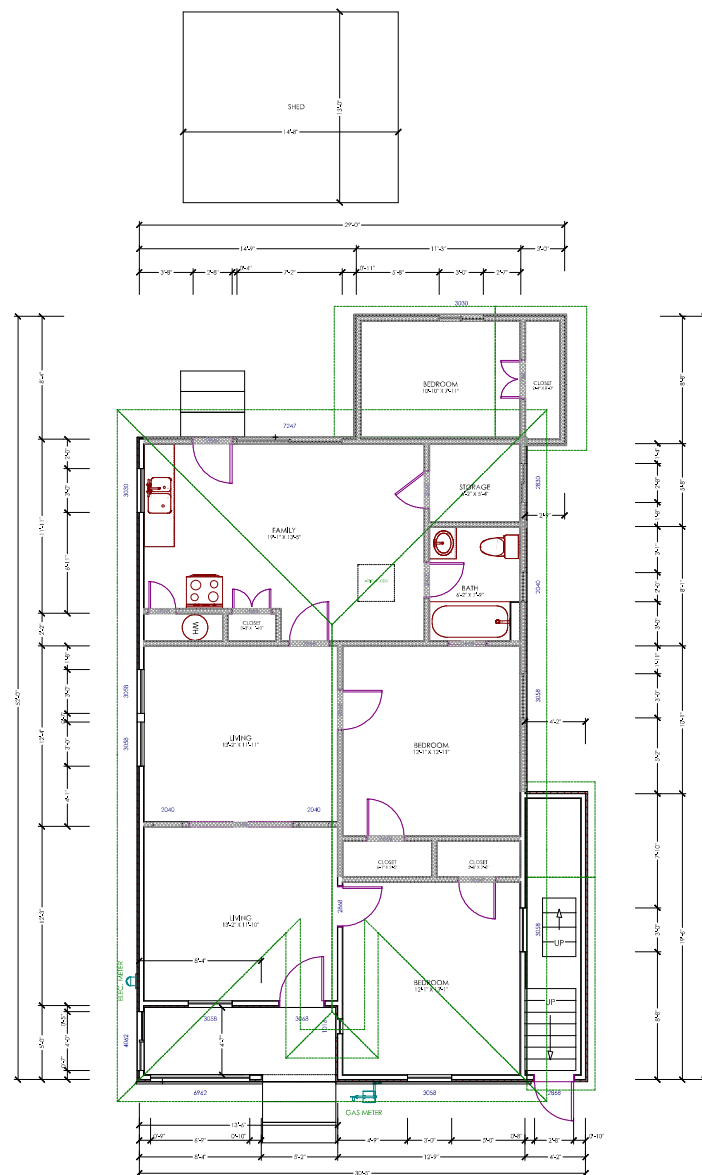
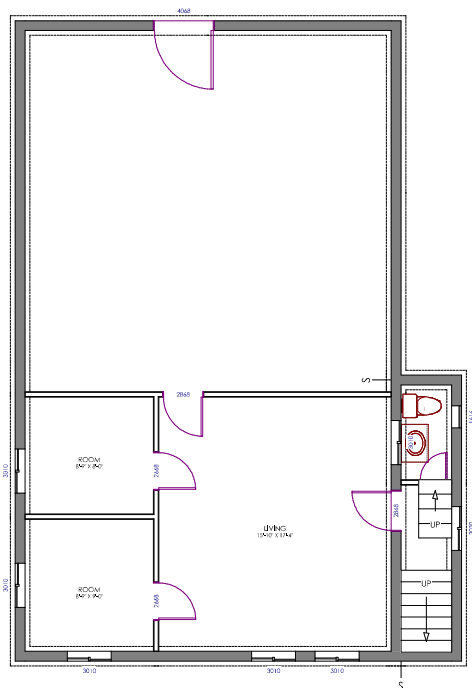


A-00.01



LEGEND:

 EXISTING WALL TO STAY
 EXISTING WALL TO BE REMOVED

 EXISTING WALL TO BE REMOVED

GRAPHIC SCALE : 3/8" = 1' FEET



AMS_{DESIGN}:

4010 MOORPARK AVE#101,
SAN JOSE, CA 95117
TELL: (415)254.1606
E-MAIL: OFFICE@AMSDSIGNLLP.COM

Azadeh Masrou

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AEG DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AEG DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AEG DESIGN. ANY VIOLATION IS CONSIDERED A BREACH OF THESE PLANS SHALL PROCEED TO COMMENCEMENT OF THE WORK. IN QUESTION, ALL VIOLATIONS OF THESE PLANS SHALL TAKE PRECEDENCE OVER ALL OTHER PROVISIONS.

PROJECT NAME:

**MAIN ST.
RESIDENCE**

1772 MAIN ST.,
SANTA CLARA, CA, 95050

REVISION TABLE

REVISION	DATE	BY	CHK
1			

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPLETION TO THE EXISTING SITE BY THE CONTRACTOR. ANY UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AHS DESIGNER'S ATTENTION IMMEDIATELY. NO WORK SHALL BE PROCEEDED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-
DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO
CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR
WHICH IS CUSTOMARILY REQUIRED, SHALL NOT RELIEVE THE
CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED
DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND
DISCLOSED IN THE DRAWINGS AND SPECIFICATIONS.

THE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY (SURVEY AND) CONSIDER ALL THE DATA PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AND DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ARI AND DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

EXISTING PLANS

PROJECT ID: 2009-0

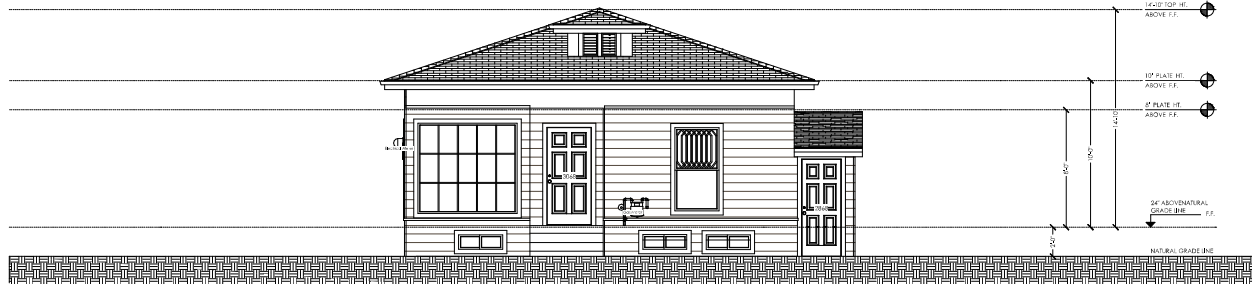
DATE: OCT. 2021

SCALE: $1/4" = 1'$

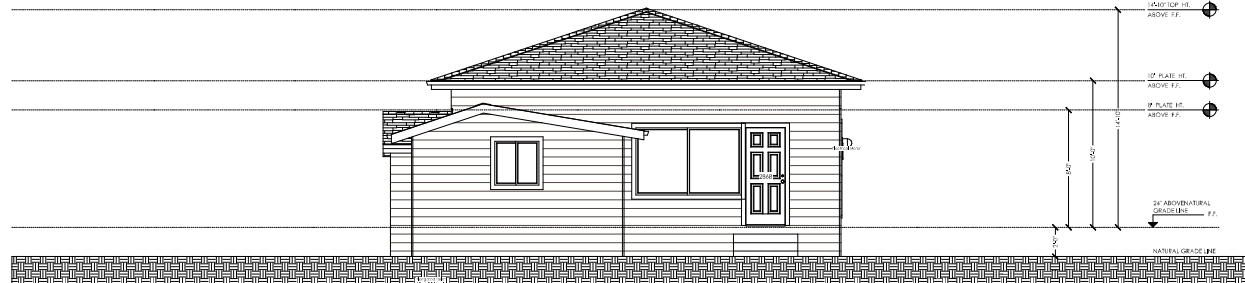
DRAWN BY: S.A.

SHEET NUMBER:

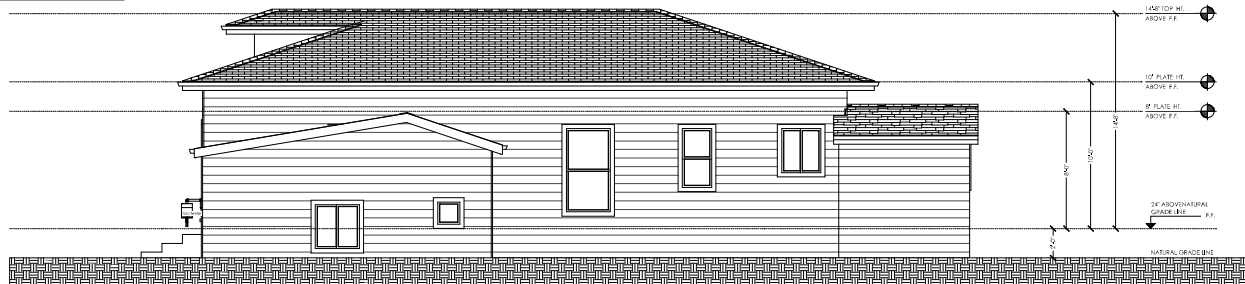
RA-01.01



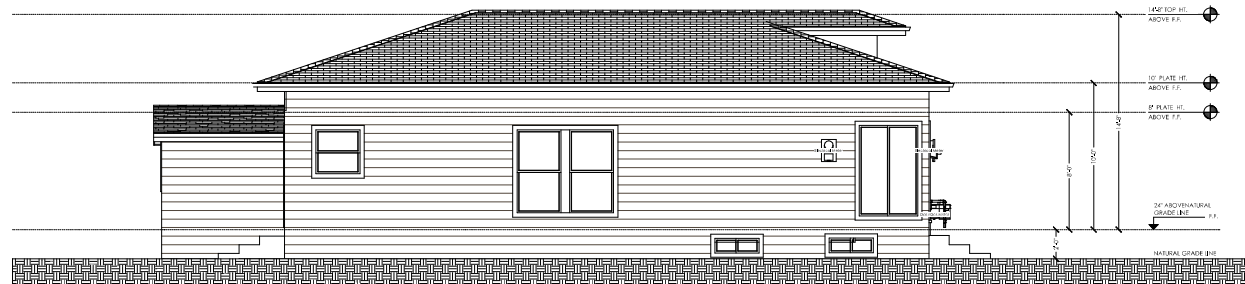
1 EXISTING FRONT (NORTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



2 EXISTING REAR (SOUTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



3 EXISTING RIGHT (NORTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



4 EXISTING LEFT (SOUTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



AMS DESIGN

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Aradeh Masour

THESE PLANS ARE PREPARED ONLY FOR THE PERSONS AND FOR THE PURPOSES SPECIFIED HEREIN. THEY ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMS DESIGN. ANY VIOLATION OF THIS AGREEMENT SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

PROJECT NAME:

**MAIN ST.
RESIDENCE**

1772 MAIN ST.,
SANTA CLARA, CA 95050

REVISION TABLE:

REVISION	DATE	BY	DEP

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR ACCURACY, COMPLETION AND CONFORMANCE WITH THE SPECIFICATIONS, ANY REQUIREMENTS AND UNSTATED CONDITIONS THAT APPLY OR CHANGE THE WORK DESCRIBED IN THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

CONSIDERATION OF THE DRAWINGS AND SPECIFICATIONS OF THE WORK DESCRIBED IN THE DRAWINGS IS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

SHEET TITLE:

**EXISTING
ELEVATIONS**

PROJECT ID: 2009-01

DATE: OCT, 2020

SCALE: 1/4" = 1'

DRAWN BY: S.A.

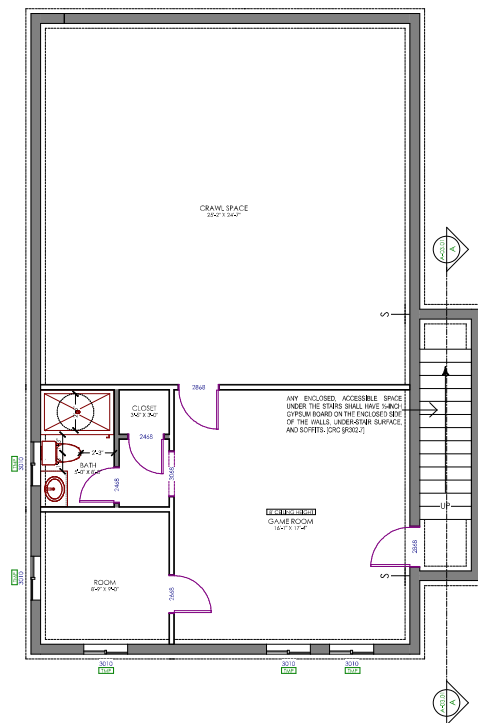
SHEET NUMBER:

RA-02.01

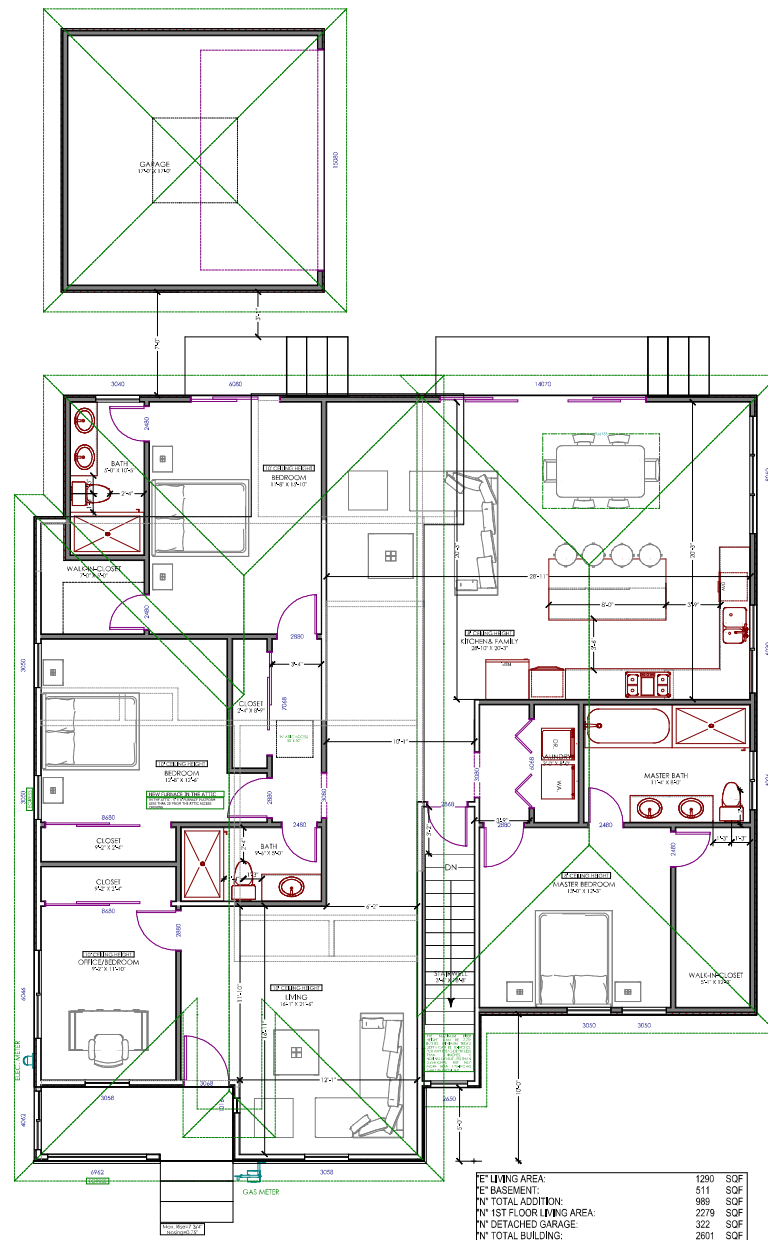
LEGEND:

- NEW CONSTRUCTION WALL
 EXISTING WALL TO STAY
 EXISTING WALL TO BE REMOVED

GRAPHIC SCALE: 1" = 10' 0" 1" = 10' 0"



1 PROPOSED BASEMENT PLAN
SC : 1/4" = 1'-0"



2 PROPOSED 1ST FLOOR PLAN
SC: 1/4" = 1'-0"

AMS
DESIGN

AMS_{DESIGN}==

4010 MOORPARK AVE#101,
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E-MAIL: OFFICE@AMSDSIGNLLP.COM

Azadeh Masrour

THESE PLANS ARE INTENDED ONLY FOR THE ORIGINAL SITE FOR WHICH THEY WERE DESIGNED AND ARE THE PROPERTY OF AMS DESIGN. THESE PLANS ARE PROTECTED UNDER COPYRIGHT LAWS AND MAY NOT BE REPRODUCED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF AMS DESIGN. ANY USE OF THESE PLANS ON OTHER SITES IS PROHIBITED WITHOUT THE CONSENT OF AMS DESIGN. ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE USER.

TO COMMENDMENT OF THE WORK IN QUESTION, ALL WRITTEN
 (1) MENTIONS SHALL TAKE PRECEDENCE OVER SCALE DIRECTIONS.

PROJECT NAME:

**MAIN ST.
RESIDENCE**

1772 MAIN ST.,
SANTA CLARA, CA, 95050

REVISION TABLE:

REVISION	DATE	BY	DEP
1	10/1/00	WJ	WJ

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING STRUCTURE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AAS DESIGN ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK.

ORDERS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY INFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

LIFE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY CONDITIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK, FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR DISAGREEMENT BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE SITES CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY AAS DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM AAS DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

**PROPOSED 1ST FLOOR
PLAN / PROPOSED
BASEMENT PLAN**

PROJECT ID: 2009-01

DATE: OCT. 2020

SCALE: $1/4" = 1'$

DRAWN BY: S.A.

SHEET NUMBER:

A-01.01



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TO COMMANDMENT OF THE WORK IN QUESTION, ALL WHOM THE LAW SHALL TAKE THEREUPON OURS FOR OUR OWN.

PROJECT NAME:

**MAIN ST.
RESIDENCE**

1772 MAIN ST.,
SANTA CLARA, CA, 95050

REVISION TABLE

	REVISION	DATE	BY	D

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING WORK. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE AMS DESIGNER'S ATTENTION IMMEDIATELY. ON

CONTRASTS FROM THE DRAWINGS AND SPECIFICATIONS OR THE DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATION WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE CONTRACTOR FROM PERFORMING SUCH OMITTED OR VAGUE DETAILS OF THE WORK AS FULLY AND COMPLETELY SET FORTH DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

IFE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS
VERIFY (UNDERSTAND AND CONSENT) AT THE SITE PRIOR
COMMENCEMENT OF THEIR WORK, FAILURE TO DO SO SHALL
RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE
IF ANY VARIATION, DISCREPANCY OR QUESTION BETWEEN THE
OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDI-
TION FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT
DESIGN IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM
DESIGN PRIOR TO PROCEEDING WITH ANY RELATED WORK.

SHEET TITLE:

PROPOSED ELEVATIONS

PROJECT ID: 200

DATE: OCT.

SCALE: 1/4

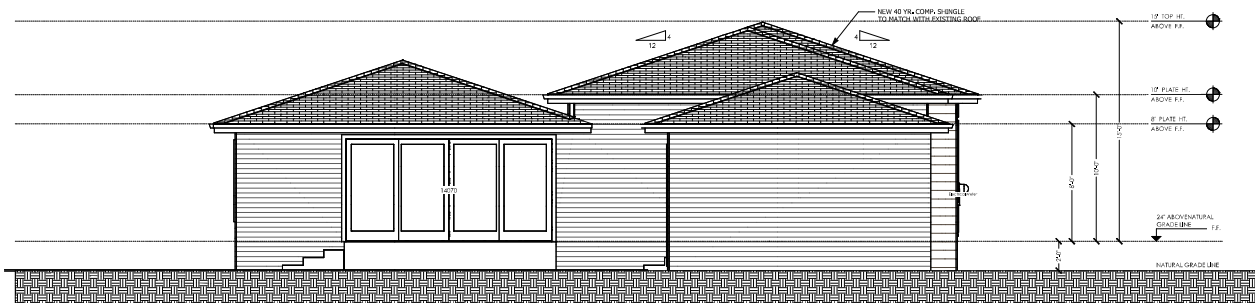
DRAWN BY:

SHEET NUMBER:

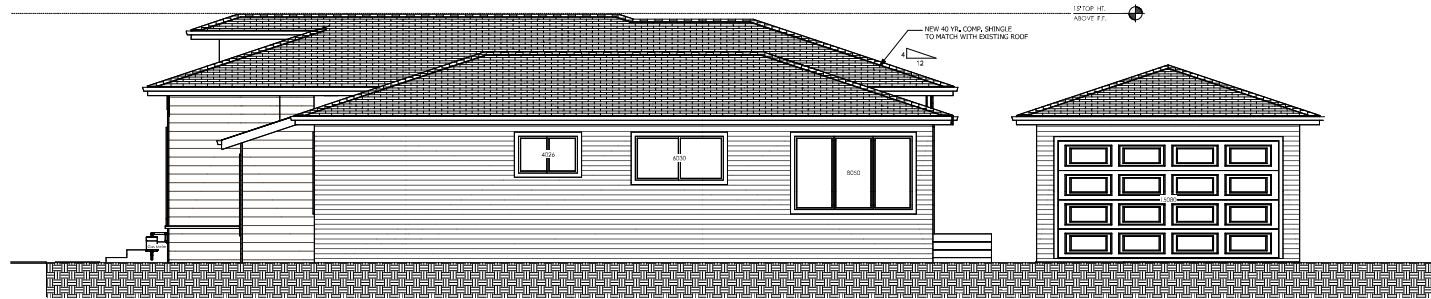
A-02.01



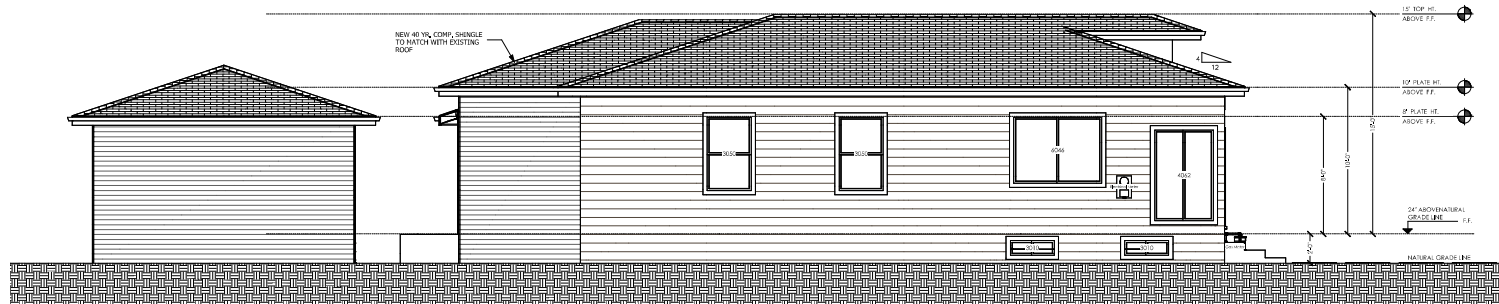
1 PROPOSED FRONT (NORTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED REAR (SOUTH-WEST) ELEVATION
SC: 1/8" = 1'-0"



1 PROPOSED RIGHT (NORTH-WEST) ELEVATION
SC: 1/4" = 1'-0"



2 PROPOSED LEFT (SOUTH-EAST) ELEVATION
SC: 1/4" = 1'-0"



AMS DESIGN

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Aradeh Masour

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NO WARRANTIES OF THE DESIGN OR CONSTRUCTION OF THE PROJECT SHALL BE PROVIDED OR ASSUMED BY AMS DESIGN.

PROJECT NAME:

**MAIN ST.
RESIDENCE**

1772 MAIN ST.,
SANTA CLARA, CA, 95050

REVISION TABLE:

REVISION	DATE	BY	DEP
1			

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR ACCURACY AND COMPLETION BY THE CONTRACTOR. ANY DISCREPANCIES AND UNRESOLVED CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DISREGARD ANY DISCREPANCIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSEQUENCES THEREOF.

CONSIDERATION FROM THE DRAWINGS AND SPECIFICATIONS OF THE WORK DESCRIBED IN THE DRAWINGS SHALL BE LIMITED TO THE WORK DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. ON WORK OF CUSTOMER'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SHEET TITLE:

**PROPOSED
ELEVATIONS**

PROJECT ID: 2009-01

DATE: OCT, 2009

SCALE: 1/4" = 1'

DRAWN BY: S.A.

SHEET NUMBER:

A-02.02