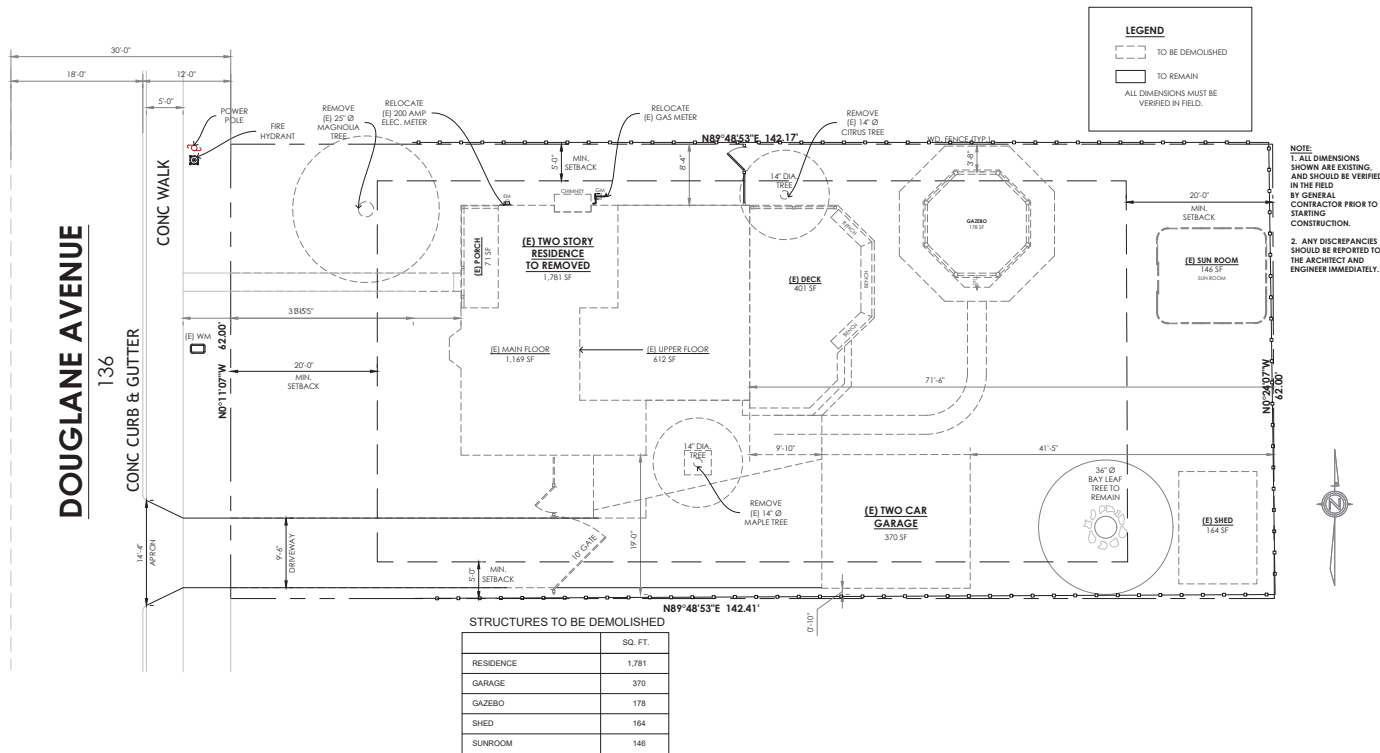


<div>PROJECT DIRECTORY</div> <div><div>OWNER: KATHY &amp; RAYMOND TEE 136 DOUGLANE AVENUE SANTA CLARA, CA 95050 EMAIL:</div><div>ARCHITECT: ROBIN MCCARTHY, AIA, CGMP CA, LIC. C29767 1155 MERIDIAN AVE., SUITE 207 SAN JOSE, CA 95125 (408) 859-8723 robin@archstudioinc.com</div><div>ENGINEER: EDWARD YU, P.E. 70340 EDYU ENGINEERING 1781 PEACOCK AVENUE MOUNTAIN VIEW, CA 94043 (650) 804-5742 edkyu@gmail.com</div><div>ENERGY CONSULTANT: ALLIANCE 24 TITLE ENERGY CONSULTING JAM HEZAR J.D., LEED - AP 325 BERRY STREET, SUITE 424 SAN FRANCISCO, CA 94158 (530) 902-4387</div></div> <div>LEGEND</div> <div><div><div><div></div><div>(N) FULL-HEIGHT WALL</div></div><div><div></div><div>(N) PARTIAL HEIGHT WALL</div></div><div><div></div><div>(E) WALL TO REMAIN</div></div><div><div></div><div>(E) WALL TO BE REMOVED</div></div><div><div></div><div>SHEAR WALL</div></div><div><div>1</div><div>DOOR SYMBOL, SEE SCHEDULE</div></div><div><div>2</div><div>WINDOW SYMBOL AND SKYLIGHT SYMBOL, SEE SCHEDULE</div></div><div><div>9 A2</div><div>DETAIL NUMBER SHEET NUMBER</div></div><div><div>A A2</div><div>SECTION LETTER SHEET NUMBER</div></div><div><div>X</div><div>SPECIFIC OR KEY NOTE</div></div><div><div>OFFICE EL. +X-X- CARPET</div><div>ROOM NAME ROOM FINISH FLOOR ELEVATION ROOM FINISH FLOORING</div></div><div><div>1 1 2</div><div>INTERIOR ELEVATION IDENTIFICATION</div></div><div><div></div><div>REVISION</div></div><div><div></div><div>CENTER LINE</div></div><div><div></div><div>DATUM LINE</div></div></div><div>VICINITY MAP</div><div></div></div>	<div>DESIGN REVIEW SET</div> <div></div> <div>FRONT VIEW</div> <div></div> <div>REAR VIEW</div>	<div>SHEET INDEX</div> <div><div>ARCHITECTURAL:</div><div>CS-1 COVER SHEET</div><div>A1-1 SITE DEMOLITION PLAN</div><div>A1-2 PROPOSED SITE PLAN</div><div>A2-1 DEMOLITION PLANS</div><div>A2-2 DEMOLITION ELEVATIONS</div><div>A3-1 PROPOSED MAIN FLOOR PLAN</div><div>A3-2 PROPOSED UPPER FLOOR PLAN</div><div>A4-1 PROPOSED ROOF PLAN</div><div>A5-1 PROPOSED EXTERIOR ELEVATIONS</div><div>A5-2 PROPOSED EXTERIOR ELEVATIONS</div><div>A6-1 BUILDING SECTIONS</div><div>A6-2 BUILDING SECTIONS</div></div> <div>PROJECT DATA</div> <div><div>ADDRESS: 136 DOUGLANE AVENUE SANTA CLARA, CA 95050</div><div>APN: 303-19-065</div><div>ZONING: R1-6L</div></div> <div><div>PROJECT DESCRIPTION:</div><div>1. DEMOLITION OF EXISTING SINGLE-STORY RESIDENCE.</div><div>2. CONSTRUCTION OF A NEW 2-STORY RESIDENCE WITH HARDSCAPE AND LANDSCAPE.</div></div> <div><div>OTHER INFO:</div><div>FIRE SPRINKLERS REQUIRED: YES</div><div>HISTORIC: NO</div></div> <div><div>DEFERRED SUBMITTALS: FIRE SPRINKLERS, SOLAR PANELS</div></div> <div><div>BUILDING CODE INFORMATION:</div><div>OCCUPANCY TYPE: R-3 / U</div><div>CONSTRUCTION TYPE: V-8</div><div>STORIES: TWO-STORY</div><div>TOTAL NEW FLOOR AREA: 3,696 W/O GARAGE (SQ. FT.)</div></div> <div><div>ZONING REQUIREMENTS:</div><div>MAX. HEIGHT: 25 FT</div></div> <div><div>ALLOWABLE SETBACKS:</div><div>MIN. FRONT SETBACK = 20 FT</div><div>MIN. SIDE SETBACKS = 5 FT</div><div>MIN. REAR SETBACK = 20 FT</div></div> <div><div>MINIMUM LANDSCAPE COVERAGE AT FRONT YARD: 35%</div><div>2-COVERED PARKING SPACES REQUIRED</div></div> <div><div>MAXIMUM BUILDING COVERAGE:</div><div>BUILDINGS, INCLUDING ACCESSORY BUILDINGS, SHALL NOT COVER A TOTAL OF MORE THAN FORTY PERCENT (40%) OF THE AREA OF ANY LOT. (ORD. 1680 § 3, 11-14-95; ZONING ORD. § 6-10).</div></div> <div><div>FLOOR AREA CALCULATIONS:</div><div>PROPOSED FLOOR AREA (SQ. FT.):</div><div>MAIN FLOOR: 2,407 SF</div><div>UPPER FLOOR: 1,289 SF</div><div>TOTAL: 3,696 SF</div></div> <div><div>BUILDING COVERAGE (SQ. FT.):</div><div>MAIN FLOOR: 2,407 SF</div><div>TWO-CAR GARAGE: 530 SF</div><div>FRONT PORCH: 195 SF</div><div>REAR PORCH: 360 SF</div><div>TOTAL: 3,492 SF</div></div> <div><div>3,492 SF &lt; 8,823 = 39.6% &lt; 40% MAXIMUM</div></div> <div><div>2ND FLOOR AREA RATIO:</div><div>1,289 / 2,407 = 53.55% &lt; 66% MAX. ALLOWED</div></div>	<div><div>ARCH STUDIO</div><div>ROBIN MCCARTHY, AIA ARCHITECT #C29767 1155 MERIDIAN AVE. #207 SAN JOSE, CA 95125</div><div></div></div> <div>PROPOSED NEW CONSTRUCTION FOR:<div>TEE RESIDENCE</div>136 DOUGLANE AVENUE, SANTA CLARA, CA 95050</div> <div><table><thead><tr><th>DATE</th><th>SUBMITTAL</th></tr></thead><tbody><tr><td>02-09-21</td><td>DESIGN REVIEW SET</td></tr><tr><td>4-7-21</td><td>PLAN RESPONSE</td></tr></tbody></table></div> <div>COVER SHEET,<div>PROJECT INFORMATION</div></div> <div><div>DATE 02-09-21</div><div>SCALE SEE DRAWINGS</div></div> <div><div>ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY AND ALL REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY IS PROHIBITED.</div></div> <div>CS-1</div>	DATE	SUBMITTAL	02-09-21	DESIGN REVIEW SET	4-7-21	PLAN RESPONSE
DATE	SUBMITTAL								
02-09-21	DESIGN REVIEW SET								
4-7-21	PLAN RESPONSE								



# SITE DEMOLITION PLAN

## SITE PLAN GENERAL NOTES:

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. ENTIRE EXISTING HOME AND SITE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO CONCRETE WALKWAYS, PATIOS, DECKS, SHEDS, AND PLANTERS) SHALL BE COMPLETELY DEMOLISHED AND REMOVED FROM SITE.
3. CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF AND SECURE EXISTING GAS LINES TO PROPERTY.
4. CONTRACTOR SHALL WORK WITH PG&E AS REQUIRED TO CAP OFF EXISTING ELECTRICAL SERVICE TO BUILDING. SET UP NEW TEMPORARY POWER POLE AS REQUIRED TO PROVIDE POWER DURING CONSTRUCTION.
5. CONTRACTOR TO SAFE OFF EXISTING WATER SERVICE AS REQUIRED TO UPGRADE WATER SERVICE TO NEW HOME. PROVIDE TEMPORARY WATER ACCESS AT SITE AS REQUIRED FOR USE DURING CONSTRUCTION.
6. STOCKPILING OF MATERIALS IS NOT ALLOWED ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM SITE PROMPTLY.
7. PER THE MOST CURRENT CALIFORNIA GREEN BUILDING CODE, THE GENERAL CONTRACTOR SHALL SUBMIT A WASTE HANDLING PLAN AND RECYCLING DEBRIS FOR THE FOLLOWING:
  - 7.1. RECYCLE 100% OF ASPHALT AND CONCRETE;
  - 7.2. RECYCLE UNIVERSAL WASTE PROPERLY;
  - 7.3. RECYCLE 45% OF THE REMAINING MATERIALS GENERATED BY THE PROJECT; AND
  - 7.4. SEPARATE PLANT/TREE DEBRIS FROM OTHER MATERIAL, AND COMPOST 100% OF PLANT DEBRIS.
8. ALL MATERIALS SHALL GO IN A CITY APPROVED DEBRIS BOX.
9. IF CONTRACTOR USES SELF-HAUL USING THEIR OWN EQUIPMENT AND VEHICLES, THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL MATERIALS TO AN APPROVED RECYCLING FACILITY.
10. CONTRACTOR SHALL SAVE ALL RECEIPTS FOR SUBMITTAL WITH A FINAL DIVERSION REPORT. FAILURE TO PROVIDE PROPER DOCUMENTATION MAY RESULT IN A \$1000/TON PENALTY FOR EACH TON NOT RECYCLED.
11. CONTRACTOR TO HIRE A CIVIL ENGINEER OR SPECIAL INSPECTION AGENCY AS REQUIRED TO SUPERVISE THE COMPACTION OF THE SITE AREA LOCATED WITHIN THE BUILDABLE AREA OF THE NEW HOME. PROVIDE A COMPACTION REPORT AS REQUIRED.



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:

**TEE RESIDENCE**

136 DOUGLANE AVENUE, SANTA CLARA, CA 95050

DATE	SUBMITTAL
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

## SITE DEMOLITION PLAN

DATE  
02-09-21

SCALE  
1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY REPRODUCTION OR TRANSMISSION OF ANY PART HEREOF WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY, AIA, IS PROHIBITED.

A1-1

## SITE PLAN GENERAL NOTES:

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
3. EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N.
5. FOR ALL FINISH GRADES, SEE GRADING AND DRAINAGE PLANS PREPARED BY CIVIL ENGINEER.
6. FOR ALL EXTERIOR HARD SURFACES, SEE GRADING AND DRAINAGE PLANS PREPARED BY CIVIL ENGINEER.
7. LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY.
8. FOR ALL NEW RAINWATER DOWNSPOUTS, SEE GRADING AND DRAINAGE PLANS PREPARED BY CIVIL ENGINEER.
9. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS.
10. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS.
11. TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
12. SEE COVER SHEET, FLOOR PLAN, AND BEST PRACTICES MANAGEMENT SHEET FOR ADDITIONAL PROJECT INFORMATION.
13. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE.
14. SEE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER FOR ADDITIONAL INFORMATION.
15. THE BUILDING SHALL HAVE THE ADDRESS AND BUILDING NUMBER IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AS REQUIRED BY CBC.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR AN ENCROACHMENT PERMIT FOR ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY.
17. ALL CONSTRUCTION AND RELATED ACTIVITIES SHALL BE ALLOWED ONLY DURING THE HOURS OR 8:00AM TO 5:00PM MONDAY THROUGH FRIDAY, AND 10:00AM TO 5:00PM ON SATURDAY. NO CONSTRUCTION ACTIVITY OR RELATED ACTIVITIES SHALL BE ALLOWED OUTSIDE OF THE AFOREMENTIONED HOURS OR ON SUNDAYS AND THE FOLLOWING HOLIDAYS: NEW YEAR'S DAY, 4TH OF JULY, LABOR DAY, THANKSGIVING AND CHRISTMAS DAY.

## LANDSCAPE GENERAL NOTES:

### LANDSCAPE IRRIGATION:

1. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A PERMANENT IRRIGATION SYSTEM FOR ALL USES. IRRIGATION SYSTEMS SHALL BE DESIGNED AND MAINTAINED TO PREVENT WATER WASTE (E.G. RUNOFF OR OVER-SPRAY). IRRIGATION CONTROLLERS SHALL BE CAPABLE OF MULTIPLE PROGRAMMING AND INCORPORATE SENSORS TO OVERRIDE THE CALL FOR WATER DURING RAIN OR IF THE SOIL IS STILL MOIST. IRRIGATION CONTROLLERS AND BACK-FLOW DEVICES SHALL BE SCREENED FROM PUBLIC VIEW. IRRIGATION SHALL ONLY OCCUR BETWEEN 8 P.M. AND 10 A.M. SEE WATER-EFFICIENT LANDSCAPING CHECKLIST FOR DETAILED REQUIREMENTS.

### PLANTING, SOIL MANAGEMENT AND WATER FEATURES:

1. PLANT SELECTION AND INSTALLATION MUST BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURAL INDUSTRY PRACTICES. SEE LANDSCAPING RESOURCES HANDOUT. PROJECTS MAY BE REQUIRED TO PLANT A MINIMUM NUMBER AND SIZE OF TREES, SHRUBS, ETC.
2. PLANTS WITH SIMILAR WATER NEEDS MUST BE GROUPED IN THE SAME AREA ("HYDROZONE").

3. TALL FESCUE OR SIMILAR TURF REQUIRING LESS WATER MUST BE USED FOR TURF TURF MUST NOT BE PLANTED ON SLOPES GREATER THAN 10%.
4. A MINIMUM 2-IN. LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL.
5. SOIL AMENDMENTS (I.E. USE OF COMPOST) AND STRUCTURED SOIL SHALL BE INCORPORATED BASED ON WHAT IS APPROPRIATE FOR SELECTED PLANTS.
6. WATER FEATURES (I.E. FOUNTAINS) MUST HAVE A RECIRCULATING WATER SYSTEM AND USE RECYCLED WATER IF AVAILABLE. COVERS ARE STRONGLY RECOMMENDED FOR POOLS AND SPAS.

### SITE DRAINAGE:

1. SITE DRAINAGE SHALL NOT BE DIRECTED ACROSS ANY PROPERTY LINES.

### PLANT MATERIAL:

1. PLANT MATERIAL SHALL HAVE A VARIETY OF SHRUBS, VINES, GROUND COVERS AND SHALL BE SIZED AND SPACED TO ACHIEVE IMMEDIATE EFFECT.
2. TURF SHALL BE TALL FESCUE OR SIMILAR TURF REQUIRED LESS WATER.

### PLANNING AND ZONING DATA:

ADDRESS: 136 DOUGLANE AVENUE  
SANTA CLARA, CA 95050  
APN: 303-19-065  
ZONING: R1-4 SINGLE STORY  
EXISTING LOT SIZE: 8,823 SQ. FT.  
MIN. LOT AREA: 4,000 SF  
MIN. LOT WIDTH: 40 FT  
MAX. HEIGHT: 25 FT  
ALLOWABLE SETBACKS:  
MIN. FRONT SETBACK = 20 FT  
MIN. SIDE SETBACKS = 5 FT  
MIN. REAR SETBACK = 20 FT  
MINIMUM LANDSCAPE COVERAGE AT FRONT YARD: 35%  
2-COVERED PARKING SPACES REQUIRED

### FLOOR AREA CALCULATIONS:

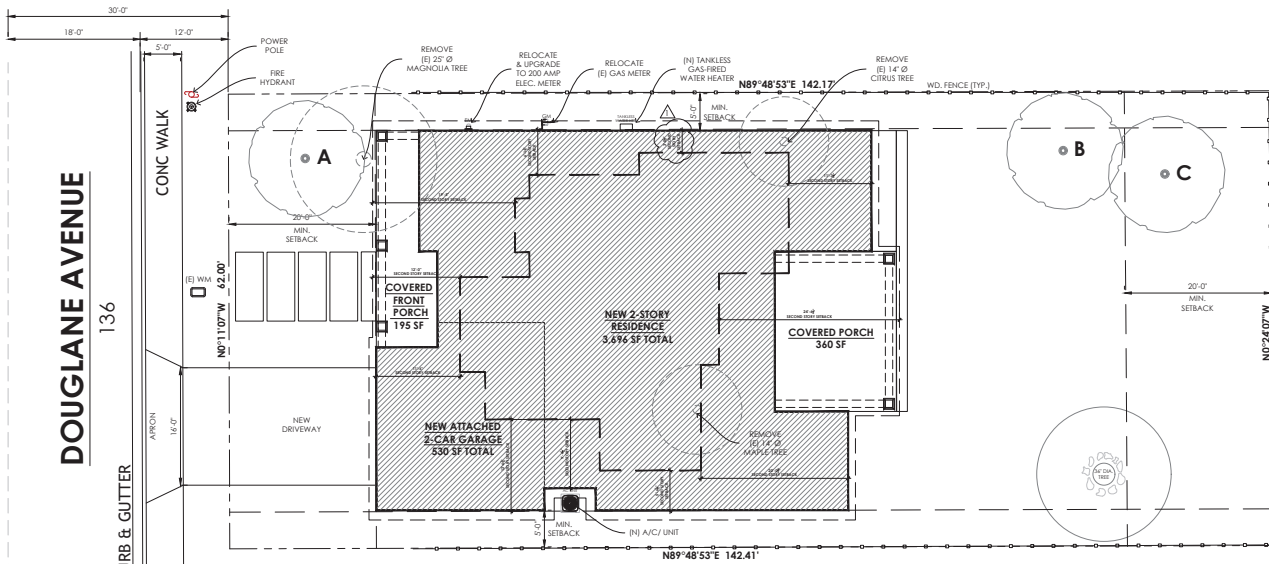
EXISTING FLOOR AREA (SQ. FT.):  
MAIN FLOOR: 1,169 SF  
UPPER FLOOR: 612 SF  
TOTAL: 1,781 SF  
18.12 119 MAXIMUM BUILDING COVERAGE  
BUILDINGS, INCLUDING ACCESSORY BUILDINGS, SHALL NOT COVER A TOTAL OF MORE THAN FORTY PERCENT (40%) OF THE AREA OF ANY LOT. (CDD: 1.889 I.S. 11-14-9% ZONING CHD. 1-8-10)

PROPOSED FLOOR AREA (SQ. FT.):  
MAIN FLOOR: 2,407 SF  
UPPER FLOOR: 1,992 SF  
TOTAL: 3,499 SF  
BUILDING COVERAGE (SQ. FT.):  
MAIN FLOOR: 2,407 SF  
TWO-CAR GARAGE: 530 SF  
FRONT PORCH: 195 SF  
REAR PORCH: 340 SF  
TOTAL: 3,472 SF

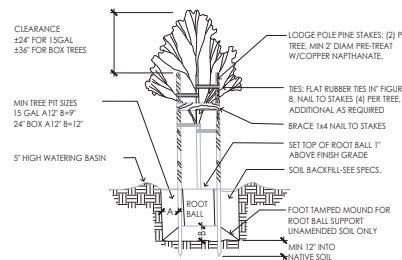
3,492 SF < 8,823 = 39.6% < 40% MAXIMUM

2ND FLOOR AREA RATIO:  
1.289  
2,407 / 530 = 2.137

1.289 / 2.937 = 43.9% < 64% MAX. ALLOWED



PROPOSED NEW TREES				
Tree Number	Tree Name	Tree Size	Notes / Location	
A	'ARBUTUS MARINA' STRAWBERRY TREE	24" BOX	FRONT YARD REPLACEMENT TREE	
B	'LAGERSTROEMIA TUSCARORA' CRAPE MYRTLE	24" BOX	REAR YARD REPLACEMENT TREE	
C	'OLEA LITTLE OLLIE' DWARF OLIVE	15 GAL	REAR YARD REPLACEMENT TREE	



TYPICAL TREE PLANTING DETAIL

1/2" = 1'-0"

## PROPOSED SITE PLAN



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLANE AVENUE, SANTA CLARA, CA 95050

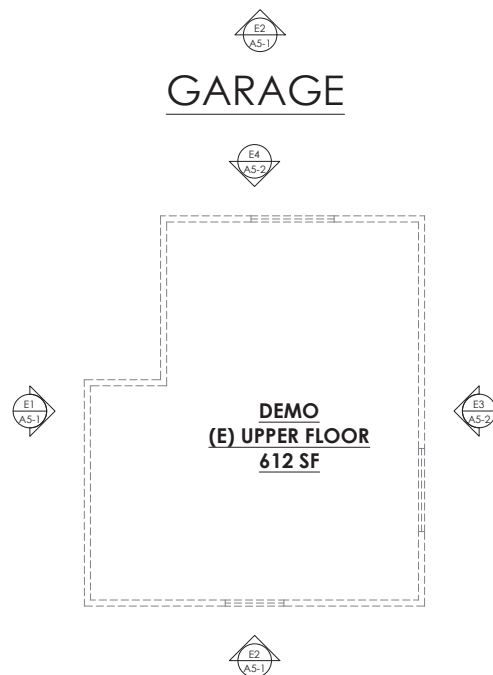
DATE	SUBMITTAL
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

## SITE PLAN

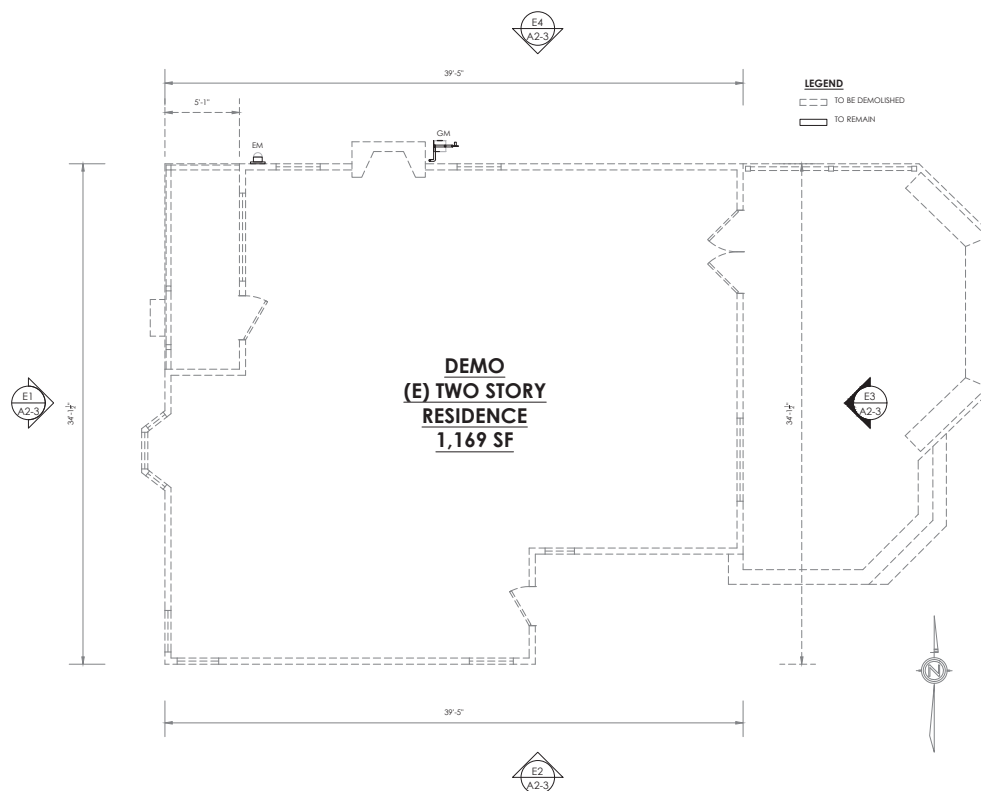
DATE	SCALE
02-09-21	1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY AND ALL REUSE OR REPRODUCTION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY IS PROHIBITED.

A1-2



## SECOND FLOOR



## MAIN FLOOR

## EXISTING FLOOR PLANS

**GENERAL DEMOLITION NOTES:**


1. DURING DEMOLITION AND CONSTRUCTION, THE APPLICANT AND CONTRACTOR MUST ENSURE THAT TRASH IS REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED GARBAGE HAULER. ALLEED WASTE SERVICES.
2. THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE GARBAGE AND TRASH FROM THE PROJECT SITE FOR THEIR OWN EQUIPMENT AND VEHICLES, AS PART OF A TOTAL CONSTRUCTION, REMODELING OR DEMOLITION SERVICE OFFERED BY THAT CONTRACTOR.
3. USE CALGREEN REDUNDANT CHECKLIST AND NOTES, SHEET 00, FOR ADDITIONAL INFORMATION ON THE HANDLING OF CONSTRUCTION WASTE FOR THIS PROJECT.
4. PROVIDE PROPER EROSION & STRUCTURAL SUPPORT AS REQUIRED THROUGHOUT CONSTRUCTION.
5. PROTECT EXISTING TREES ON PROJECT SITE DURING DEMOLITION AND CONSTRUCTION. FOLLOW CITY GUIDELINES, AND TREE PROTECTION MEASURES FROM THE PLAN AREA.
6. MAINTAIN STRICT CONTROL OF DUST, DEBRIS AND NOISE EMANATING FROM THE PROJECT AREA. KEEP PROJECT AREA AND ALL PUBLIC ACCESS ROUTES BROOM CLEAN AND CLEAR OF DUST, DEBRIS, OR ANY HAZARDS ON A DAILY BASIS.
7. ANY ITEMS FOUND OR CONDITIONS DISCOVERED DURING DEMOLITION THAT WILL IMPACT THE DESIGN OF THIS PROJECT ARE TO BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER IMMEDIATELY.



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #201  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLANE AVENUE, SANTA CLARA, CA 95050

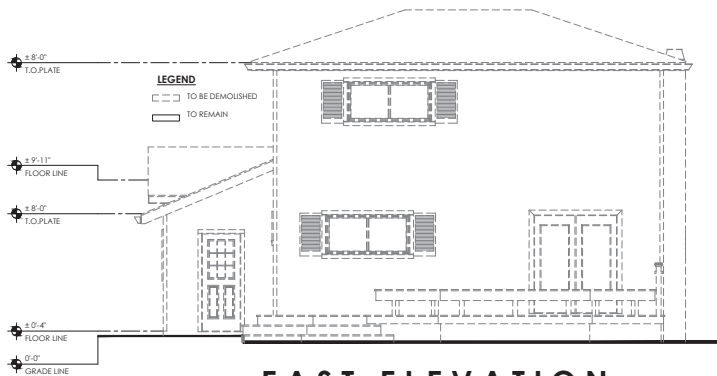
SUBMITTALS:	
Date	Description
02-09-21	DESIGN REVIEW SET
4-7-21	 PLAN RESPONSE

EXISTING  
FLOOR PLAN

<b>DATE:</b> 02-09-21	<b>SCALE:</b> $\frac{1}{4"} = 1'-0"$
--------------------------	---

ALL DRAWINGS AND WRITTEN MATERIAL APPEAR HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ROBIN MCCARTHY ARCH STUDIO, INC. AND MAY NOT BE DUPLICATED WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY ARCH STUDIO, INC.

A2-1



## EAST ELEVATION

VIEW FROM BACK YARD

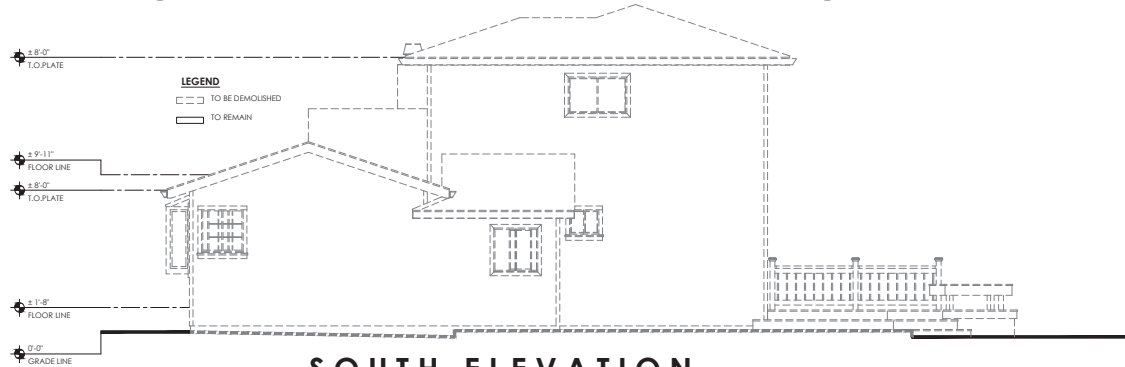
1/4" = 1'-0"



## WEST ELEVATION

VIEW FROM STREET

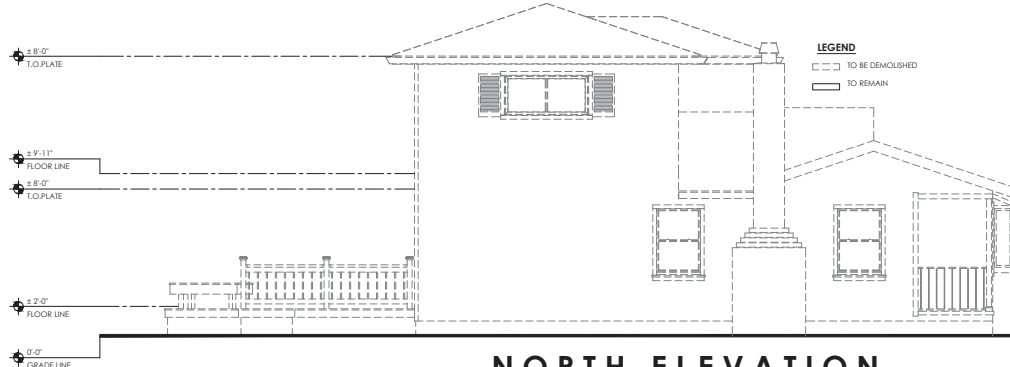
1/4" = 1'-0"



## SOUTH ELEVATION

VIEW FROM SIDE YARD

1/4" = 1'-0"



## NORTH ELEVATION

VIEW FROM SIDE YARD

1/4" = 1'-0"

# EXISTING ELEVATIONS

### SCOPE OF WORK:

1. DEMOLISH WALLS AS INDICATED ON DEMO PLAN.
2. REMOVE & REPLACE ALL EXISTING INSULATION, GYPSUM BOARD; MATCH EXISTING WALL / CEILING TEXTURE; NEW PAINT AT REMODELED AREAS.
3. REPAIR EXISTING FOUNDATION AND FRAMING AS REQUIRED BY CONDITION OR AS INDICATED IN STRUCTURAL ENGINEERING DRAWINGS.
4. REPAIR, REPLACE AND PROVIDE NEW FOUNDATION VENTS AS REQUIRED TO ADEQUATELY SUPPLY AIR IN CRAWL SPACE.
5. REPLACE EXISTING ROOF FRAMING, SHEATHING, AND ROOF COVERING AS INDICATED IN ARCHITECTURAL & STRUCTURAL PLANS.
6. REPLACE ALL EXISTING FLOORING.
7. MATCH EXISTING DOORS, WINDOWS, AND TRIM.
8. UPDATE ANY ELECTRICAL, AND PLUMBING AFFECTED BY INTERIOR REMODEL.



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERRIMAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLAN AVENUE, SANTA CLARA, CA 95050

DATE	SUBMITTAL
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

### EXISTING ELEVATIONS

DATE: 02-09-21

SCALE: 1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS WORK WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY, AIA, IS PROHIBITED.

A2-2



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLANE AVENUE, SANTA CLARA, CA 95050

DATE	SUBMITTAL
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

PROPOSED  
MAIN FLOOR  
PLAN

DATE  
02-09-21

SCALE  
1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY  
REPRODUCTION OR TRANSMISSION IN ANY FORM  
AND BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY

A3-1

# WINDOW & SKYLIGHT SCHEDULE

## FIRST FLOOR

NO.	QTY.	SIZE OF OPENING	TYPE	EXT. FRAME	GLAZING	SPEC. NOTES
1	2	1'-2" X 8'-0"	FIXED SKYLIGHT	DOUGLAS FIR	D.G., TEMP. GL.	MATCH ENTRANCE DOOR
2	1	8'-0" X 5'-0"	CSMT. VCLD	WIND-CLAD	D.G., LOW-E4	
3	1	2'-6" X 5'-0"	CSMT. VCLD	WIND-CLAD	D.G., LOW-E4	EGRESS COMPLIANT
4	1	2'-0" X 3'-6"	CSMT. VCLD	WIND-CLAD	D.G., LOW-E4	TEMP., OBSCURED GLASS
5	1	4'-0" X 2'-6"	AWNING	WIND-CLAD	D.G., LOW-E4	TEMP., OBSCURED GLASS
6	1	2'-0" X 2'-0"	AWNING	WIND-CLAD	D.G., LOW-E4	EGRESS COMPLIANT
7	4	2'-6" X 5'-0"	CSMT. VCLD	WIND-CLAD	D.G., LOW-E4	
8	1	8'-0" X 5'-0"	CSMT. VCLD	WIND-CLAD	D.G., LOW-E4	
9	1	6'-0" X 5'-0"	DBL. CSMT.	WIND-CLAD	D.G., LOW-E4	
10	1	5'-0" X 4'-6"	DBL. CSMT.	WIND-CLAD	D.G., LOW-E4	
11	1	4'-0" X 4'-6"	DBL. CSMT.	WIND-CLAD	D.G., LOW-E4	
12	1	6'-0" X 5'-0"	DBL. CSMT.	WIND-CLAD	D.G., LOW-E4	

### NOTE:

- ALL WINDOWS SHALL BE NEW VINYL-CLAD ANDERSON 100 SERIES OR EQUAL.
- ALL SKYLIGHT UNITS SHALL BE TESTED AND LABELED IN COMPLIANCE WITH AAMA/WDMA/CSA 1001.5 STAND. PER CRC SECTION 8308.4.9.
- PRIOR TO ORDER, MODEL AND STYLE SHALL BE VERIFIED BY OWNER AND ARCHITECT.
- PRIOR TO ORDER, SIZE SHALL BE CONFIRMED WITH FIELD MEASUREMENTS BY GENERAL CONTRACTOR.
- HEADER HT. @ 8'-0"; TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS

## DOOR SCHEDULE

### FIRST FLOOR

NO.	LOCATION	THK.	SIZE OF OPNG.	SPEC. NOTES	REMARKS
A	FOYER	1-3/4"	3'-0" X 8'-0"	EXT. S.C., DOUGLAS FIR, PAINT GRADE	ENTRY DOOR W/ SLEIGHTS SEE WINDOW SCHED.
B	OFFICE	1-3/8"	6'-0" X 8'-0"	INT. S.C., PANELLED	DBL. POCKET DOOR W/ TEMPERED GLASS PANEL
C	COAT CLOSET	1-3/8"	4'-0" X 8'-0"	INT. S.C., PANELLED	PAIR OF DOORS
D	CLOSET	1-3/8"	2'-0" X 8'-0"	INT. S.C., PANELLED	
E	OFFICE	1-3/8"	4'-0" X 8'-0"	INT. S.C., PANELLED	B-PASS SLIDING CLOSET DOORS
F	BATH NO. 1	1-3/8"	2'-6" X 8'-0"	INT. S.C., PANELLED	
G	BATH NO. 1	1-3/8"	2'-0" X 6'-8"	TEMP. GLASS SHOWER ENCL. DOOR	SHOWER DOOR
H	GRAND BEDROOM	1-3/8"	2'-8" X 8'-0"	INT. S.C., PANELLED	
I	GRAND BATH	1-3/8"	2'-6" X 8'-0"	INT. S.C., PANELLED	
J	GRAND BATH	1-3/8"	2'-0" X 8'-0"	TEMP. GLASS SHOWER ENCL. DOOR	SHOWER DOOR
K	GRAND CLOSET	1-3/8"	2'-6" X 8'-0"	INT. S.C., PANELLED	
L	GRAND BEDROOM	1-3/4"	6'-0" X 8'-0"	EXT. PAIR OF PATIO DOORS, TEMP. GL.	PAIR OF PATIO DOORS
M	FAMILY ROOM	1-3/4"	16'-0" X 8'-0"	B-FOLDING PATIO DOOR SYS., TEMP. GL.	B-FOLDING PATIO DOOR SYSTEM
N	NOT USED	---	---		
O	PANTRY	1-3/8"	2'-4" X 8'-0"	INT. FRAMED PROTECTED GLASS DOOR	
P	LAUNDRY	1-3/8"	2'-4" X 8'-0"	INT. S.C., PANELLED	
Q	GARAGE	1-3/8"	2'-8" X 8'-0"	S.C. 20 MFR. FIRE-RATED DOOR	W/ AUTOMATIC SELF-CLOSURE
R	MUD ROOM	1-3/8"	3'-0" X 8'-0"	INT. S.C., PANELLED	POCKET DOOR
S	MUD ROOM	1-3/8"	2'-8" X 8'-0"	S.C. 20 MFR. FIRE-RATED DOOR	W/ AUTOMATIC SELF-CLOSURE
T	GARAGE	1-3/4"	2'-8" X 8'-0"	EXT. S.C., PANELLED	
U	GARAGE	---	16'-0" X 8'-0"	AUTOMATIC GARAGE DOOR	

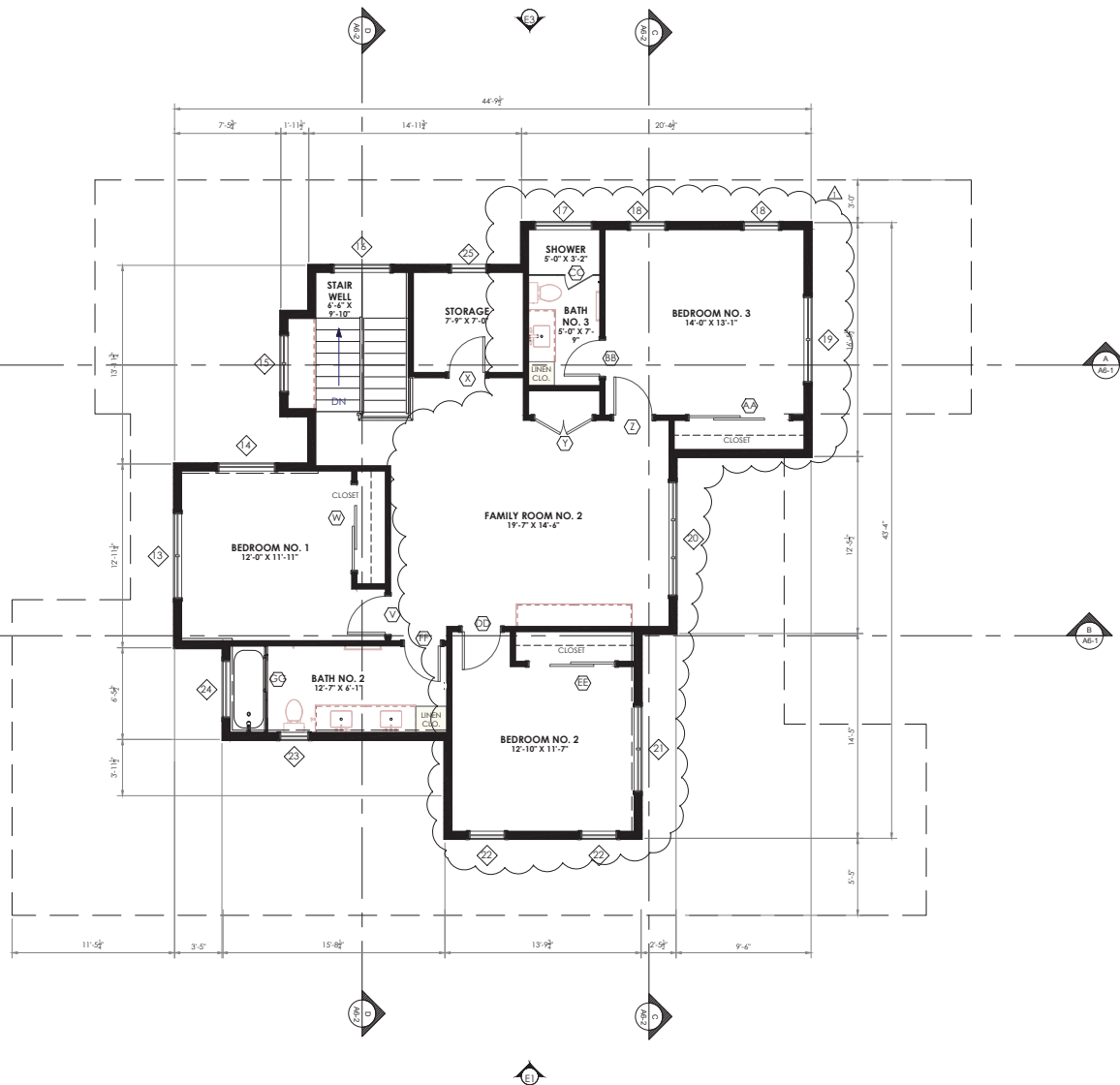
### NOTE:

- ALL INTERIOR DOORS SHALL BE A 2-PANEL SHAKER STYLE SOLID WOOD DOOR, U.O.N.
- ALL PATIO DOORS SHALL BE NEW ALUM.-CLAD ANDERSON OR EQUAL.
- PRIOR TO ORDER, MODEL AND STYLE SHALL BE VERIFIED BY OWNER AND ARCHITECT.
- PRIOR TO ORDER, SIZE SHALL BE CONFIRMED WITH FIELD MEASUREMENTS BY GENERAL CONTRACTOR.
- ALL INTERIOR DOORS ARE PAINT GRADE SOLID WOOD DOORS, U.O.N. SEE SCHEDULE.
- HEADER HT. @ 8'-0"; TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS

# PROPOSED MAIN FLOOR PLAN



# PROPOSED UPPER FLOOR PLAN



WINDOW & SKYLIGHT SCHEDULE						
SECOND FLOOR						
13	1	6'-0" X 5'-0"	DBL. CSMT.	VINYL-CLAD	D.G., LOW-E4	EGRESS COMPLIANT
14	1	6'-0" X 2'-6"	AWNING	VINYL-CLAD	D.G., LOW-E4	
15	1	4'-0" X 4'-0"	DBL. CSMT.	VINYL-CLAD	D.G., LOW-E4	
16	1	4'-0" X 6'-0"	FIXED	VINYL-CLAD	D.G., LOW-E4	
17	1	4'-0" X 2'-6"	AWNING	VINYL-CLAD	D.G., LOW-E4	
18	2	2'-6" X 2'-6"	AWNING	VINYL-CLAD	D.G., LOW-E4	
19	1	6'-0" X 5'-0"	DBL. CSMT.	VINYL-CLAD	D.G., LOW-E4	EGRESS COMPLIANT
20	1	8'-0" X 5'-0"	CASEMENT	VINYL-CLAD	D.G., LOW-E4	
21	1	6'-0" X 4'-6"	DBL. CSMT.	VINYL-CLAD	D.G., LOW-E4	EGRESS COMPLIANT
22	2	2'-6" X 2'-6"	AWNING	VINYL-CLAD	D.G., LOW-E4	
23	1	2'-0" X 4'-0"	CSMT.	VINYL-CLAD	D.G., LOW-E4	
24	1	4'-0" X 2'-6"	AWNING	VINYL-CLAD	D.G., LOW-E4	
25	1	2'-4" X 2'-6"	AWNING	VINYL-CLAD	D.G., LOW-E4	
<b>NOTE:</b> 1. ALL WINDOWS SHALL BE NEW VINYL-CLAD ANDERSON 100-SERIES OR EQUAL. 2. ALL SKYLIGHT UNITS SHALL BE TESTED AND LABELED IN COMPLIANCE WITH ANNA/WDMA/ICSA 101/1.5.2/AA40 PER CRC SECTION R308.4.9 3. PRIOR TO ORDER, MODEL AND STYLE SHALL BE VERIFIED BY OWNER AND ARCHITECT. 4. PRIOR TO ORDER, SIZE SHALL BE CONFIRMED WITH FIELD MEASUREMENTS BY GENERAL CONTRACTOR. 5. HEADER HT. @ 8'-0", TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS						
DOOR SCHEDULE						
SECOND FLOOR						
V	BEDROOM NO. 1	1-3/8"	2'-8" X 8'-0"	INT. S.C., PANELED		B-PASS SLIDING CLOSET DOOR
W	BEDROOM NO. 1	1-3/8"	6'-0" X 8'-0"	INT. S.C., PANELED		
X	STORAGE	1-3/8"	2'-4" X 8'-0"	INT. S.C., PANELED		PAIR OF CLOSET DOORS
Y	FAMILY ROOM NO. 2	1-3/8"	4'-0" X 8'-0"	INT. S.C., PANELED		
Z	BEDROOM NO. 3	1-3/8"	2'-8" X 8'-0"	INT. S.C., PANELED		
AA	BEDROOM NO. 3	1-3/8"	7'-0" X 8'-0"	INT. S.C., PANELED		B-PASS SLIDING CLOSET DOOR
BB	BATH NO. 3	1-3/8"	2'-4" X 8'-0"	INT. S.C., PANELED		
CC	BATH NO. 3	1-3/8"	2'-0" X 6'-8"	TEMP. GLASS SHOWER ENCL. DOOR		SHOWER DOOR
DD	BEDROOM NO. 2	1-3/8"	2'-8" X 8'-0"	INT. S.C., PANELED		
EE	BEDROOM NO. 2	1-3/8"	6'-0" X 8'-0"	INT. S.C., PANELED		B-PASS SLIDING CLOSET DOOR
FF	BATH NO. 2	1-3/8"	2'-4" X 8'-0"	INT. S.C., PANELED		
GG	BATH NO. 2	1-3/8"	2'-2" X 6'-8"	TEMP. GLASS SHOWER ENCL. DOOR		SLIDING SHOWER DOOR
<b>NOTE:</b> 1. ALL INTERIOR DOORS SHALL BE A 2-PANEL SHAKER STYLE SOLID WOOD DOOR, U.O.N. 2. ALL PATIO DOORS SHALL BE NEW ALUM.-CLAD ANDERSON OR EQUAL. 3. PRIOR TO ORDER, MODEL AND STYLE SHALL BE VERIFIED BY OWNER AND ARCHITECT. 4. PRIOR TO ORDER, SIZE SHALL BE CONFIRMED WITH FIELD MEASUREMENTS BY GENERAL CONTRACTOR. 5. ALL INTERIOR DOORS ARE PAINT GRADE SOLID WOOD DOORS, U.O.N. SEE SCHEDULE. 6. HEADER HT. @ 8'-0", TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS.						



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLASS AVENUE, SANTA CLARA, CA 95050

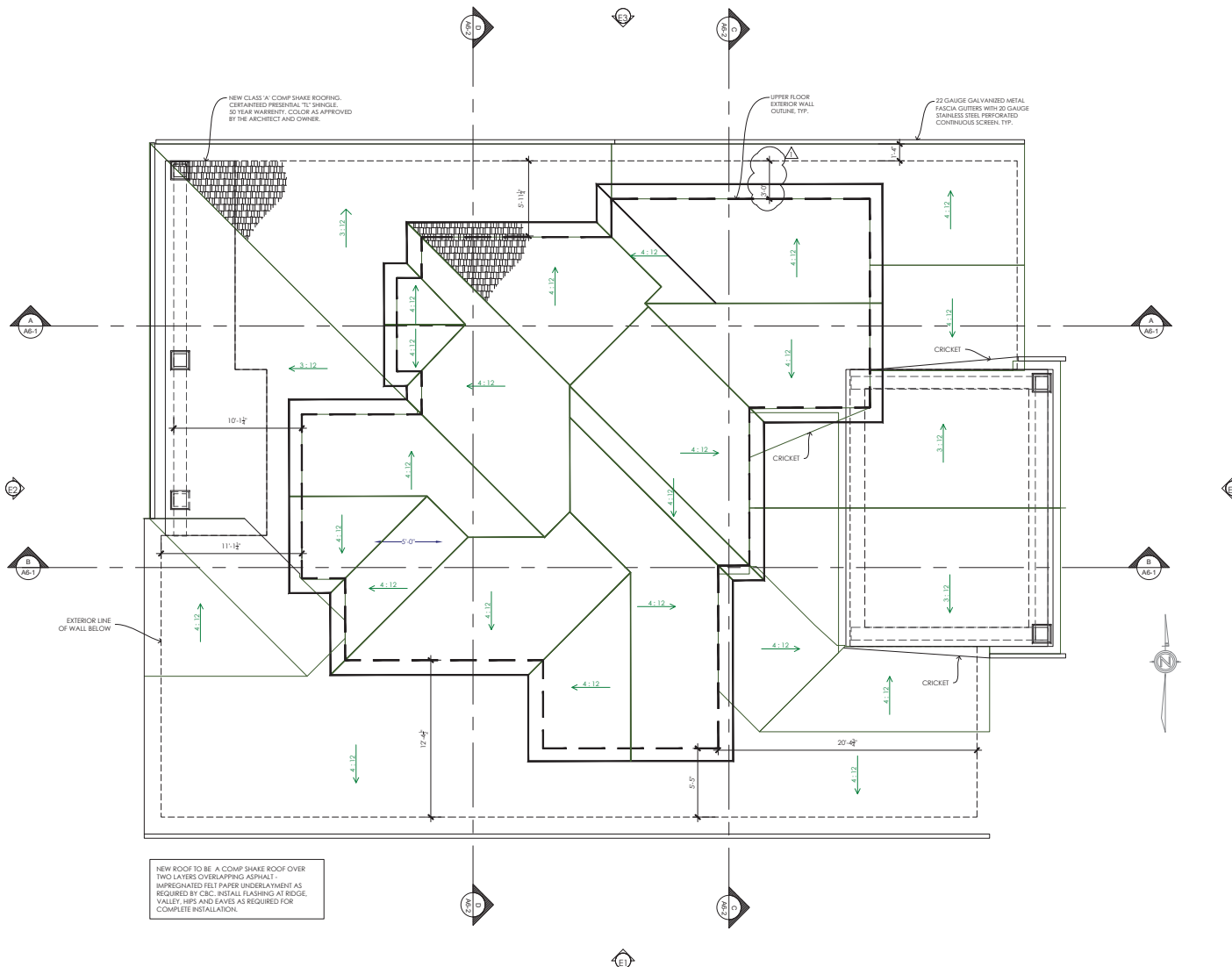
PROPOSED  
UPPER FLOOR  
PLAN

DATE  
02-07-21

SCALE  
1/4" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY. ANY REPRODUCTION OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY.

A3-2



# ROOF PLAN

## ROOF PLAN GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD.
3. PROVIDE NEW COMPOSITION SHINGLE "CLASS A" ROOF COVERING. STYLE AND COLOR TO BE DETERMINED BY OWNER.
4. CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
5. PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS RWL) SHALL MATCH ROOF COLOR.
6. PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED BATTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATING SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (100) SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.

## VENTILATION REQUIREMENTS FOR ROOF:

A. SEE ROOF VENTILATION CALCULATIONS ON ROOF PLAN.

B. PROVIDE LOW EAVE AND RIDGE LINE VENTILATION.

1. PROVIDE 22X37" MINIMUM OPENING FOR ATTIC ACCESS OR AS LARGE AS THE LARGEST COMPONENT OF APPLIANCE LOCATED IN ATTIC.
2. PROVIDE DIMENSIONS FOR ALL ROOF OVERHANGS AS INDICATED ON THE PLANS AND DETAILS.
3. SEE STRUCTURAL DRAWINGS AND ARCHITECTURAL DETAILS FOR ADDITIONAL LAYOUT INFORMATION. COORDINATE STRUCTURAL SYSTEM WITH ARCHITECTURAL DRAWINGS. IF THERE ANY DISCREPANCIES, PLEASE REPORT TO THE ARCHITECT AS NECESSARY.



ROBIN MCCARTHY, AIA  
ARCHITECT #C29767  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLANE AVENUE, SANTA CLARA, CA 95050

DATE	SUBMITTAL
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

## PROPOSED ROOF PLAN

DATE  
02-09-21

SCALE  
1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY IS PROHIBITED.

A4-1





## WEST ELEVATION

VIEW FROM STREET

1/4" = 1'-0"



## SOUTH ELEVATION

VIEW FROM SIDE YARD

1/4" = 1'-0"

# PROPOSED EXTERIOR ELEVATIONS

### EXTERIOR ELEVATION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.

2. SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.

3. **EXTERIOR WALL COVERING:** (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).

**GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT OF THE FOLLOWING:**

A. PROVIDE CEMENT BOARD, HARDIE HORIZONTAL SIDING, BOARD & BATTEN AT GABLE ENDS, CORNER TRIMS, AND ALL EXPOSED TRIM BOARDS AT ALL LOCATIONS SHOWN ON ELEVATIONS. SEE AND FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION DETAILS.

C. PROVIDE ADHERED NATURAL THIN STONE VENEER AT ALL BASE OF RESIDENCE AS ILLUSTRATED ON THE EXTERIOR ELEVATIONS, COLUMNS AT PORCH.

SEE SHEETS AB-1, AB-2 AND AB-3 FOR DETAILS FOR ATTACHMENT.

4. **TRIMS, EXTERIOR DOORS, SHUTTERS, CORBELS AND OTHER MISC. ACCENTS:**

ALL MATERIALS TO THE EXTENT POSSIBLE SHALL BE CEMENT BD. OR SIMILAR WITH PAINTED COLOR FINISH. SHALL BE SELECTED BY OWNER AND ARCHITECT.

5. **EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR:** PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY 'SIMPSON' OR 'JELD-WEN' OR SIMILAR BRAND. COLOR TO BE DETERMINED BY OWNER AND ARCHITECT. **GARAGE DOOR BY** 'OVERHEAD DOOR CO.' OR SIMILAR.

6. **PATIO DOORS & WINDOWS:** BY ANDERSON WINDOW CO. OR SIMILAR. ALUMINUM CLAD EXTERIOR FRESH PRIMED WOOD INTERIOR FINISH. COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.

7. **CHIMNEY / FLUE:** SHALL EXTEND AT LEAST 2 FT. ABOVE THE HIGHEST ELEVATION OF ANY PORTION OF THE BUILDING WITHIN 10 FT. OF THE CHIMNEY.

8. **PROVIDE VAPOR BARRIER:** (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

9. **BUILDING ADDRESS:** SHALL BE CLEARLY VISIBLE AND LEGIBLE FROM THE ADJACENT PUBLIC WAY OR STREET. ADDRESS LETTERS / NUMBERS SHALL BE MINIMUM 4 INCHES HIGH, WITH A MINIMUM STROKE WIDTH OF 1/2 INCH, AND SHALL CONTRAST WITH THEIR BACKGROUND. IF BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AND ACCESS TO THE DWELLING IS PROVIDED BY A PRIVATE ROAD, THEN SHOW LOCATION OF A MONUMENT OR POLE SIGN USED TO IDENTIFY THE SITE ADDRESS. CRC SECTION R319.



ROBIN MCCARTHY, AIA  
ARCHITECT #C27767  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:

**TEE RESIDENCE**

136 DOUGLAN AVENUE, SANTA CLARA, CA 95050

DATE	DESCRIPTION
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

**PROPOSED  
EXTERIOR  
ELEVATIONS**

DATE  
02-09-21

SCALE  
1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING  
HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED  
WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY  
REPRODUCTION OR TRANSMISSION OF ANY PART  
HEREOF WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY

**A5-1**



## EAST ELEVATION

VIEW FROM BACK YARD

1/4" = 1'-0"



## NORTH ELEVATION

VIEW FROM SIDE YARD

1/4" = 1'-0"

# PROPOSED EXTERIOR ELEVATIONS

## EXTERIOR ELEVATION NOTES:

1. SEE SHEET A5-1 FOR ADDITIONAL INFORMATION.



ROBIN MCCARTHY, AIA  
ARCHITECT MC27167  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLASS AVENUE, SANTA CLARA, CA 95050

DATE	SUBMITTAL
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

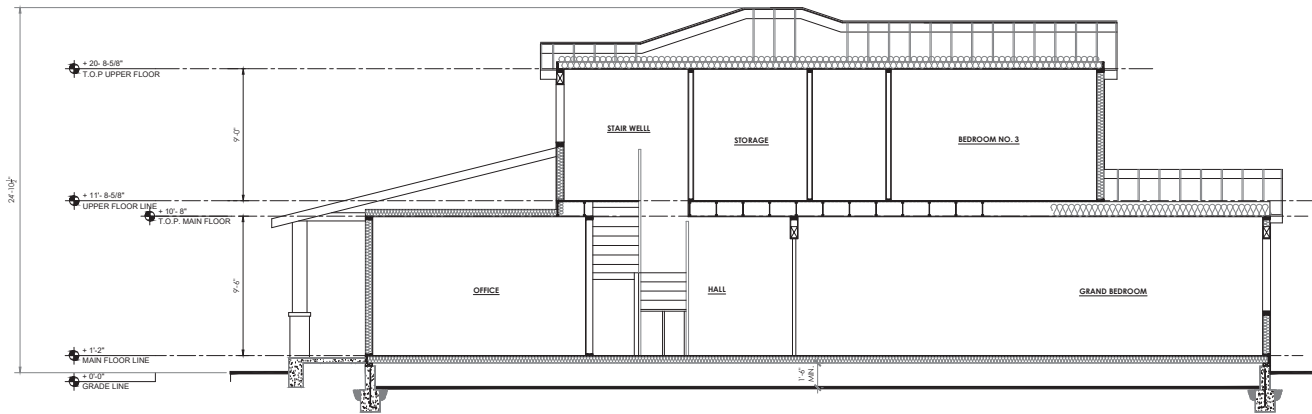
## PROPOSED EXTERIOR ELEVATIONS

DATE  
02-09-21

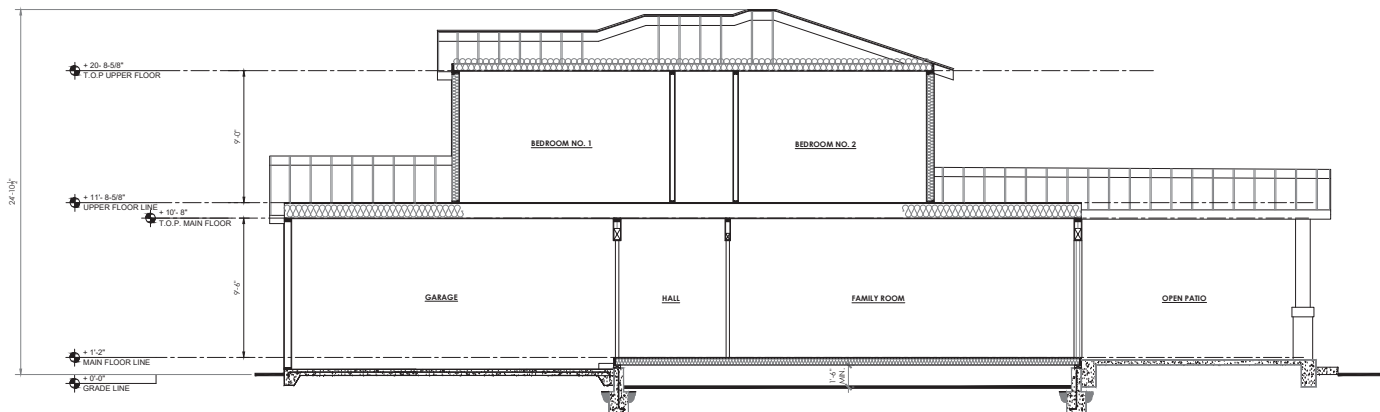
SCALE  
1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE PROPERTY OF ARCHITECT ROBIN MCCARTHY, AIA. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ARCHITECT ROBIN MCCARTHY, AIA.

A5-2



SECTION A - A  
1/4" = 1'-0"



SECTION B - B  
1/4" = 1'-0"

## BUILDING SECTIONS

### BUILDING SECTION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION.
3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.



ROBIN MCCARTHY, AIA  
ARCHITECT #C27167  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLAN AVENUE, SANTA CLARA, CA 95050

DATE	SUBMITTAL
02-07-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

### BUILDING SECTIONS

DATE: 02-07-21  
SCALE: 1/4" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY IS PROHIBITED.

A6-1



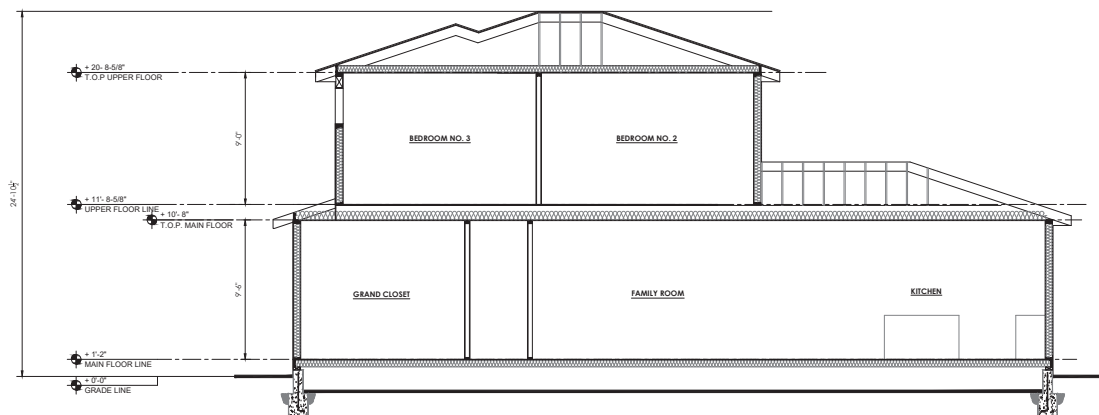
ROBIN MCCARTHY, AIA  
ARCHITECT #C29167  
1155 MERIDIAN AVE. #207  
SAN JOSE, CA 95125



PROPOSED NEW CONSTRUCTION FOR:  
**TEE RESIDENCE**  
136 DOUGLASS AVENUE, SANTA CLARA, CA 95050

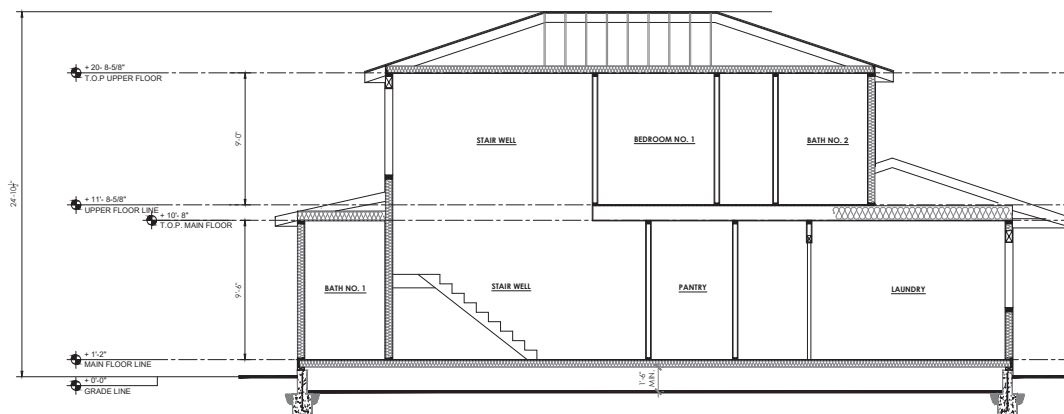
#### BUILDING SECTION NOTES:

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION.
3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.



#### SECTION C-C

1/4" = 1'-0"



#### SECTION D-D

1/4" = 1'-0"

## BUILDING SECTIONS

DATE	SUBMITTAL
02-09-21	DESIGN REVIEW SET
4-7-21	PLAN RESPONSE

#### BUILDING SECTIONS

DATE  
02-09-21

SCALE  
1" = 1'-0"

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF ARCHITECT ROBIN MCCARTHY, AIA. ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS WORK WITHOUT THE WRITTEN CONSENT OF ROBIN MCCARTHY, AIA, IS PROHIBITED.

A6-2