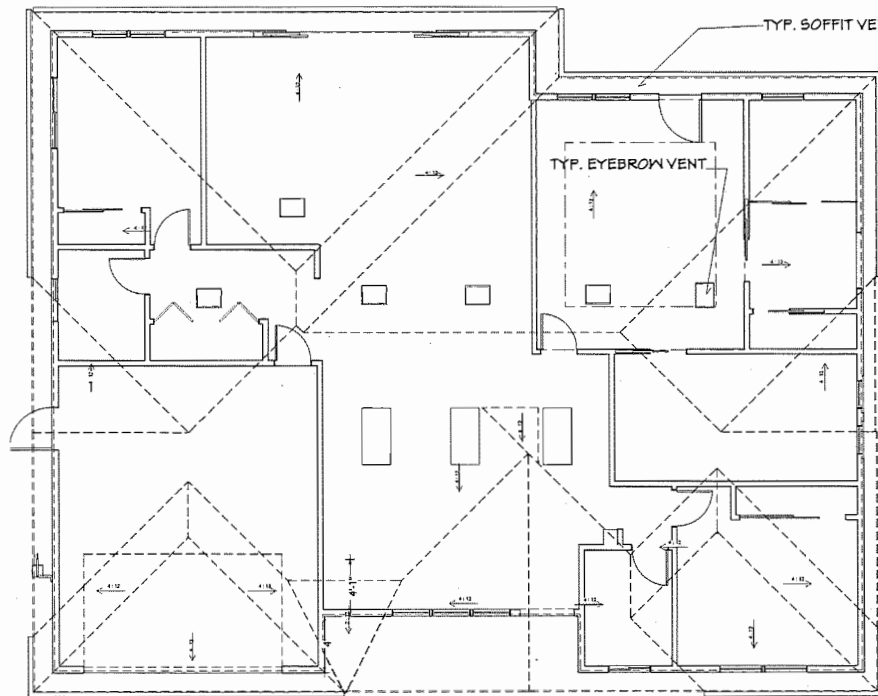
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DATE: DEC 2020  
DRAWN BY: RKR  
Approved: [Signature]

PROPOSED ELEVATIONS

MICHAEL SCORSUR  
HOME ADDITION  
235T WARBURTON AVE  
SANTA CLARA, CA 95050

HEAT KIM NGUYEN  
15 Debraan Drive  
San Ramon, CA 94583  
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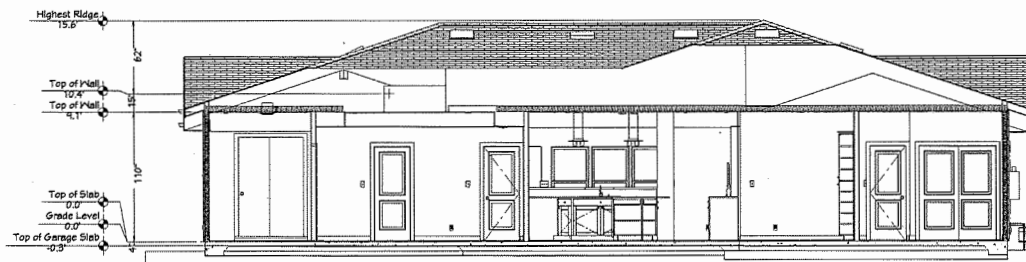
PROPOSED ROOF PLAN  
SCALE: 1/4"=1'-0"

ATTIC VENT  
ATTIC AREA TO BE VENTED: 2100 SQ FT  
TOTAL AREA OF VENT REQUIRED:  $2100/150 = 14$  SQ FT.

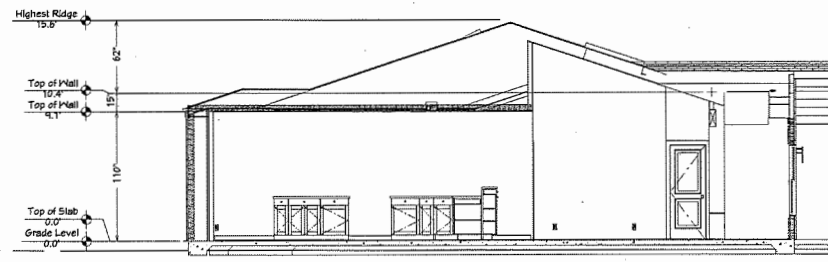
TOTAL VENT PROVIDED:

1. RECTANGULAR 14" X 18" GABLE VENT:  $0.764 \times 2$  (VENT) = 1.53 SQFT
2. GIBRALTAR DORMER VENTS  
MODEL LPDH18 (18x10" LOW PROFILE) = 81 SQ IN. = 0.56 SQ FT.  
PROVIDE 6 DORMER VENTS =  $6 \times 0.56$  SQ FT. = 3.36 SQ FT.
3. VINYL SOFFIT VENT  
12" LENGTH IS = 0.49 SQFT AIR  
22 SOFFIT VENT  $\times 0.49 = 10.78$  SQFT

TOTAL AREA ATTIC VENT PROVIDED =  $1.53 + 3.36 + 10.78 = 15.67$  SQ FT.



CROSS SECTION A  
SCALE: 1/4"=1'-0"



CROSS SECTION B  
SCALE: 1/4"=1'-0"

SHEET NUMBER  
**A-6**

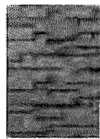
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DATE: DEC 2020  
DRAWN BY: BRS  
Checked By: [Signature]

ROOF PLAN & CROSS SECTIONS

MICHAEL SCORSUR  
HOME ADDITION  
2331 WARBURTON AVE  
SANTA CLARA, CA 95050

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Beverly Hills, CA 90210  
405-555-5500  
hscorsur@att.net

SECURE



PRO-FIT MODERA LEDGESTONE CULTURED STONE  
COLOR : CARBON



1 in. x 6 in. x 6 ft. Dasso XTR Classic Espresso  
Fused Bamboo Rain Clad Shiplap Siding



SHEET NUMBER

SCALE AS NOTED

DATE : DEC 2020

DRAWN BY: R  
Approved: [Signature]

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williamnguyen@gmail.com

SEAL