

APPLICABLE CODES

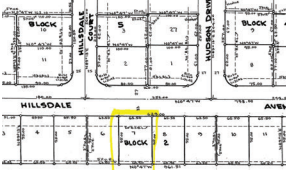
2019 CALIFORNIA BUILDING CODE (VOLUME 1)
2019 CALIFORNIA BUILDING CODE (VOLUME 2)
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS CODE

SCOPE OF WORK

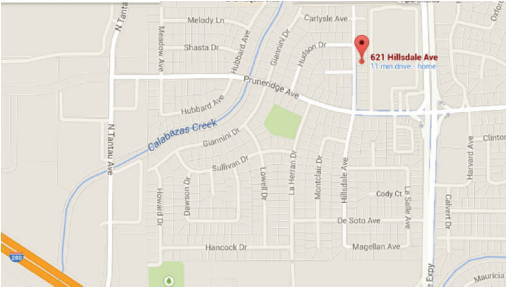
NEW SECOND STORY ADDITION OF 1474 SF. TO CREATE MASTER SUITE, LOFT, 2 BEDROOMS & 2 BATHS
251 SF OF BALCONY OVER THE GARAGE

REMODEL EXISTING FIRST FLOOR - REMOVE BEDROOM 3 TO CREATE STAIRCASE.
NEW WINDOWS AND DOOR IN FAMILY ROOM AND NEW SLIDING DOOR IN BEDROOM 1

TRACT MAP



VICINITY MAP



SHEET INDEX

A1 SITE PLAN, AREA SUMMARY
A1.1 NEIGHBORHOOD STUDY
A2 EXISTING FLOOR PLAN/ DEMO PLAN
A2.1 EXISTING ELEVATIONS
A3 PROPOSED FIRST FLOOR PLAN
A3.1 FLOOR AREA CALCULATIONS
A4 NEW SECOND FLOOR PLAN
A4.1 FLOOR AREA CALCULATIONS
A5 ROOF PLAN
A6 PROPOSED EXTERIOR ELEVATIONS
A7 PROPOSED EXTERIOR ELEVATIONS
A8 BUILDING SECTIONS

LEGEND

PROPERTY LINE
SETBACK LINE
FIRST FLOOR

SECOND FLOOR
NEW ADDITION

OUTLINE OF EAVE

SITE PLAN LEGEND

PROJECT DATA

PROJECT ADDRESS 621 HILLSDALE AVE
APN 316 10 009
ZONING DISTRICT R 9
LAND USE 7 DUAC

AREA CALCULATION
LOT AREA 6222.5 S.F.
ALLOWABLE LOT COVERAGE 2489 S.F. (40 %)

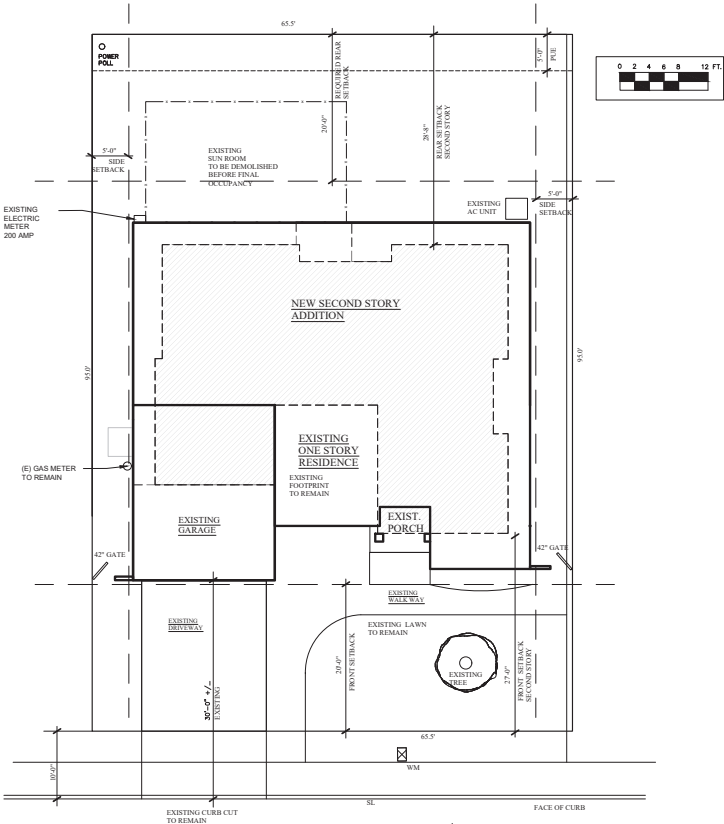
FLOOR AREA SUMMARY
EXISTING FIRST FLOOR 1984.2 S.F.
ATTC ABOVE 5 FT. 610 S.F.
EXISTING 2 CAR GARAGE 461.4 S.F.
TOTAL EXISTING FLOOR AREA 2455.6 S.F.

NEW SECOND FLOOR 1474.5 S.F.
TOTAL NEW LIVING AREA 3458.5 S.F.
TOTAL NEW FLOOR AREA 3919.9 S.F.

LOT COVERAGE SUMMARY
EXISTING FIRST FLOOR 1984.2 S.F.
EXISTING 2 CAR GARAGE 461.4 S.F.
EXISTING FRONT PORCH 31.7 S.F.

EXISTING LOT COVERAGE 2479.3 S.F. (39.8%)
REMAINS UNCHANGED
ALLOWABLE LOT COVERAGE 2489 S.F. (40 %)

SITE PLAN



0 2 4 6 8 12 FT.

NORTH

REVISIONS

BY

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SECOND STORY ADDITION TO THE

RESIDENCE OF

SUVANAN & SRIMONTI DUTTA

621 HILLSDALE AVENUE

SANTA CLARA, CALIFORNIA

SITE PLAN

AREA SUMMARY

VICINITY MAP

DRAWN AM

CHECKED

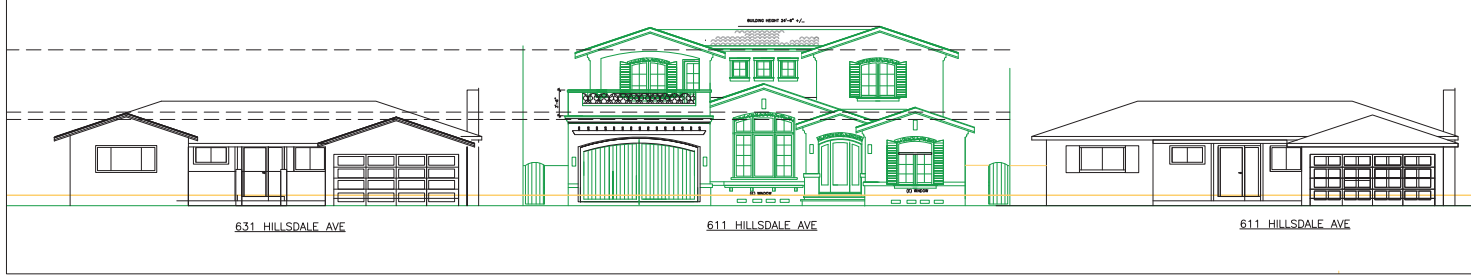
DATE 5.12.2021

SCALE 1/8" = 1'-0"

JOB NO.

SHEET A1

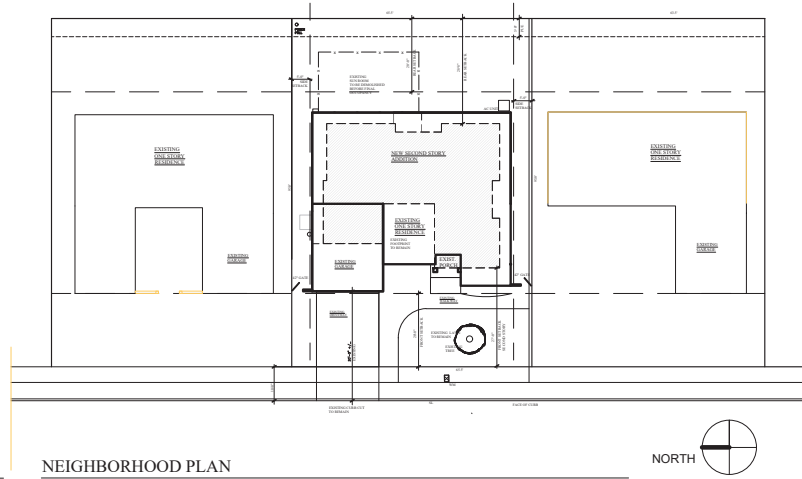
OF SHEETS



STREETSCAPE ELEVATIONS



AERIAL PHOTO



NEIGHBORHOOD PLAN

STREETSCAPE ELEVATIONS



REVISIONS	BY

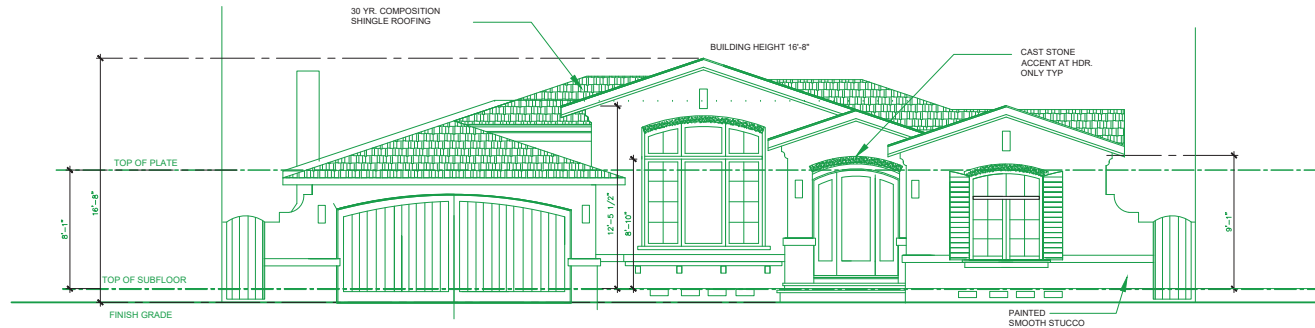
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 SANTA CLARA, CALIFORNIA

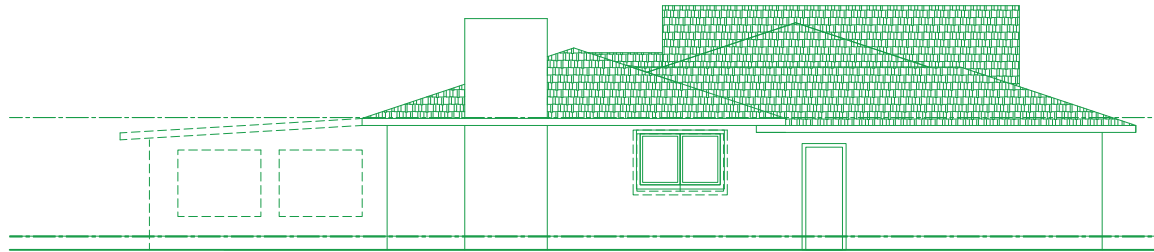
NEIGHBORHOOD STUDY

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JOB NO.

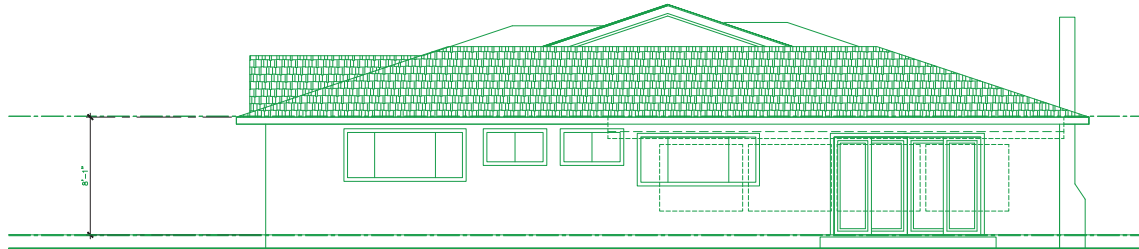
SHEET
A1.1
 OF SHEETS



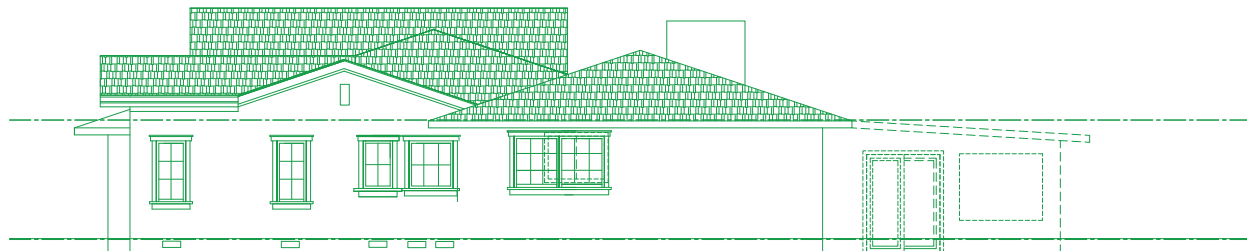
EXISTING FRONT ELEVATION (WEST)



EXISTING LEFT SIDE ELEVATION (NORTH)



EXISTING REAR ELEVATION (EAST)



EXISTING RIGHT SIDE ELEVATION (SOUTH)

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SECOND STORY ADDITION TO THE
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621 HILLSDALE AVENUE
SANTA CLARA, CALIFORNIA

EXISTING
EXTERIOR
ELEVATIONS

DRAWN
AM
CHECKED

DATE
5.12.21

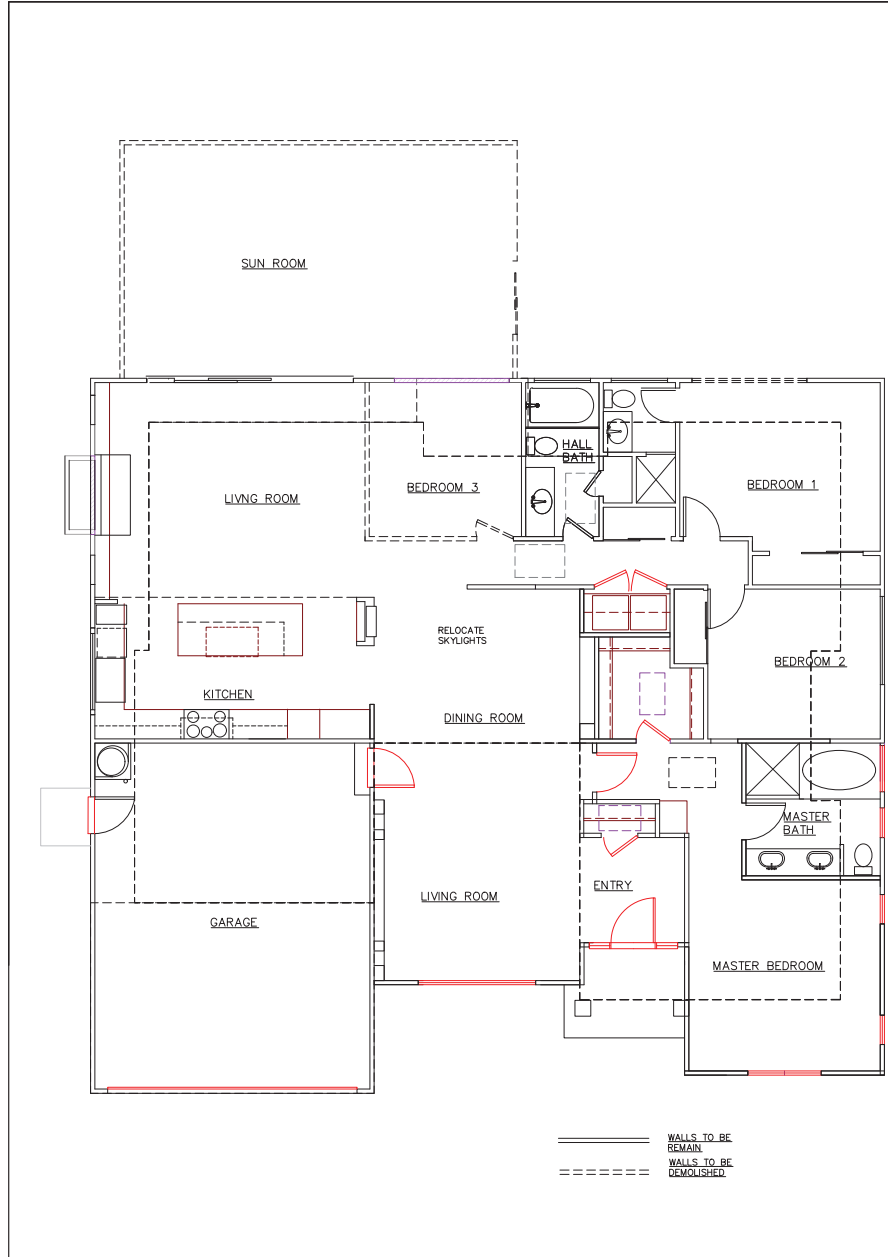
SCALE
1/4" = 1'-0"

JOB NO.

SHEET

A2.1

OF SHEETS



EXISTING FIRST FLOOR PLAN

DEMOLITION NOTES

1. DEMOLISH AND/OR REMOVE ALL ITEMS SHOWN CROSS HATCHED ON DEMOLITION PLAN, INCLUDING PARTITIONS, CASEWORK, AND PLUMBING FIXTURES.
2. DEMOLISH EXISTING CEILINGS TO THE EXTENT AS SHOWN ON PLAN.
3. IT SHALL BE THE DEMOLITION CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. ANY QUESTIONS OR CONFLICTS REGARDING THE EXISTING CONDITIONS AND THE DRAWINGS SHOULD BE RESOLVED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
4. THE OWNER WILL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMIT AND THE DEMOLITION CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING TRASH REMOVAL AND DISPOSAL PERMITS AS REQUIRED BY GOVERNMENTAL REGULATIONS.
5. PROTECT FROM DAMAGE ALL MATERIALS, CONSTRUCTION, UTILITIES AND OTHER ITEMS AND APPURTENANCES NOT SCHEDULED FOR DEMOLITION WITHIN THE BUILDING. DAMAGED ITEMS SCHEDULED TO REMAIN AND/OR BE REUSED SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
6. DISCONNECT AND REMOVE EXISTING ELECTRICAL FIXTURES AND LINES ATTACHED TO OR WITHIN PARTITIONS INDICATED TO BE DEMOLISHED. REVIEW WITH OWNER.
7. WHERE EXISTING PLUMBING FIXTURES ARE TO BE REMOVED, CAP ALL LINES AS REQUIRED. MAINTAIN EXISTING SUPPLY, WASTE AND VENT LINES FOR FUTURE CONNECTIONS.
8. KEEP EXISTING UTILITIES IN OPERATION DURING DEMOLITION.
9. USE SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR POLLUTION FOR THE CONDITION OF WORK. COMPLY WITH ALL RELATED GOVERNMENTAL REGULATIONS.
10. KEEP DEMOLITION AREA BROOM CLEAN. CLEAN ADJACENT AREAS OF ALL DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS.
11. THE DEMOLITION CONTRACTOR IS TO MINIMIZE DISRUPTION TO ADJACENT OCCUPANTS.
12. OWNER WILL PROVIDE DEMOLITION CONTRACTOR WITH A COMPREHENSIVE LIST OF ITEMS TO BE DEMOLISHED.

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SECOND STORY ADDITION TO THE
RESIDENCE OF
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621 HILLSDALE AVENUE
SANTA CLARA, CALIFORNIA

EXISTING
FLOOR PLANS

DRAWN	AM
CHECKED	
DATE	5.14.2021
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	A2

FIRST FLOOR			
A	54.12	24.87	1345.96
B	14.33	16.45	235.73
C	20.45	13.83	282.82
D	13.62	8.79	119.72

FIRST FLOOR TOTAL	1984.24
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SECOND FLR. LIVING AREA	
-------------------------	--

H	19.29	32.75	631.75
J	2.95	10.87	-32.07
I	1.00	15.54	-15.54
K	11.08	19.58	216.95
L	17.75	37.00	656.75
M	2.00	10.16	-20.32
N	15.87	2.33	36.98

SECOND FLOOR TOTAL	1474.49
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[illegible]

E	19.33	23.87	461.41
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GARAGE TOTAL	461.41
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F	6.83	4.75	32.44
---	------	------	-------

G	0.62	2.12	1.31
---	------	------	------

PORCH TOTAL	33.76
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$$1/4" = 1'-0"$$

REVISIONS	BY



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 REN: NOV. 2021
Aditi
 STATE OF CALIFORNIA

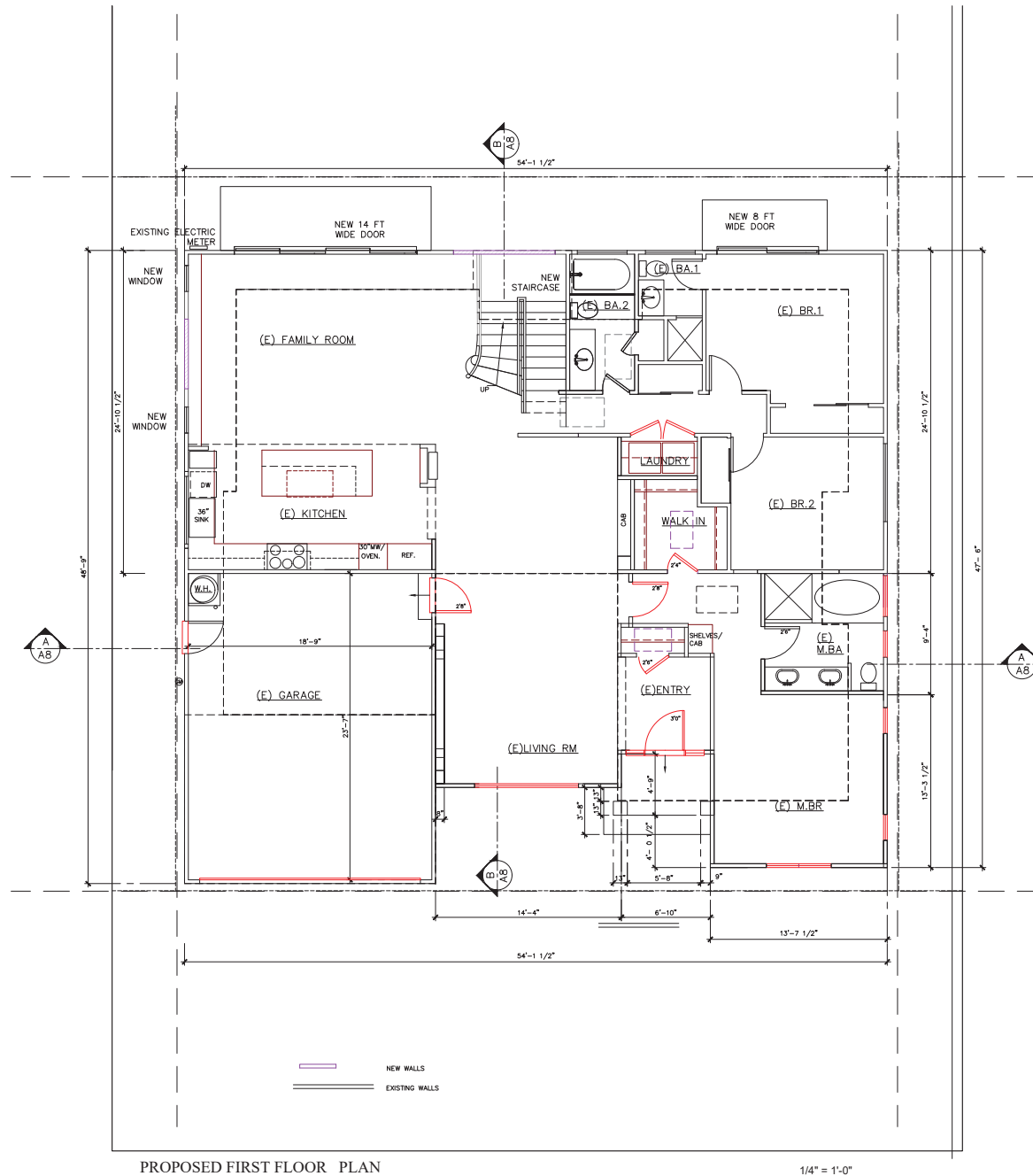
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SECOND STORY ADDITION TO THE
RESIDENCE OF
SUVANAN & SRIMONTI DUTTA
621 HILLSDALE AVENUE
SANTA CLARA, CALIFORNIA

PROPOSED
FLOOR PLANS

DRAWN
AM
CHECKED
DATE
5.12.21
SCALE
1/4" = 1'-0"
JOB NO.
SHEET

A3.1



REVISIONS	BY

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SANTA CLARA, CALIFORNIA

PROPOSED FIRST
FLOOR PLAN

DRAWN AM
CHECKED
DATE 5.12.21
SCALE 1/4" = 1'-0"
JOB NO.
SHEET
A3
OF SHEETS

AREA CALCULATIONS

FIRST FLOOR

A	54.12	24.87	1345.90
B	14.33	16.45	235.73
C	20.49	13.83	282.82
D	13.62	8.79	119.72

FIRST FLOOR LIVING AREA 1984.24

FIRST FLOOR TOTAL 1984.24

SECOND FLOOR

SECOND FLR. LIVING AREA

H	19.29	32.75	631.75
J	2.95	10.87	-32.07
I	1.09	15.54	-15.54
K	11.06	19.58	216.95
L	17.75	37.00	656.75
M	2.00	10.16	-20.32
N	15.87	2.33	36.98

SECOND FLR. LIVING AREA 1474.49

SECOND FLOOR TOTAL 1474.49

TOTAL HOUSE FLOOR AREA 3458.73

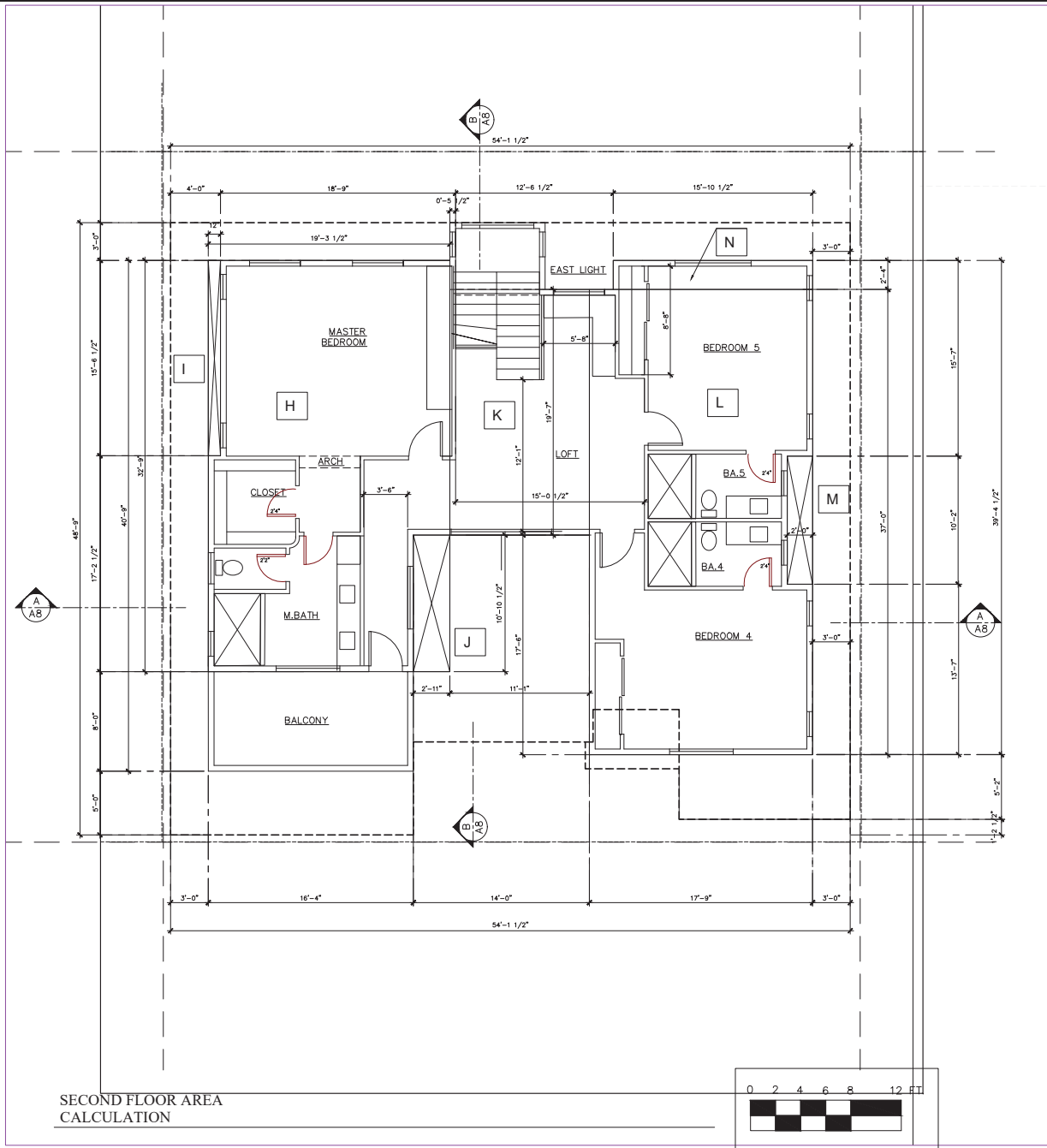
E	19.33	23.87	461.51
---	-------	-------	--------

GARAGE TOTAL 461.51

F	6.83	4.75	32.44
G	0.63	2.12	1.31

PORCH TOTAL 33.76

TOTAL LOT COVERAGE 2479.40



SECOND FLOOR AREA
CALCULATION

REVISIONS BY

1		
2		
3		
4		



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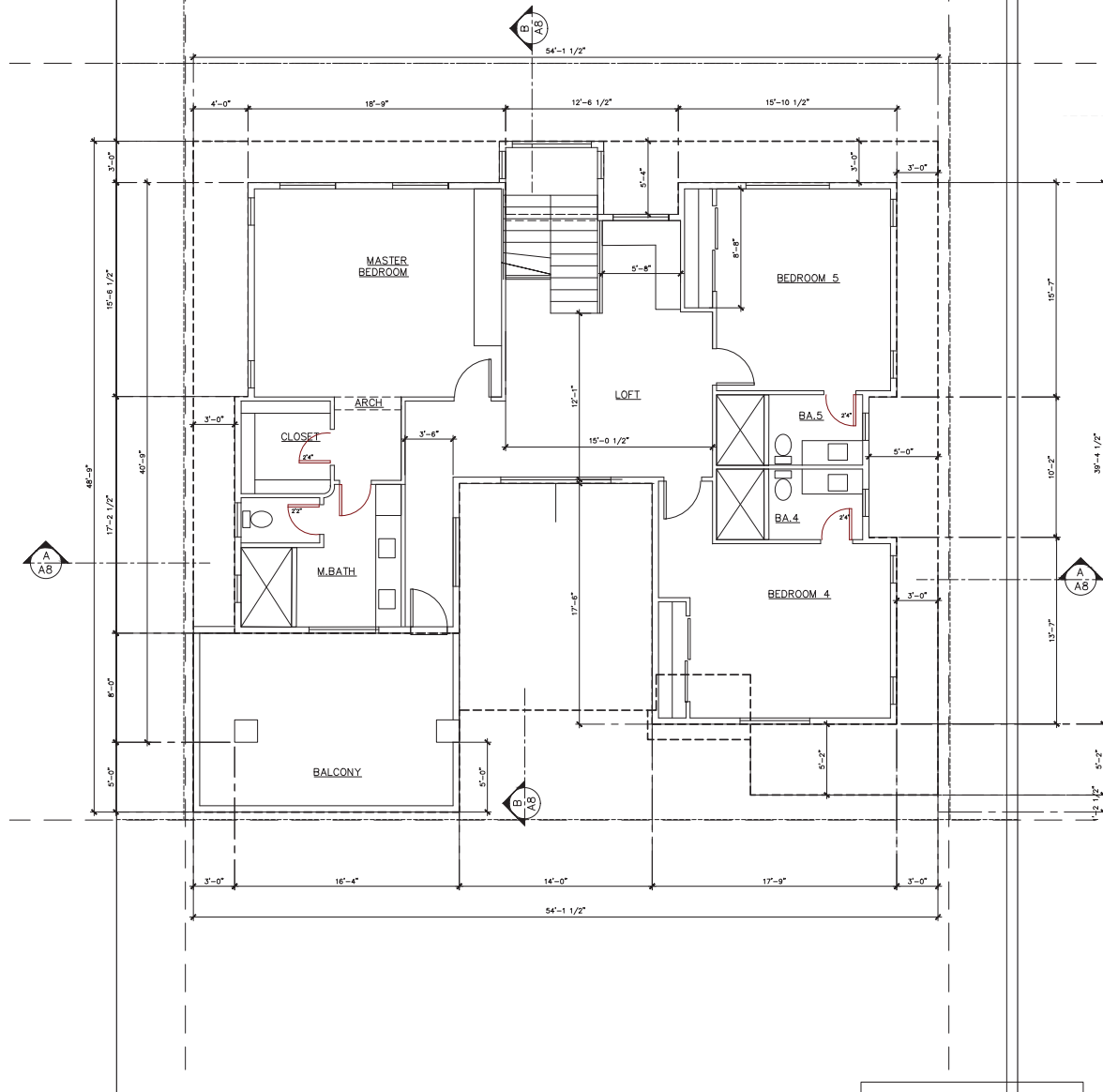
SECOND STORY ADDITION TO THE
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621 HILLSDALE AVENUE
SANTA CLARA, CALIFORNIA

SECOND FLOOR AREA
CALCULATION

DRAWN
AM
CHECKED
DATE
5.12.21
SCALE
1/4" = 1'-0"
JOB NO.
SHEET

A4.1

OF SHEETS



PROPOSED SECOND FLOOR PLAN



REVISIONS	BY

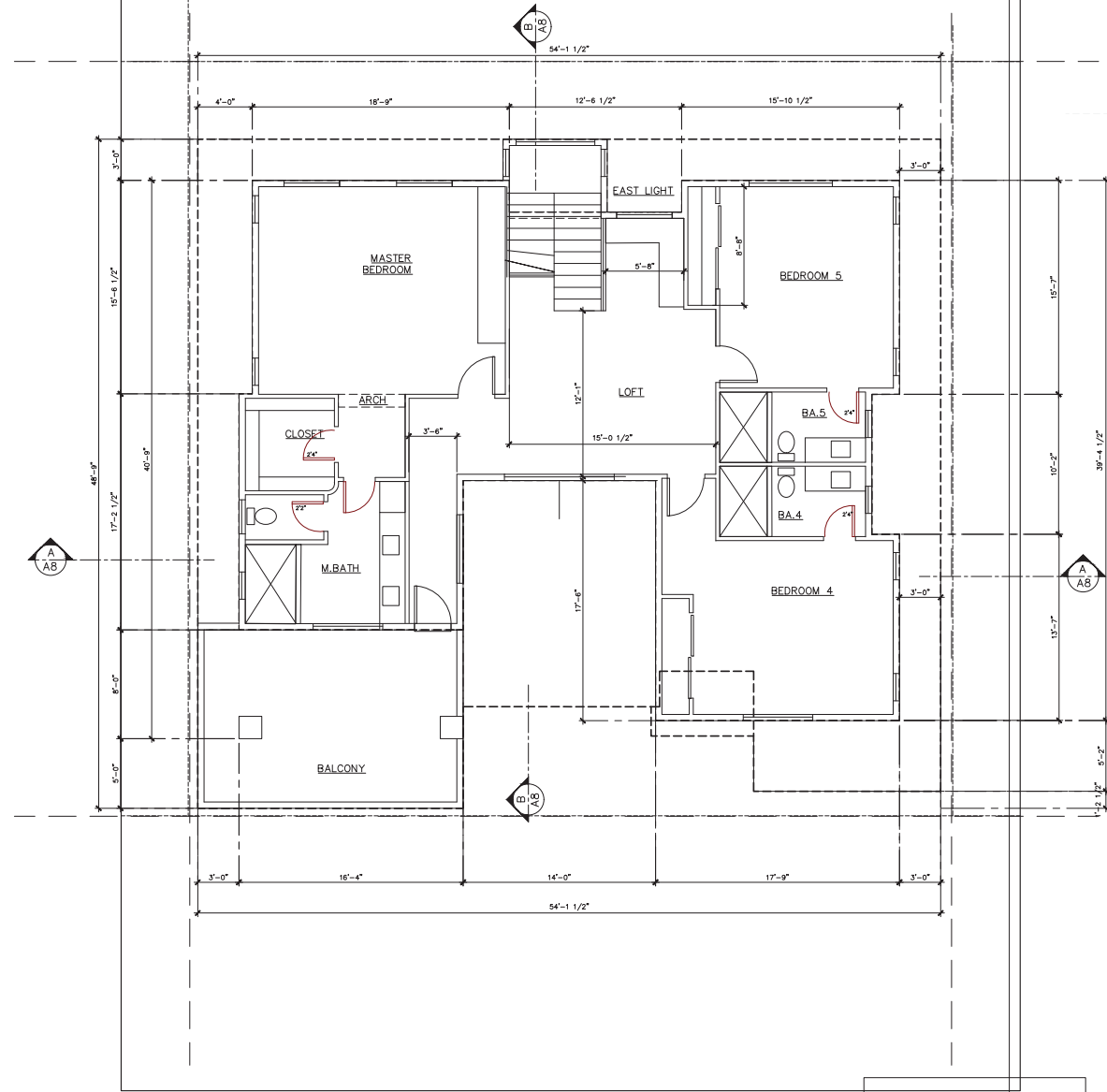
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SECOND STORY ADDITION TO THE
 RESIDENCE OF
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 621 HILLSDALE AVENUE
 SANTA CLARA, CALIFORNIA

PROPOSED SECOND
 FLOOR PLAN

DESIGN AM
CHECKED
DATE 5.12.21
SCALE 1/4" = 1'-0"
JOB NO.

SHEET
 A4
 OF SHEETS



PROPOSED SECOND FLOOR PLAN

REVISIONS	BY

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SECOND STORY ADDITION TO THE
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 621 HILLSDALE AVENUE
 SANTA CLARA, CALIFORNIA

PROPOSED SECOND
 FLOOR PLAN

DRAWN AM
CHECKED
DATE 5.12.21
SCALE 1/4" = 1'-0"
JOB NO.
SHEET

A4
 OF SHEETS

US Tile[®] by Boral[®]
Build something great[™]



PRODUCT INFORMATION



Profile: 1-Piece "S" Tile
Color Name: **Bermuda Blend**
SKU Number: **1UBDU0074**
Product Type: **Standard Weight Tile**
Color: **Orange**

Available Regions:
Nationwide

Tile Specifications

Size: 18" x 13"
Coverage: **88**
Approx. Installed Weight: **800 lbs.**
Pieces per Pallet: **252**
Squares per Pallet: **2.86**
Approx. Weight per Pallet: **2400 lbs**

Cool Rated Product

Reflectivity: **0.42**
Aged Ref. (3 yr): **0.39**
Emmissivity: **0.84**
Aged Em. (3 yr): **0.86**
SRI: **45**
Aged SRI (3 yr): **42**
CRRRC ID#: **0131b**
Seller ID#: **0942**

*Calculated Aged Value
The printed color shown here may vary from actual installed tile color and should not be used to color match. Please contact your local Sales Representative for actual tile samples.

1.800.869.TILE (8453)
www.BoralRoof.com

Solar Reflectance Thermal Emittance	Initial	Weathered
	0.42 0.84	0.39 0.86
Rated Product ID Number 0131b		
Licensed Seller ID Number 0942		
Classification Production Line		

Cool Roof Rating Council ratings are determined for a fixed set of conditions, and may not be appropriate for determining overall energy performance. The actual effect of solar reflectance and thermal emittance on building performance may vary.
Manufacturers of product stipulate that these ratings were determined in accordance with the applicable Cool Roof Rating Council procedures.

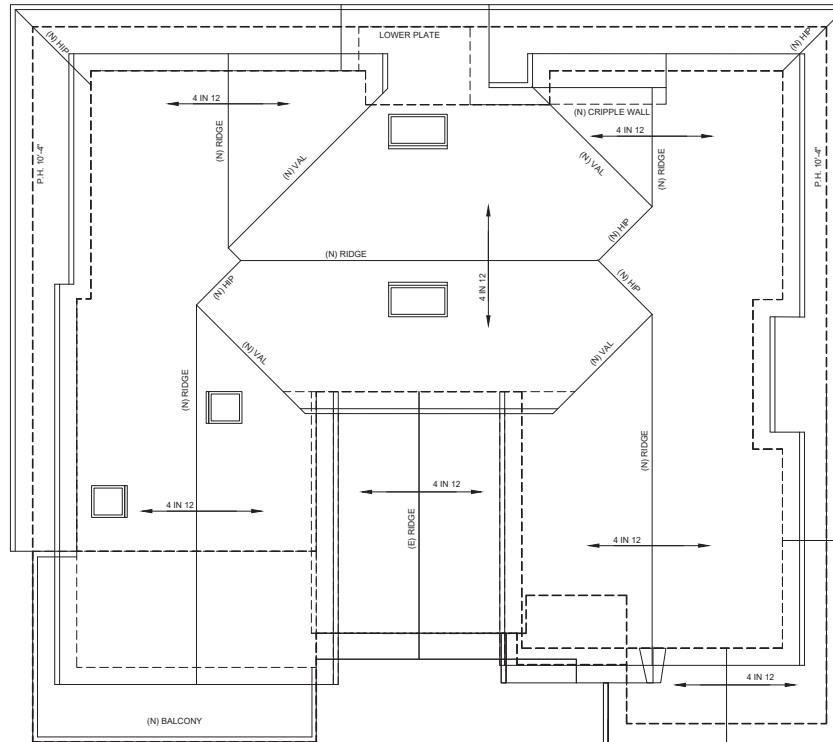
THE GLASS SKYLIGHT SHALL COMPLY WITH THE FOLLOWING:

- EACH PANE OF GLASS IS 16 SQUARE FEET OR LESS.
- THE HIGHEST POINT OF GLASS SHALL BE WITHIN 12'-FEET OF THE WALKING SURFACE BELOW.
- GLASS MUST BE TEMPERED AND LESS THAN 3/4" THICK OR LAMINATED.
- UNIT SKYLIGHTS ARE TESTED AND LABELED AS COMPLYING WITH ONE OF THE FOLLOWING AAMA/WDMA/CSA/10/ULS2/A440.
- IF THE PITCH OF THE ROOF IS LESS THAN 3:12 A 4" CURB IS REQUIRED

NOTE: LAMINATED GLASS AT SKYLIGHT SHALL BE MIN. 30 ML POLYVINYL INTERLAYER (OR EQUIVALENT).

5" OGEE GUTTER
TO DOWNSPOUT - TYP.

5" OGEE GUTTER
TO DOWNSPOUT - TYP.



5" OGEE GUTTER
TO DOWNSPOUT - TYP.

5" OGEE GUTTER
TO DOWNSPOUT - TYP.

5" OGEE GUTTER
TO DOWNSPOUT - TYP.

ROOF PLAN - COMPOSITION SHINGLE ROOFING CLASS A - MAX WT. 10 LBS/SQ.FT.
COORDINATE WITH FUTURE PHOTOVOLTAIC PANEL INSTALLATION LAYOUT

1/4" = 1'-0"



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ROOF PLAN

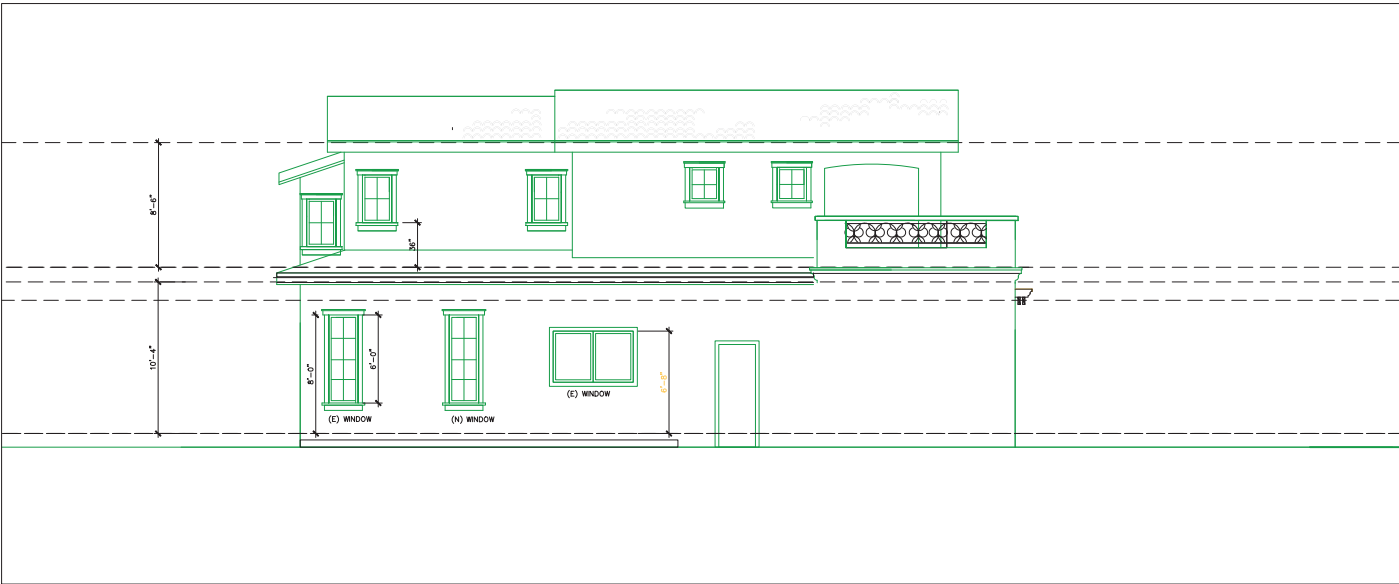
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SHEET

A5

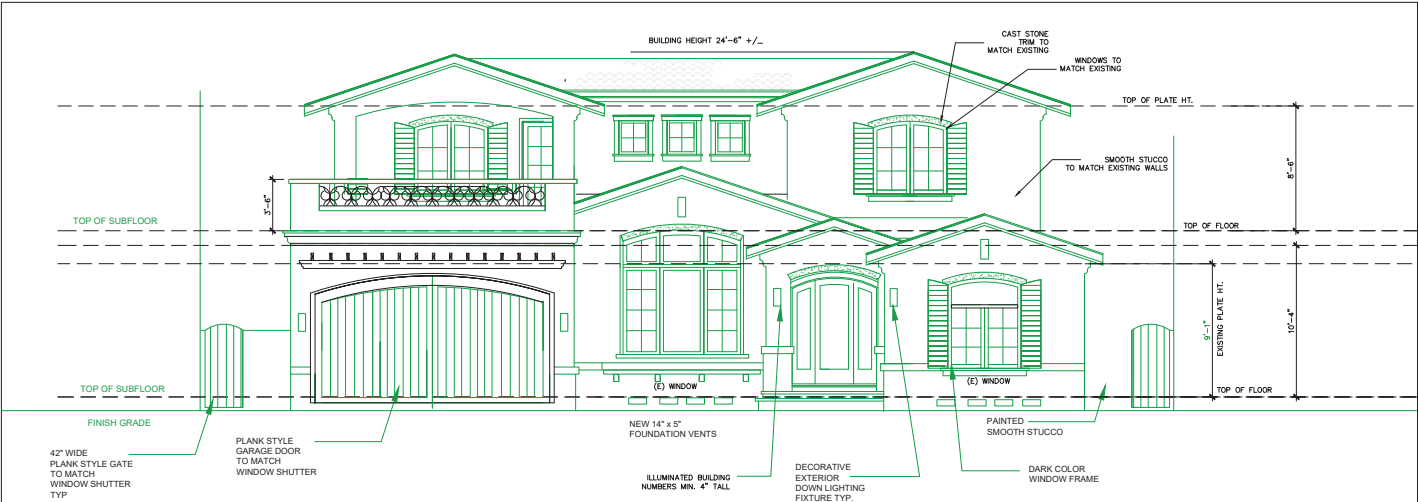
OF SHEETS

EXTERIOR MATERIAL SCHEDULE

WALLS:	PAINTED ACRYLIC STUCCO WITH PIPE SIDING ACCENT PER ELEVATION
COLUMNS:	SMOOTH STONE LOOK TILE THIN SET
ROOF:	LIGHT WEIGHT S TILE FLAT ROOF AT FRONT ADDITION W/ IB SYSTEM MEMBRANE ROOFING PER ICC ESR-2287
WINDOW:	DARK COLOR ALUM CLAD DOUBLE PANE WITH CLEAR INSULATING GLASS WITH APPLIED MUNTIN BARS PER ELEVATION
TRIM, FASCIA:	PAINTED AZEK/ ADVANTAGE
GUTTER:	5" STRAIGHT GUTTER
DOWNSPOUT:	PAINTED SHEET METAL
EXTERIOR STEPS:	STONE TILE
PORCH SLAB:	
PORCH/ BALCONY	
CEILING:	1 X 6 V GROOVE PINE STAINED
EXTERIOR LIGHTS:	CONTEMPORARY SHIELDED FIXTURES



PROPOSED LEFT SIDE ELEVATION (NORTH)



PROPOSED FRONT ELEVATION (WEST)

REVISIONS	BY



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SECOND STORY ADDITION TO THE
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621 HILLSDALE AVENUE
SANTA CLARA, CALIFORNIA

PROPOSED
EXTERIOR
ELEVATIONS

DRAWN	AM
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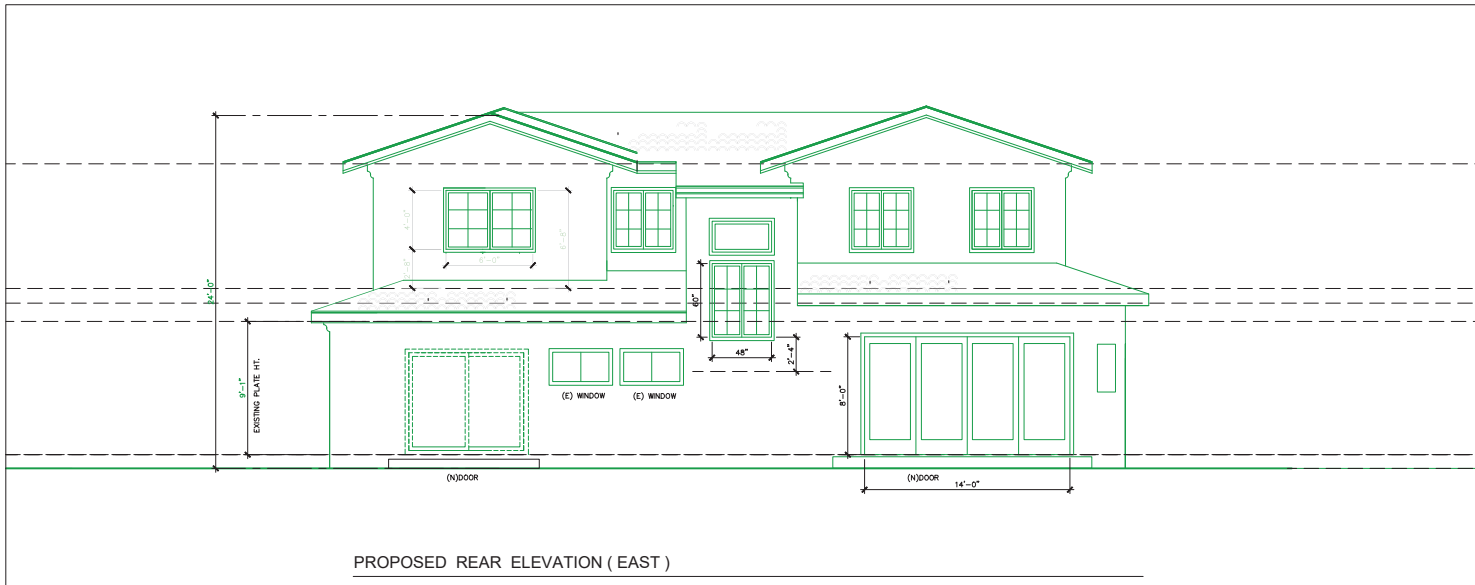
SHEET
A6
OF SHEETS

EXTERIOR MATERIAL SCHEDULE

WALLS:	PAINTEG ACRYLIC STUCCO WITH DPE SIDING ACCENT PER ELEVATION
COLUMN:	SMOOTH STONE LOOK TILE THEN SET
ROOF:	LIGHT WEIGHT S TILE FLAT ROOF AT FRONT ADDITION W/ IB SYSTEM MEMBRANE ROOFING PER I.C. 538-0305
WINDOW:	DARK COLOR ALUM CLAD DOUBLE PANE WITH CLEAR INSULATING GLASS WITH APPLIED MUNTIN BARS PER ELEVATION
TRIM, FASCIA:	PAINTEG AZEK/ ADVANTAGE
GUTTER:	5" STRAIGHT GUTTER
DOWNSPOUT:	PAINTEG SHEET METAL
EXTERIOR STEPS:	STONE TILE
PORCH SLAB:	
PORCH/ BALCONY CEILING:	1 X 4 V GROOVE PINE STAINED
EXTERIOR LIGHTS:	CONTEMPORARY SHIELDED FIXTURES



PROPOSED RIGHT SIDE ELEVATION (SOUTH)



PROPOSED REAR ELEVATION (EAST)

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REV. NOV. 2019
STATE OF CALIFORNIA

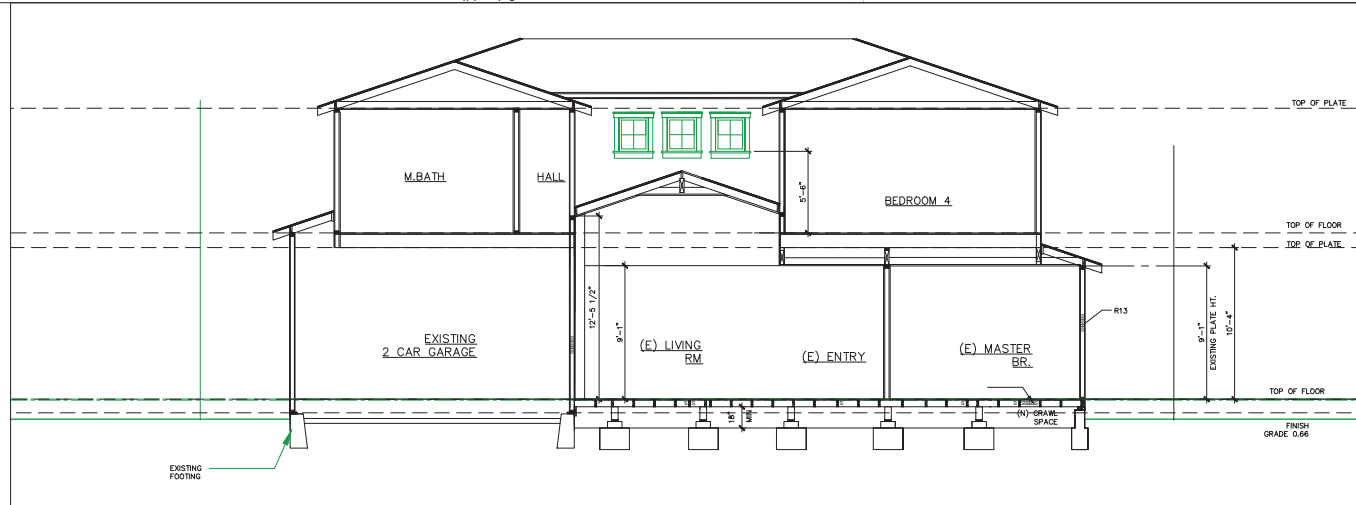
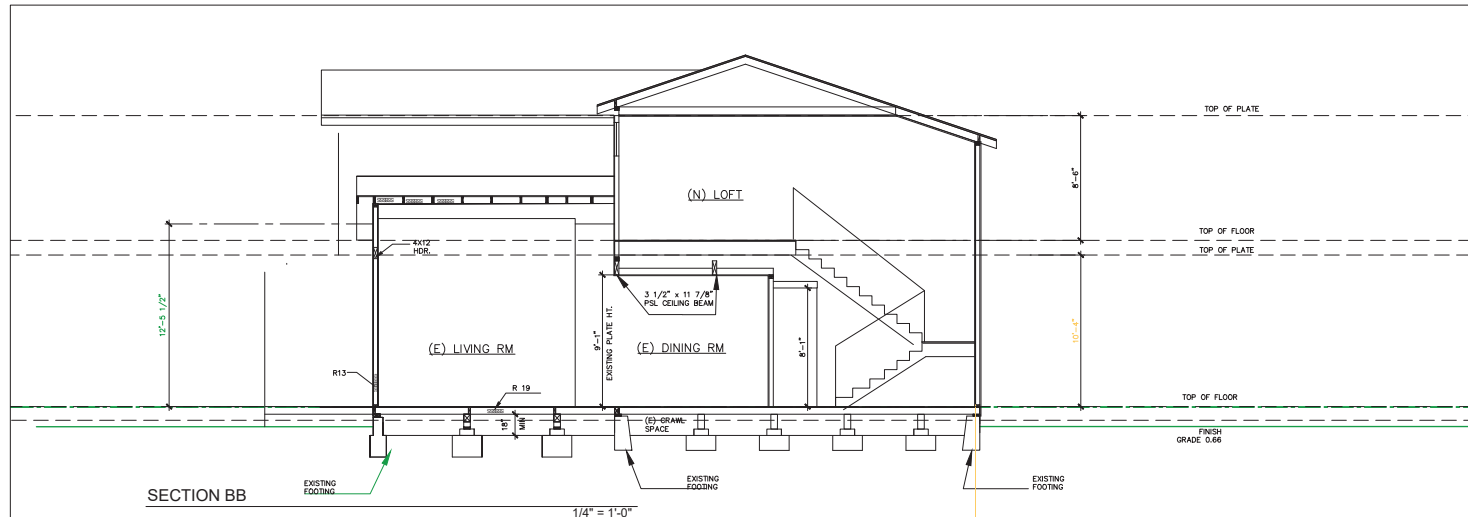
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SANTA CLARA, CALIFORNIA

PROPOSED EXTERIOR
ELEVATIONS

DRAWN AM
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DATE 5.12.2021
SCALE 1/4" = 1'-0"
JOB NO.
SHEET

A7



SECTION AA

1/4" = 1'-0"

REVISIONS	BY
1.4.2021	



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SANTA CLARA, CALIFORNIA

BUILDING
SECTIONS

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SHEET

A8