

REVISION	BY



SAN JOSE, CA 95129
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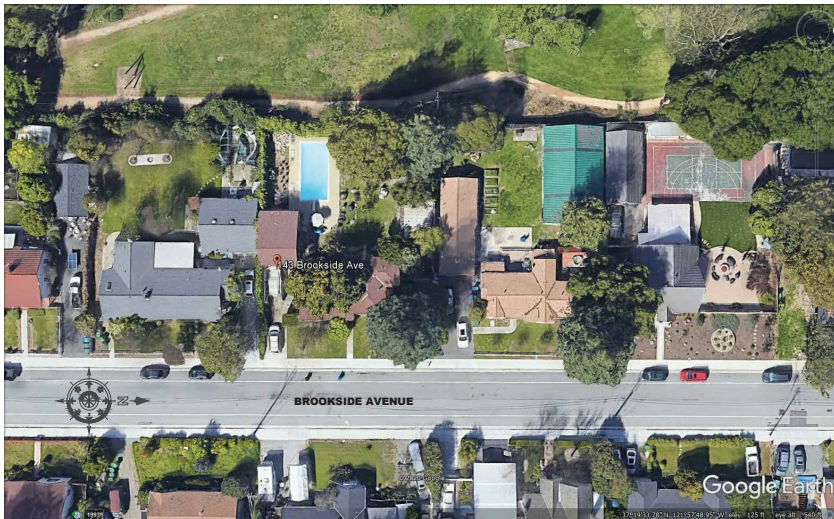
NEW DETACHED SINGLE-FAMILY RESIDENCE

143 BROOKSIDE AVE
SANTA CLARA, CA 95050
TEL 408/350-2700

TEL: (408) 252-2183

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OCCUPANCY GROUP:.....R3 (DWELLING)
U (GARAGE)

NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SIGNED PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
3. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
4. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY RW ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SITE BENCHMARK:

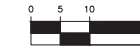
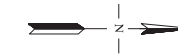
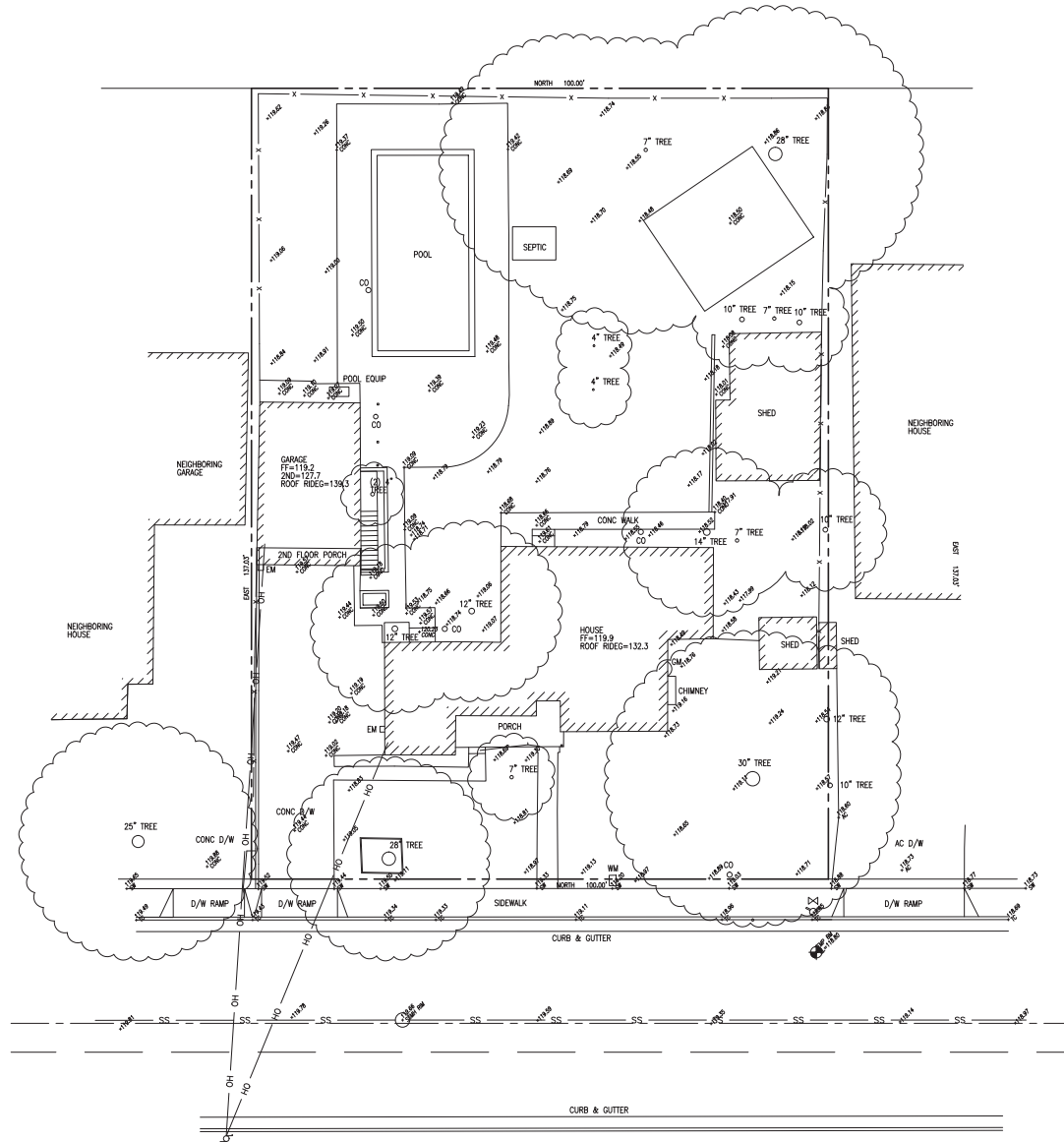
SET NAIL
ELEVATION= 118.80 NAVD 1988 DATUM

BASIS OF BEARINGS:

THE BEARING NORTH OF THE CENTERLINE OF BROOKSIDE AVENUE AS SHOWN ON TRACT MAP NO. 85, FILED FOR RECORD IN BOOK 3 OF MAPS AT PAGE 32, SANTA CLARA COUNTY RECORDS.

SITE DATA:

143 BROOKSIDE AVENUE
SANTA CLARA, CA
LOT 40 TRACT NO. 85
APN: 303-22-029
AREA= 13,703 S.F.



ABBREVIATION

AD	AREA DRAIN
A.E.	ANCHOR EASEMENT
AC	ASPHALT CONCRETE
BR	BRICK
C/G	CURB & GUTTER
DI	DRAIN INLET
FF	FINISH FLOOR GRADE
FL	FLOWLINE
GM	GAS METER
LG	LIFT OF GUTTER
MB	MAIL BOX
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
S/W	SEWELINE
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
W.C.E.	WIRE CLEARANCE EASEMENT
WM	WATER METER

LEGEND

---	PROPERTY LINE
- - -	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
⊙	STREET LIGHT
□ PG&E	UTILITY BOX-TYPE AS NOTED
□ WM/GM	WATER/GAS METER
⋈	WATER VALVE
⊠	CURB CATCH BASIN
⊠	FIRE HYDRANT
○ MH	MANHOLE-TYPE AS NOTED
○ CO	SANITARY SEWER CLEANOUT
PP- OH	POWER POLE W/ OVERHEAD WIRE
●	BENCHMARK
200	CONTOUR LINE
⊙ MON	MONUMENT
○ 12"	TREE-TRUNK DIAMETER IN INCHES
○ 12"	SPEEDS NOTED WHEN KNOWN
—	GLY WIRE

RW ENGINEERING, INC.
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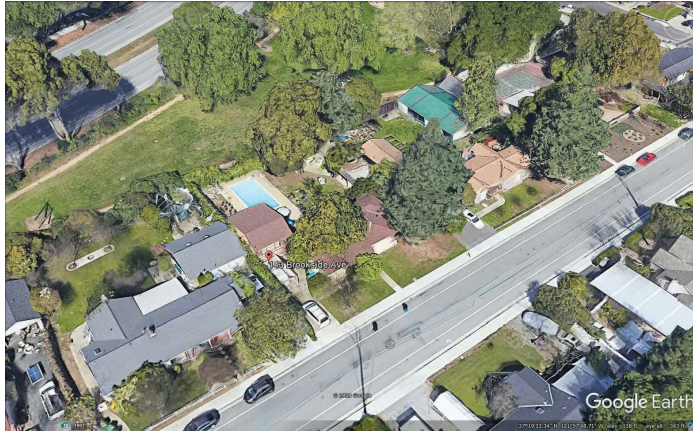


143 BROOKSIDE AVENUE
SANTA CLARA, CA

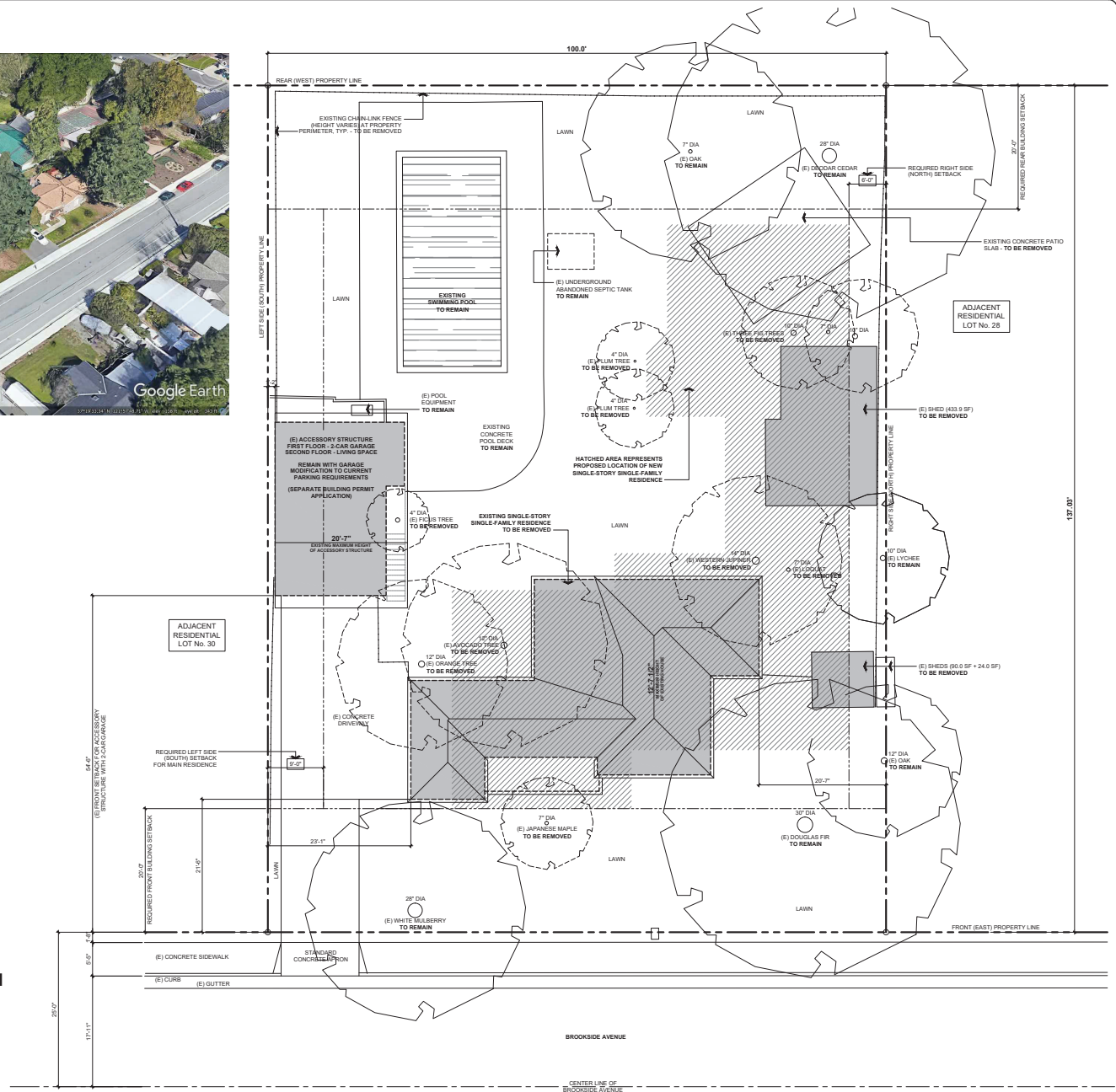
TOPOGRAPHIC MAP

DATE: 10/7/2020
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.


SU-1
OF 1 SHEETS



EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



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INCORPORATED

3339 PROSPECT ROAD, SUITE 101
SAN JOSE, CA 95129
PH: 408.266.0260
FX: 408.955.5157

CALIFORNIA LICENSE NO. B066070

**EXISTING
SITE PLAN**

NEW DETACHED SINGLE-FAMILY RESIDENCE

CONSTANTINE FILIN REVOCABLE TRUST
143 BROOKSIDE AVE
SANTA CLARA, CA 95050
TEL: (408) 202-2793


DATE:	06.24.2021
JOB No:	2020-06-003
SCALE:	AS NOTED
DRAWN BY:	AM
FILE:	



1. AREA OF REQUIRED FRONT YARD 100' X 20' = 2000 SQ. FT.
REQUIRED LANDSCAPED (PERVIOUS) AREA SHALL BE NOT
LESS THAN 35%.
PROPOSED PAVED (IMPERVIOUS) AREA: 496 SQ. FT. (< 25%)
PROPOSED LANDSCAPED (PERVIOUS) AREA: 1504 SQ. FT. (> 75%)

2. ON-SITE DRAINAGE SHALL BE DESIGNED SUCH THAT DRAINAGE
DOES NOT CROSS COMMON PROPERTY LINES.

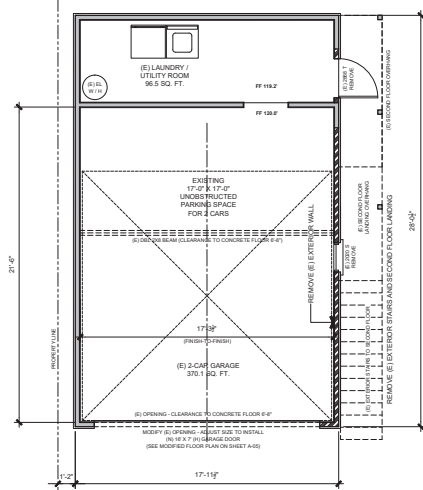


<p>NEW DETACHED SINGLE-FAMILY RESIDENCE</p> <p>CONSTANTINE FILM RELOCABLE TRUST 143 BROOKSIDE AVE. SANTA CLARA, CA 95050 TEL: (408) 262-2776</p>		<p>PROPOSED SITE PLAN</p>		<p>ARDEKON DESIGN AND CONSTRUCTION INCORPORATED</p> <p>5339 PROSPECT ROAD, SUITE 101 SAN JOSE, CA 95129 PH: 408.262.7565 PH: 408.262.7565 FX: 408.985.5757</p>		<p>REVISION</p> <p>BY</p>	
<p>DATE: 06.24.2021</p> <p>JOB NO: 2020-06-003</p> <p>SCALE: AS NOTED</p> <p>DRAWN BY: AM</p> <p>FILE:</p>				<p>CALIFORNIA LICENSE No. B3616070</p>		<p>A-02</p>	



EXISTING DETACHED ACCESSORY STRUCTURE SECOND FLOOR PLAN (LIVING SPACE)

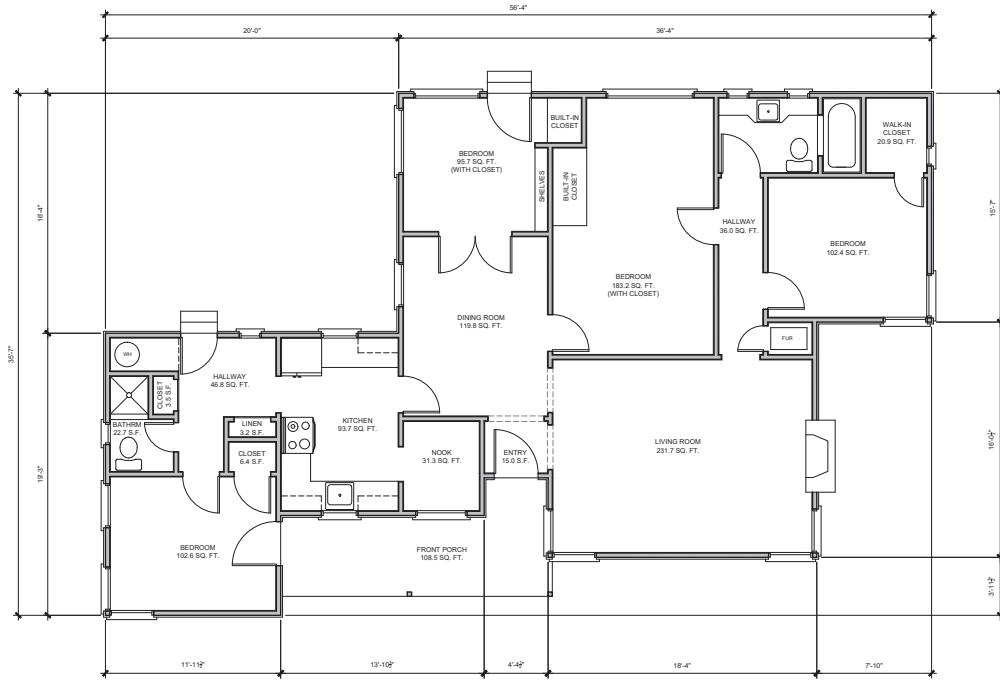
SCALE: 1/4" = 1'-0"



EXISTING DETACHED ACCESSORY STRUCTURE FIRST FLOOR PLAN (2-CAR GARAGE)

SCALE: 1/4" = 1'-0"

FOR EXISTING GARAGE MODIFICATION SEE SHEET A-05



EXISTING SINGLE-STORY RESIDENCE FLOOR PLAN (PROPOSED TO BE COMPLETELY REMOVED)

SCALE: 1/4" = 1'-0"



EXISTING ACCESSORY STRUCTURE WITH FUNCTIONAL 2-CAR GARAGE



EXISTING SINGLE-FAMILY RESIDENCE - TO BE DEMOLISHED

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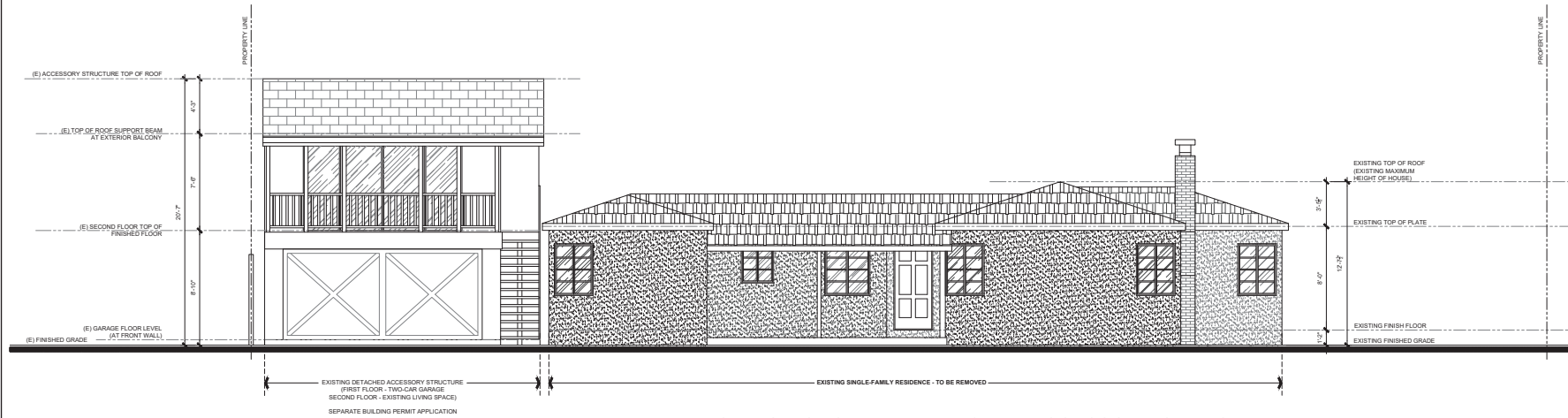
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SAN JOSE, CA 95129
PH: 408.266.0260
FX: 408.855.5757

EXISTING HOUSE AND DETACHED
ACCESSORY STRUCTURE
FLOOR PLANS

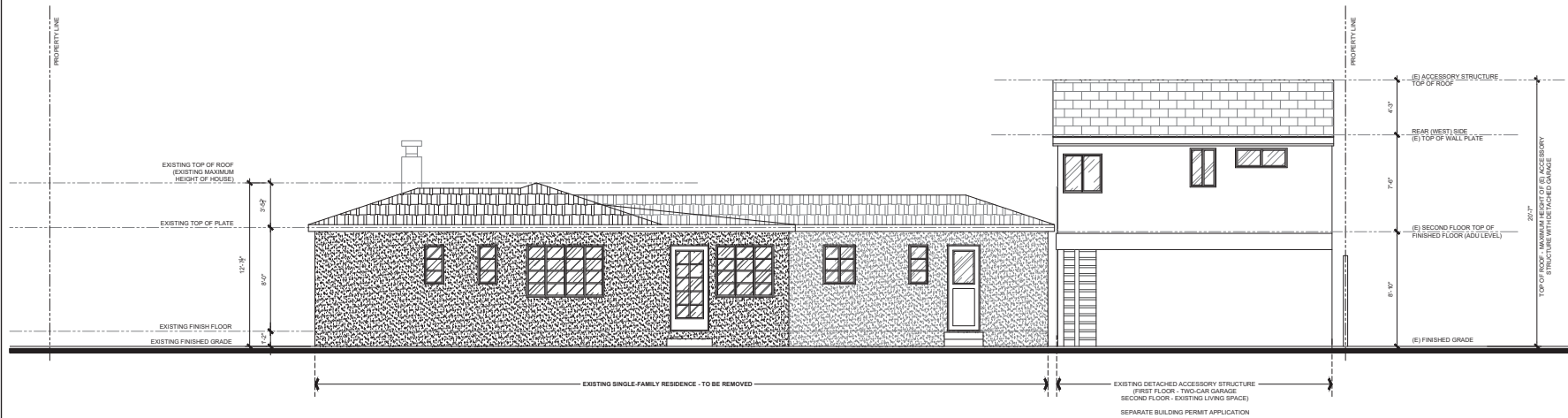
NEW DETACHED SINGLE-FAMILY RESIDENCE
CONSTANTINE FILIPPOVICH TRUST
143 BROOKSIDE AVE
SANTA CLARA, CA 95050
TEL: (408) 202-2793

DATE:	06.24.2021
JOB No:	2020-06-003
SCALE:	AS NOTED
DRAWN BY:	AM
FILE:	

A-03



**EXISTING HOUSE AND DETACHED ACCESSORY STRUCTURE
FRONT / EAST (BROOKSIDE AVENUE SIDE) ELEVATION**
SCALE: 1/4" = 1'-0"



**EXISTING HOUSE AND DETACHED ACCESSORY STRUCTURE
REAR / WEST SIDE ELEVATION**
SCALE: 1/4" = 1'-0"

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SAN JOSE, CA 95129
PH: 408.266.0260
FX: 408.955.5757

CALIFORNIA LICENSE NO. B066070

**EXISTING HOUSE AND DETACHED
ACCESSORY STRUCTURE
FRONT (EAST) AND REAR (WEST)
ELEVATIONS**

NEW DETACHED SINGLE-FAMILY RESIDENCE
CONSTANTINE FILINOVIC TRUST
143 BROOKSIDE AVE.
SANTA CLARA, CA 95050
TEL: (408) 202-2793

DATE:	06.24.2021
JOB No:	2020-06-003
SCALE:	AS NOTED
DRAWN BY:	AM
FILE:	

A-04

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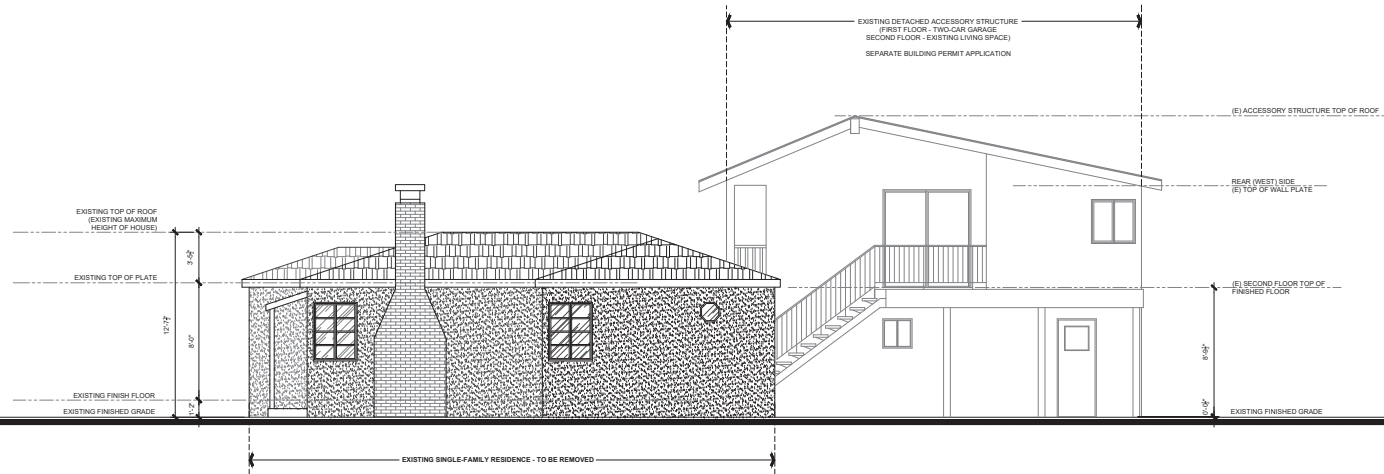
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INCORPORATED
3339 PROSPECT ROAD, SUITE 101
SAN JOSE, CA 95129
PH. 408.266.0260
FX. 408.985.5157

EXISTING HOUSE AND DETACHED
ACCESSORY STRUCTURE
RIGHT (NORTH) AND LEFT (SOUTH)
ELEVATIONS:
MODIFIED GARAGE FLOOR PLAN

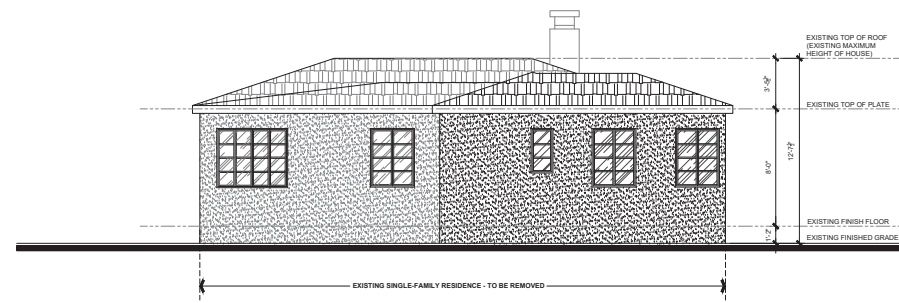
NEW DETACHED SINGLE-FAMILY RESIDENCE
CONSTANTINE FILIN REVOCABLE TRUST
143 BROOKSIDE AVE
SANTA CLARA, CA 95050
TEL. (408) 202-2793

DATE: 06.24.2021
JOB No: 2020-06-003
SCALE: AS NOTED
DRAWN BY: AM
FILE:

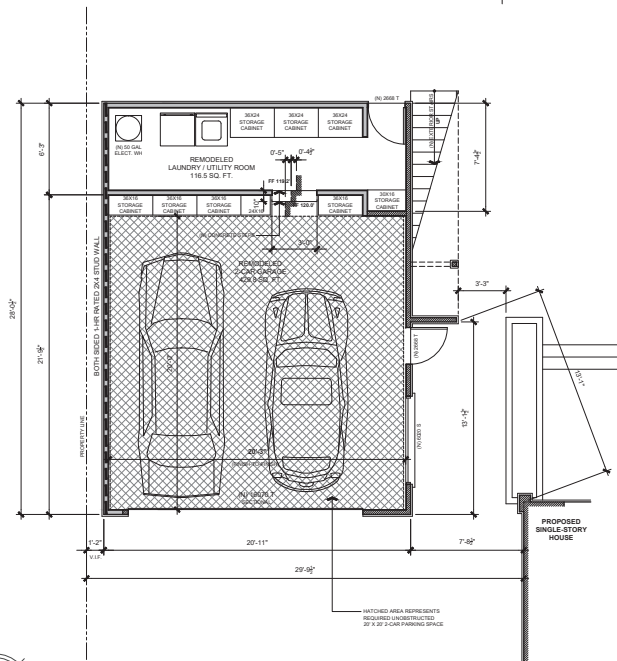
A-05



**EXISTING HOUSE AND DETACHED ACCESSORY STRUCTURE
RIGHT SIDE / NORTH ELEVATION**
SCALE: 1/4" = 1'-0"

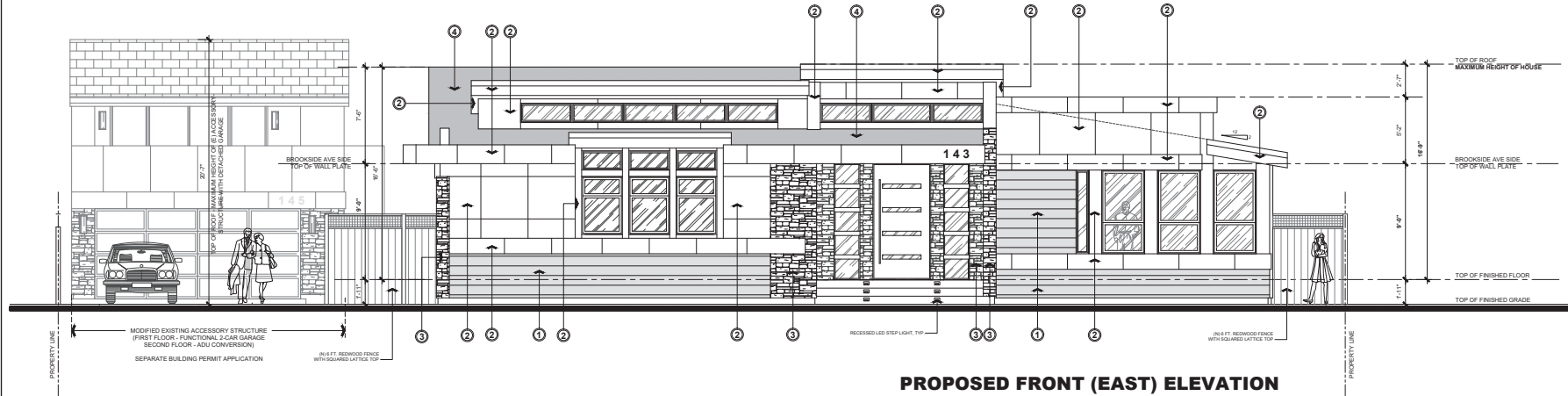


EXISTING HOUSE LEFT SIDE / SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

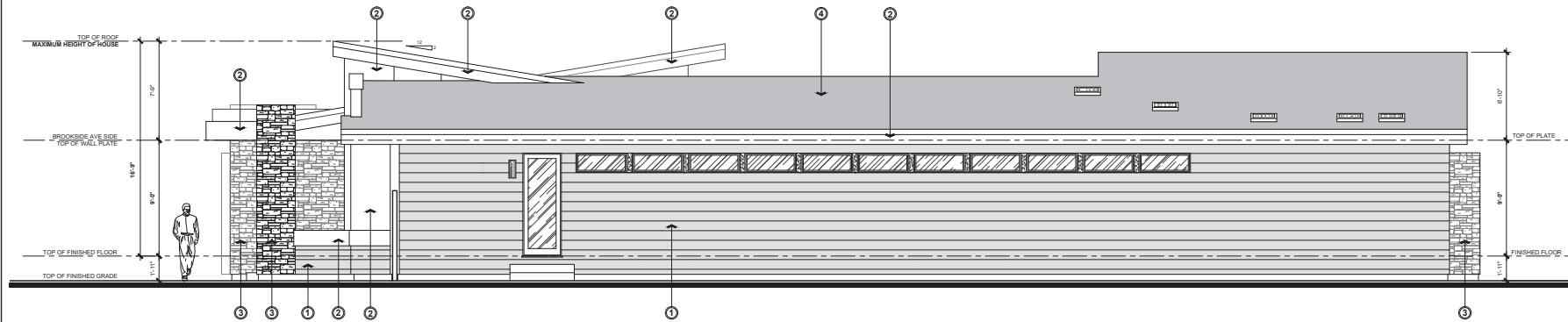


**EXISTING DETACHED ACCESSORY
STRUCTURE FIRST FLOOR PLAN
(2-CAR GARAGE MODIFICATION
FOR REQUIRED FUNCTIONALITY)**
SCALE: 1/4" = 1'-0"





PROPOSED FRONT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES AND ROOFING MATERIAL LEGEND:

	① FIBER CEMENT SHINGLE SIDING, AS MANUFACTURED BY JAMES HARDIE (ASPHYRE COLLECTION)		③ STONE VENEER, BLACK MOUNTAIN PROFIT ALPINE LIDGESTONE, AS MANUFACTURED BY CULTURED STONE BY BORNAL (CONTEMPORARY COLLECTION)
	② FIBER CEMENT CLADDING PANELS WITH RECESS TRIM, AS MANUFACTURED BY JAMES HARDIE (ASPHYRE COLLECTION)		④ ROOFING MATERIAL, WATERPROOF MEMBRANE

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CALIFORNIA LICENSE No. B066070

PROPOSED FRONT (EAST) AND RIGHT SIDE (NORTH) ELEVATIONS

NEW DETACHED SINGLE-FAMILY RESIDENCE
CONSTANTINE FILIN REVOCABLE TRUST
143 BROOKSIDE AVE
SANTA CLARA, CA 95050
TEL: (408) 202-2793

DATE: 06.24.2021

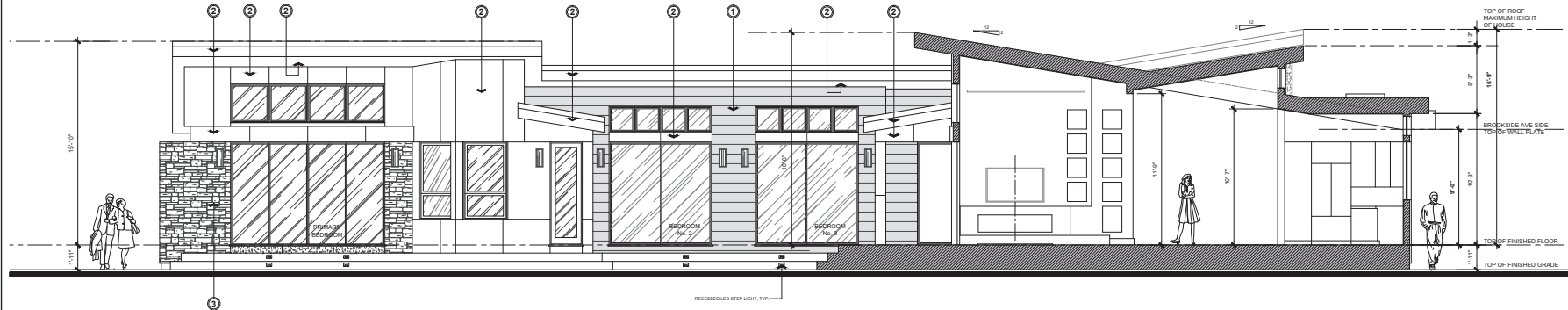
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SCALE: AS NOTED

DRAWN BY: AM

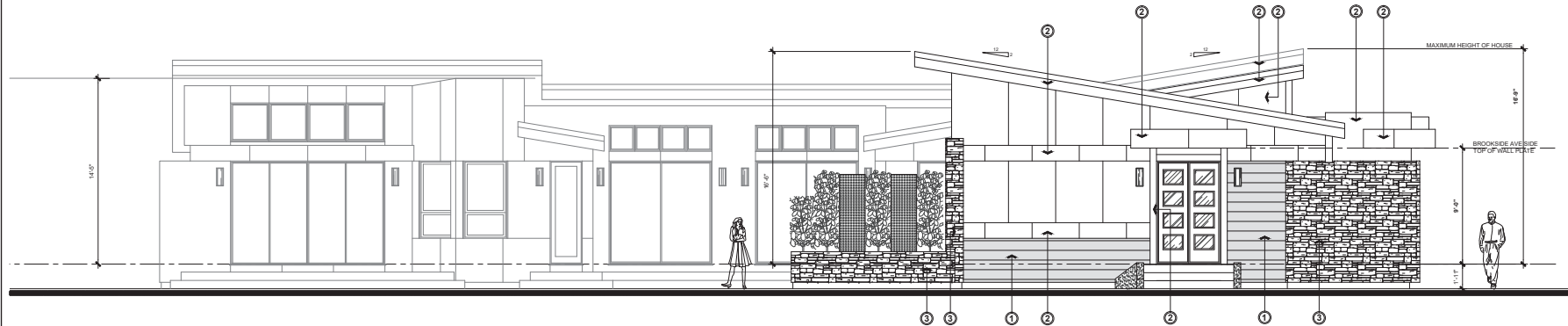
FILE:

A-08






PROPOSED LEFT SIDE (SOUTH) ELEVATION (BEDROOMS SIDE)
SCALE: 1/4" = 1'-0"

SECTION 1-1
SCALE: 1/4" = 1'-0"

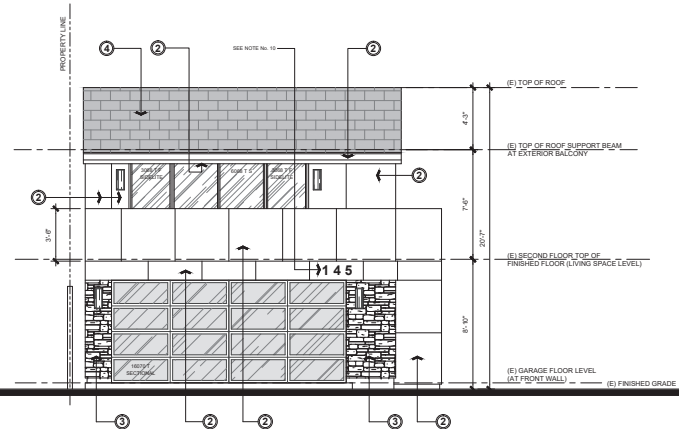


PROPOSED LEFT SIDE (SOUTH) ELEVATION (DRIVEWAY SIDE)
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES LEGEND:

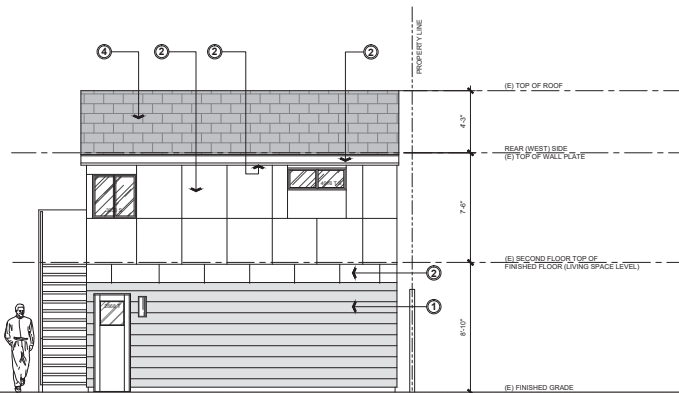
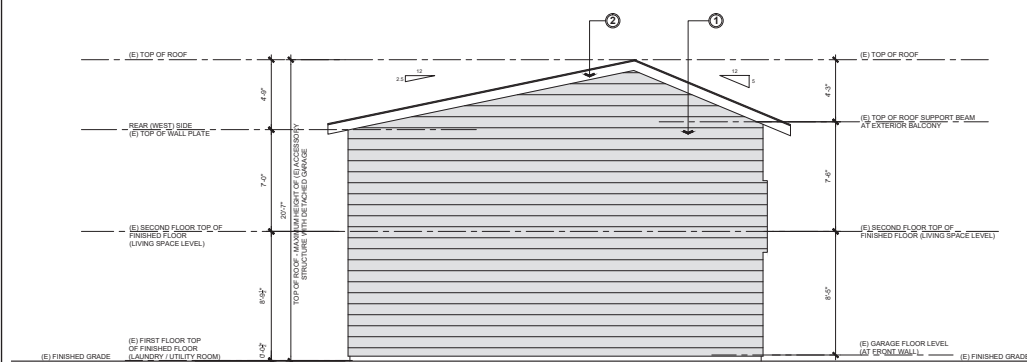
- | | | | |
|---|--|---|--|
|  | ① FIBER-CEMENT SHEPLAP SIDING, AS MANUFACTURED BY JAMES HARDIE (ASPIRE COLLECTION) |  | ③ STONE VENEER, BLACK MOUNTAIN PRO-FIT ALPINE LEDGESTONE, AS MANUFACTURED BY CULTURED STONE BY KORAL (CONTEMPORARY COLLECTION) |
|  | ② FIBER-CEMENT CLADDING PANELS WITH RECESS TRIM, AS MANUFACTURED BY JAMES HARDIE (ASPIRE COLLECTION) | | |

REVISION	BY
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<div> <div>NEW DETACHED SINGLE-FAMILY RESIDENCE</div> <div>CONSTANTINE FILIN REVOCABLE TRUST</div> <div>143 BROOKSIDE AVE.</div> <div>SANTA CLARA, CA 95050</div> <div>TEL: (408) 202-2793</div> </div>	
<div> <div>DATE: 06.24.2021</div> <div>JOB No: 2020-06-003</div> <div>SCALE: AS NOTED</div> <div>DRAWN BY: AM</div> <div>FILE:</div> </div>	
A-09	



MODIFIED RIGHT SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

MODIFIED FRONT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



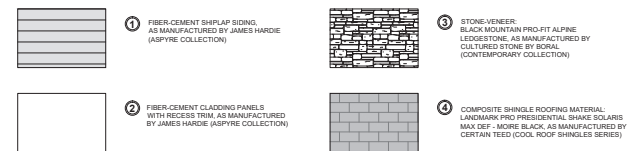
MODIFIED LEFT SIDE (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

MODIFIED REAR (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

1. ALL EXTERIOR COLORS SHALL BE VERIFIED IN FIELD AND APPROVED BY OWNER AND PROJECT DESIGNER PRIOR TO APPLICATION.
2. PROVIDE TWO LAYERS OF GRADE "C" PAPER UNDER FIBER-CEMENT SIDING AND CLADDING PANELS OVER PLYWOOD SHEATHING. PROVIDE TWO LAYERS OF FIBER-CEMENT UNDER INSTALLATION RECOMMENDATIONS.
3. PROVIDE DISTANCE TO BOTTOM OF FIBER-CEMENT SIDING AND CLADDING PANELS TO BE 1/2" MINIMUM. PROVIDE AT LEAST ABOVE GRADE (OR 2" ABOVE CROWN OR PAVING) REFER TO SECTION 07050 FOR FURTHER REQUIREMENTS.
4. CONTRACTOR SHALL PROVIDE SAMPLES FROM MANUFACTURER FOR STONE VENEER FOR APPROVAL BY PROPERTY OWNER AND ARCHITECT.
5. INSTALL CULTURED CEMENT (JCCS) EVALUATION REPORT NO. E28-1948 (OR MORtal SETTING TIME OVER 36" - 38" - SCATCH TEST) FOR STONE VENEER. STONE VENEER SHALL BE 1/2" THICK DIAMOND MESH OR MESH IN GAUGE SELF-CURING WOVEN MESH). STONE VENEER SHALL BE PLACED IN ALTERNATIVE POSITION (GRADE C PAPER), OVER WALL SHEATHING.
6. KEEP FINISHED EAVE OF CULTURED STONE MIN. 4" ABOVE GRADE (IF EARTH OR 2" ABOVE PAVING).
7. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS OF SECTION R703 2019 CIRC.
8. WALL COVERING (FIBER-CEMENT SIDING AND CLADDING PANELS) SHALL BE SECURED TO FASTENERS IN ACCORDANCE WITH TABLE R703.4 2019 CIRC.
9. ALL EXTERIOR LIGHT FIXTURES AND LIGHTS SHALL BE ABOVE STUDS OR SHEATHING OF ALL EXTERIOR WALLS. IN ACCORDANCE WITH SECTION R703.3 2019 CIRC.
10. STYLE OF EXTERIOR LIGHTING FIXTURES - SHALL BE CONSISTENT WITH ARCHITECTURE OF THE HOUSE, AND BE PROPORTIONATE TO THE HOUSE.
11. PROPOSED LOCATION FOR ADDRESS NUMBERS. EXACT NUMBERS WILL BE ASSIGNED BY CITY OF SANTA CRUZ. ADDRESS NUMBERS SHALL BE PLACED ON THE EXTERIOR WALL OF THE EXISTING LIVING SPACE TO ADD TO CONVERSION.
12. ADDRESS NUMBERS SHALL BE 12" HIGH. ADDRESS NUMBER WIDTH OF 12" COLOR OF NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL BE PLACED IN THE POSITION PLANNY, LEGIBLE AND VISIBLE FROM THE STREET (R319.1 2019 CIRC).

EXTERIOR FINISHES AND ROOFING MATERIAL LEGEND:

[illegible]

NEW HOUSE HABITABLE FLOOR AREA:

PROPOSED HOUSE BUILDING LOT COVERAGE:

PROPOSED HABITABLE FLOOR AREA	3292.20 SQ. FT.
PROPOSED OUTDOOR LIVING REAR VEREDED PATIO	
AREA "J" = 15'-0" X 14'-8"	232.2 SQ. FT.
AREA "K" = 14'-0" X 1'-0"	14.1 SQ. FT.
AREA "L" = (8'-3" X 5'-10" = 32)	6.0 SQ. FT.
AREA "M" = 14'-0" X 5'-0" = 12"	0.7 SQ. FT.
AREA "N" = 5'-11" X 2'-0" = 12"	12.2 SQ. FT.
TOTAL REAR VEREDED PATIO = (J + K + L + M + N)	265.2 SQ. FT.
PROPOSED COVERED FRONT PORCH AREA "O" = 7'-0" X 15'-11" = 104.1	104.1 SQ. FT.
PROPOSED EXTERIOR ARCHITECTURAL DETAILS AND ELEMENTS:	
AREA "P" = 0'-0" X 5'-0" = 12"	0.3 SQ. FT.
AREA "Q" = 0'-0" X 3'-0" = 12"	0.2 SQ. FT.
AREA "R" = 2'-0" X 0'-11" = 12"	2.3 SQ. FT.
AREA "T" = 0'-0" X 0'-0" = 12"	0.5 SQ. FT.
AREA "U" = 9'-4" X 12'-0" = 12"	2.7 SQ. FT.

<p>MODIFIED EXISTING DETACHED ACCESSORY STRUCTURE (FIRST FLOOR - 2-CAR GARAGE SECOND FLOOR - LIVING SPACE):</p> <p>AREA "Q" = 28'-0 1/2" X 20'-11" =</p> <p>AREA "V" = 3'-3" X 15'-9" =</p> <p>TOTAL MODIFIED EXISTING DETACHED ACCESSORY STRUCTURE = (586.5 + 51.2)</p>	<p>586.5 SQ. FT.</p> <p>51.2 SQ. FT.</p> <p><u>637.7</u> SQ. FT.</p>
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TOTAL PROPOSED
BUILDING LOT COVERAGE = 4305.3 SQ. FT.
(3667.6 + 637.7)

SITE AREA = 13703.0 SQ. FT.
(137.03' X 100.0)

4395.3 : 13703.0 = 0.31 = 31% < 40%
(MAXIMUM ALLOWABLE BUILDING LOT COVERAGE - 40% = 5481.2 SF)

