

EDWARDS RESIDENCE

615 ARMANINI AVE
SANTA CLARA CA 95050
APN: 294-08-020

PROJECT NOTES

DONT SCALE THE DRAWINGS.

STUDY THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS BEFORE BIDDING OR DOING WORK ON THIS PROJECT. IMMEDIATELY REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR UNCLEAR DIRECTIONS. THE ARCHITECT WILL EVALUATE THE PROBLEM AND MAKE A WRITTEN INTERPRETATION.

NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DEVIATIONS OR VARIATIONS FROM THE DRAWINGS OR SPECIFICATIONS SHOWN HEREIN.

DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISH MATERIALS.

DIMENSIONS ARE TAKEN FROM FACE OF FRAMING, OR FROM CENTER LINES AS INDICATED, U.N.O.

STUDY THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS BEFORE BIDDING OR DOING WORK ON THIS PROJECT. IMMEDIATELY REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS, OR UNCLEAR DIRECTIONS. THE ARCHITECT WILL EVALUATE THE PROBLEM AND MAKE AN INTERPRETATION.

THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY OF ANY DEVIATIONS OR VARIATIONS FROM THE DRAWINGS OR SPECIFICATIONS SHOWN HEREIN.

"ALIGN" MEANS TO LOCATE FINISHED FACES IN SAME PLANE.

"APPROVED" MEANS, UNLESS INDICATED OTHERWISE BY THE ARCHITECT, APPROVED IN WRITING BY THE ARCHITECT.

"AS DIRECTED" OR "AS INDICATED" MEANS AS DESCRIBED EITHER VERBALLY OR IN WRITING BY THE ARCHITECT. "AS INDICATED" NORMALLY REFERS TO AN ITEM EXPLAINED IN THE CONTRACT.

"THE CONTRACTOR" REFERS TO THE GENERAL CONTRACTOR, NOT HIS SUBCONTRACTORS.

"PROVIDE" MEANS THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.

"UNLESS NOTED OTHERWISE", "UNO", OR "UNLESS INDICATED OTHERWISE" MEANS THAT THE ITEM DESCRIBED IS TYPICAL AS SHOWN EXCEPT AS WHERE SPECIFICALLY CALLED OUT AS DIFFERENT.

"VERIFY" MEANS, UNLESS INDICATED OTHERWISE BY THE ARCHITECT, TO OBTAIN WRITTEN VERIFICATION OF THE ITEM OR METHOD INDICATED FROM THE ARCHITECT. THIS VERIFICATION MIGHT INCLUDE ELABORATION OR EXPLANATION BY THE ARCHITECT REQUIRING A MORE COMPLEX CONSTRUCTION SOLUTION THAN MIGHT BE ASSUMED BY READING THE DRAWING WITHOUT THE VERIFICATION. THEREFORE PLEASE MAKE VERIFICATIONS AS EARLY AS POSSIBLE BEFORE BIDDING THE WORK. APPROVED SHOP DRAWINGS DO NOT CONSTITUTE VERIFICATION.

ANY ERROR, OMISSION, OR OTHER CONFLICT BETWEEN THESE DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR HIS RESOLUTION AS SOON AS IT IS DISCOVERED.

INFORM THE ARCHITECT IMMEDIATELY IF THE DRAWINGS, SPECIFICATIONS, OR OTHER CONSTRUCTION DOCUMENTS DONT SEEM TO COMPLY WITH CURRENT APPLICABLE LAWS, CODES, OR REGULATIONS.

THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. THE ARCHITECT MUST BE NOTIFIED IMMEDIATELY OF ANY DEVIATIONS OR VARIATIONS FROM THE DRAWINGS OR SPECIFICATIONS.

OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, RULES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, AND LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.

U.N.O., APPLY, INSTALL, CONNECT, ERECT, CLEAN, AND CONDITION PRODUCTS PER THEIR MANUFACTURERS CURRENT WRITTEN INSTRUCTIONS.

VERIFY WITH MANUFACTURERS THEIR EQUIPMENT REQUIREMENTS (FOR INSTANCE, STRUCTURAL BLOCKING OR SUPPORT, ELECTRICAL OR MECHANICAL REQUIREMENTS, ETC.). OBTAIN EQUIPMENT SPECIFICATIONS FROM MANUFACTURER(S) TO HELP ENSURE PROPER FIT AND OPERATION.

SURVEY FIELD CONDITIONS AND VERIFY FEASIBILITY OF INDICATED WORK, FOR INSTANCE LOCATIONS OF OUTLETS IN RELATION TO STRUCTURAL ELEMENTS.

DISCONNECT, CUT BACK TO THEIR SOURCE, AND CAP UTILITIES TO BE REMOVED. SEAL PENETRATIONS AND OTHER DAMAGE CREATED BY UTILITY REMOVAL TO MATCH ADJACENT CONSTRUCTION AND FINISHES. NOTIFY ARCHITECT IMMEDIATELY OF UTILITIES DETERMINED DURING CONSTRUCTION AS NECESSARY TO BE REMOVED WHICH HAVE NOT BEEN SO DESIGNATED IN THE CONTRACT DOCUMENTS. REMOVE SUCH UTILITIES ONLY AFTER CONSULTATION WITH THE ARCHITECT.

INSTALL HORIZONTAL FRAMING CROWN UP TYPICALLY. PROVIDE S4S DOUGLAS FIR FRAMING LUMBER TYPICALLY; #1 OR BETTER GRADE FOR HORIZONTAL MEMBERS OR RAFTERS, #2 OR BETTER GRADE FOR VERTICAL MEMBERS. BLOCKING AND OTHER INCIDENTAL NON-STRUCTURAL ITEMS MAY BE STUD GRADE OR BETTER.

USE LOWINO VOC PAINT. EXCEED MANDATORY REQUIREMENTS PER CBC TABLES 4.504

DUCTS TO BE COVERED DURING CONSTRUCTION

HERS TESTING REQUIRED, SEE ENERGY DOCUMENTS

ANY NEW ROOF SHALL BE NO LESS THAN CLASS "B" RATED ROOF.

BUILDING NUMBERS SHALL BE PROVIDED. NUMBERS SHALL BE A MINIMUM OF FOUR (4) INCHES IN HEIGHT ON A CONTRASTING BACKGROUND AND VISIBLE FROM THE STREET. WHERE NUMBERS ARE NOT VISIBLE FROM THE STREET, ADDITIONAL NUMBERS SHALL BE INSTALLED ON A DIRECTIONAL SIGN AT THE PROPERTY DRIVEWAY AND THE STREET.

THE JOB COPIES OF THE BUILDING PLANS AND PERMITS MUST BE ON-SITE DURING INSPECTIONS.

RECYCLE MINIMUM 80% JOB SITE CONSTRUCTION & DEMOLITION WASTE

ALL WORK MUST COMPLY WITH THE RECOMMENDATIONS FOUND IN THE
GEOTECHNICAL INVESTIGATION BY: LUCAS OTTOBONI, P.E.

REQUIRED COMPLIANCE WITH THE FOLLOWING:

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
SANTA CLARA CITY CODE

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PROJECT INFORMATION

PROJECT DESCRIPTION:
DEMOLITION OF AN EXISTING 553 SQFT 2 BEDROOM 1 BATHROOM WITH ATTACHED 301 SQ FT GARAGE. SINGLE FAMILY RESIDENCE, TOTALING 854 SQ FT;
AND CONSTRUCTION OF NEW 2600 SQFT 4 BEDROOM 3.5 BATHROOM 2 STORY WITH ATTACHED 419 SQFT GARAGE. SINGLE FAMILY RESIDENCE, TOTALING 3109 SQ FT

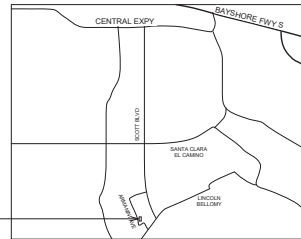
OCCUPANCY GROUP: R3
CONSTRUCTION TYPE: VB
SPRINKLERED: NOT SPRINKLERED

PARCEL
5731 SQ FT

AREA
EXISTING: 854 SF
PROPOSED: 3109 SF
FIRST FLOOR: 2009 SQ FT (419 SQFT GARAGE, 1590 SQFT RESIDENCE)
SECOND FLOOR: 1100 SQ FT (55% OF FIRST FLOOR AREA)

LOT COVERAGE (40 % ALLOWED, 2292 SQ FT MAX)
EXISTING: 854 SF
PROPOSED: 2009 SF

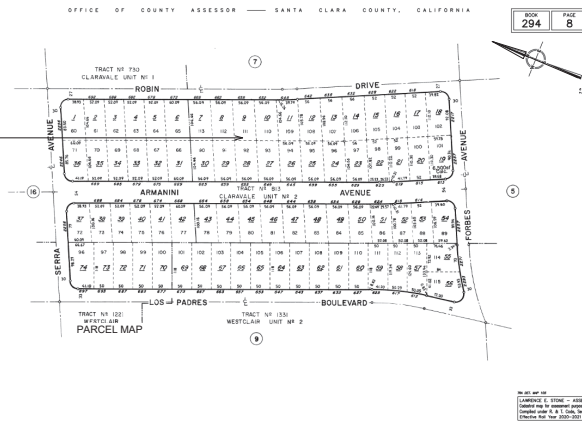
PROJECT LOCATION



VICINITY MAP (NOT TO SCALE)

SITE

SITE



DIRECTIONS:

FROM BAYSHORE FWY S HEAD EAST ON US-101 S
TAKE EXIT 301B, HEAD RIGHT ON THE RAMP FOR DE LA CRUZ BLVD
TOWARDS SANTA CLARA
TURN RIGHT ONTO CENTRAL EXPY, THEN IMMEDIATELY TURN LEFT
ONTO SCOTT BLVD
TURN RIGHT ONTO HOMESTEAD RD
TURN LEFT ONTO ARMANINI AVE
THE SITE IS ON THE LEFT

PROJECT DIRECTORY

OWNER
Larry and Elizabeth Edwards
4243 Atlas Ave
Cupertino, CA 95019
(510) 381-3571
edwardslarry@gmail.com

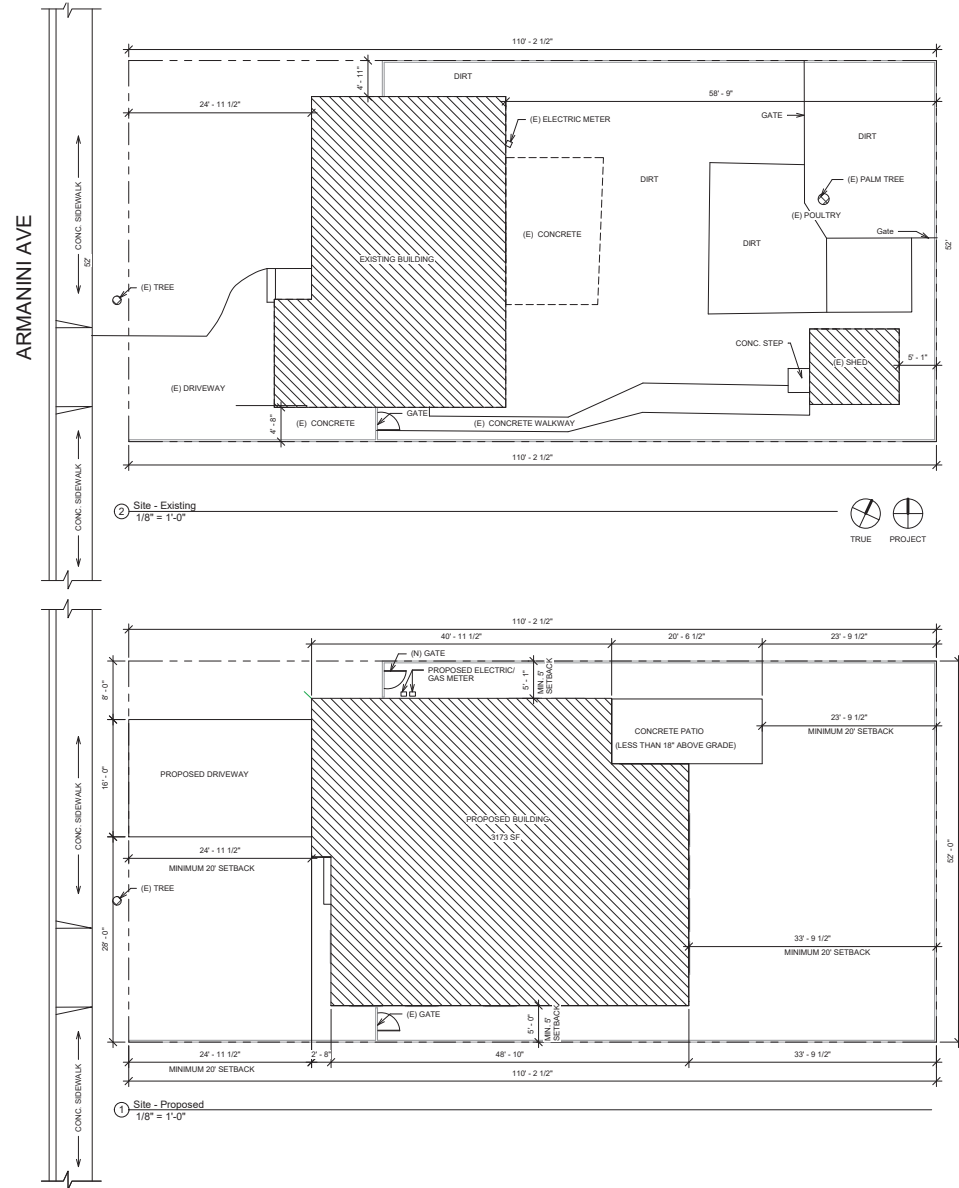
ARCHITECT
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Courtney Hughes
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courtney@modern-architecture.com

STRUCTURAL ENGINEER
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Truy Fontaine
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(510) 573-1557
fontaine@elementrise.com

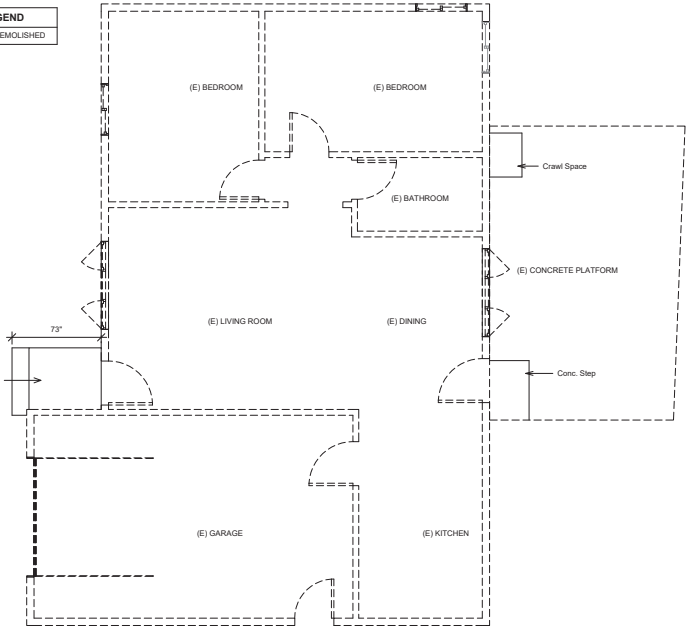
GEOTECHNICAL ENGINEER
Romp Engineers, Inc.
Lucas J. Ottoboni
1309 El Camino Real, 2nd Floor
San Carlos, CA 94070
(650) 591-5224
lucas@rompengineers.com

ENERGY CONSULTANT
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Pat Spill
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info@app-techinc.com

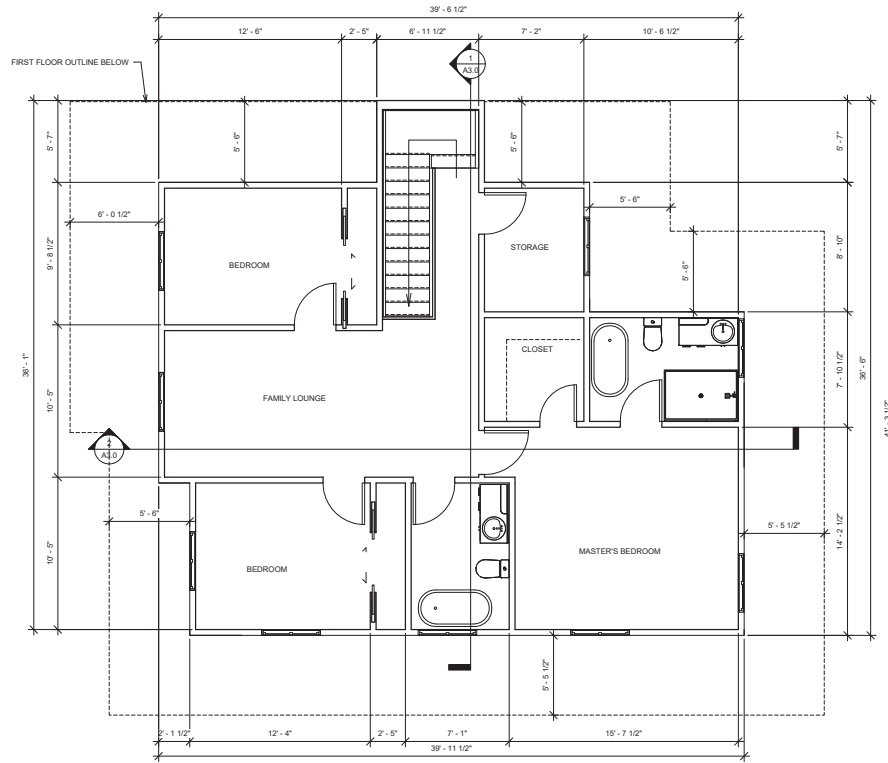
Sheet List	
Sheet Number	Sheet Name
A1.0	Site Plan
A0.0	Title Sheet
A1.1	Existing Floor Plan
A1.2	Proposed Floor Plans
A1.3	Roof Plan & Reflected Ceiling Plans
A2.0	Elevations
LU1	Survey



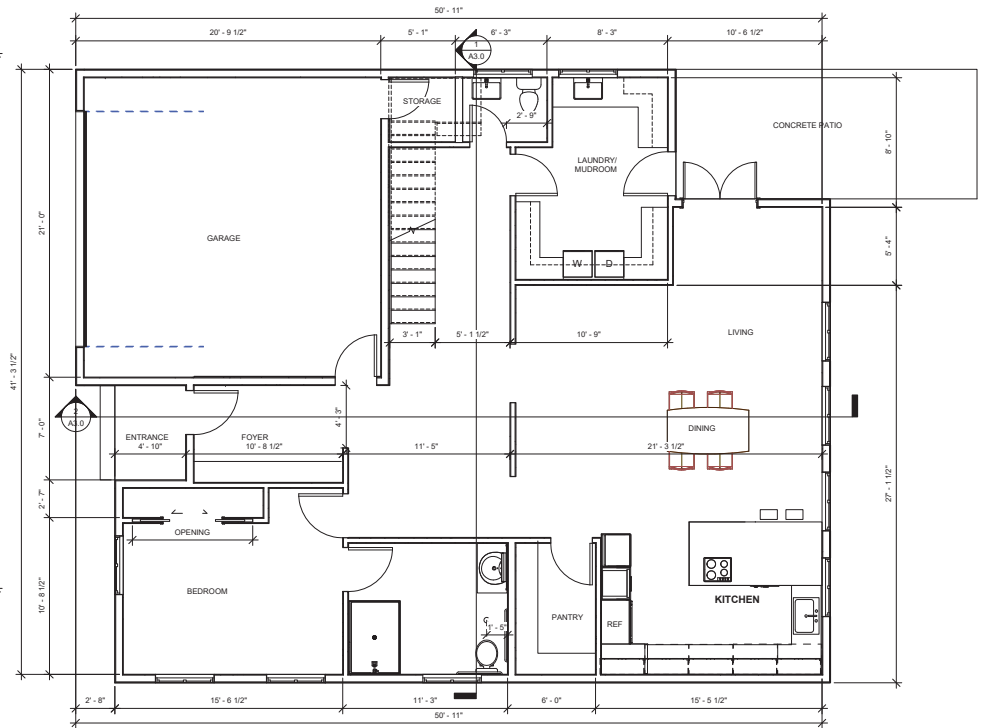
WALL LEGEND	
	DEMOLISHED



① Level 1- Existing
1/4" = 1'-0"

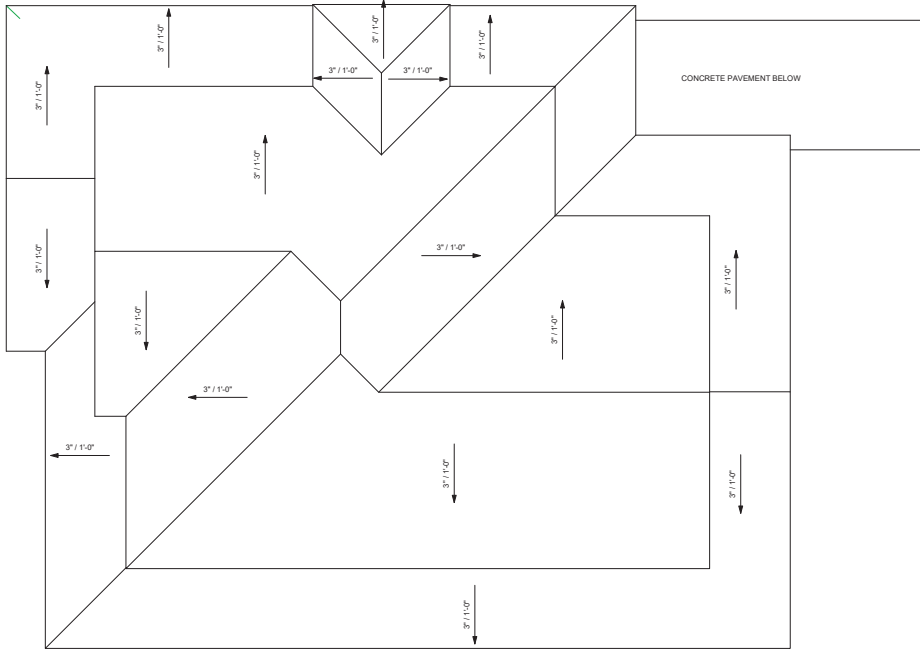


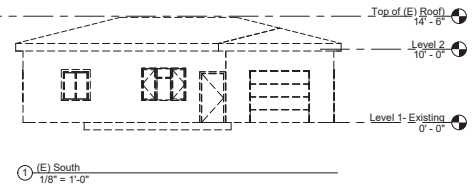
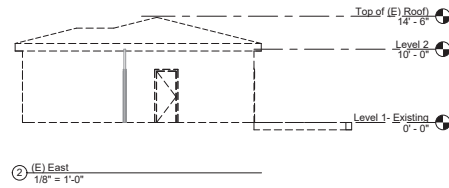
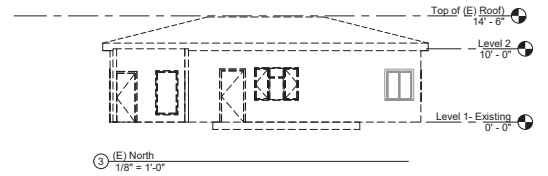
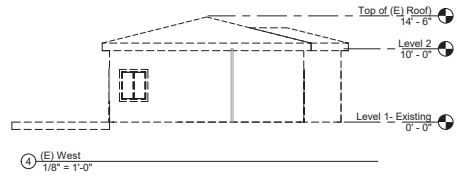
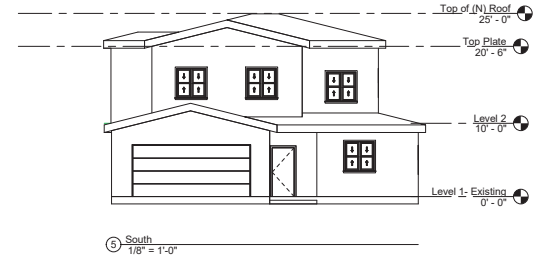
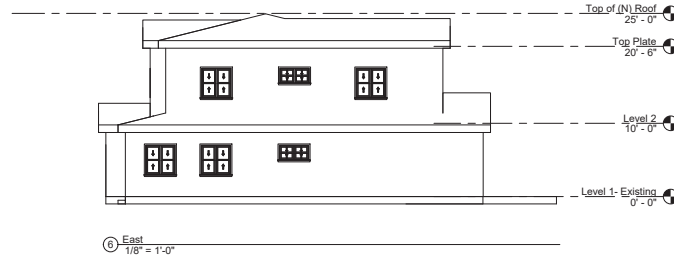
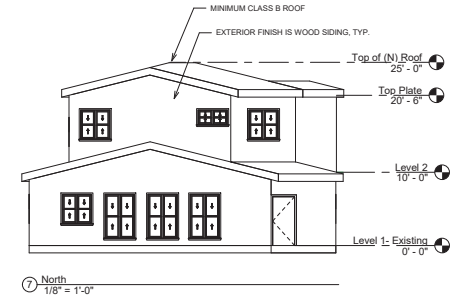
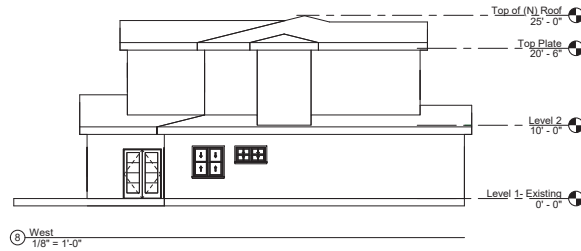
② Level 2
1/4" = 1'-0"

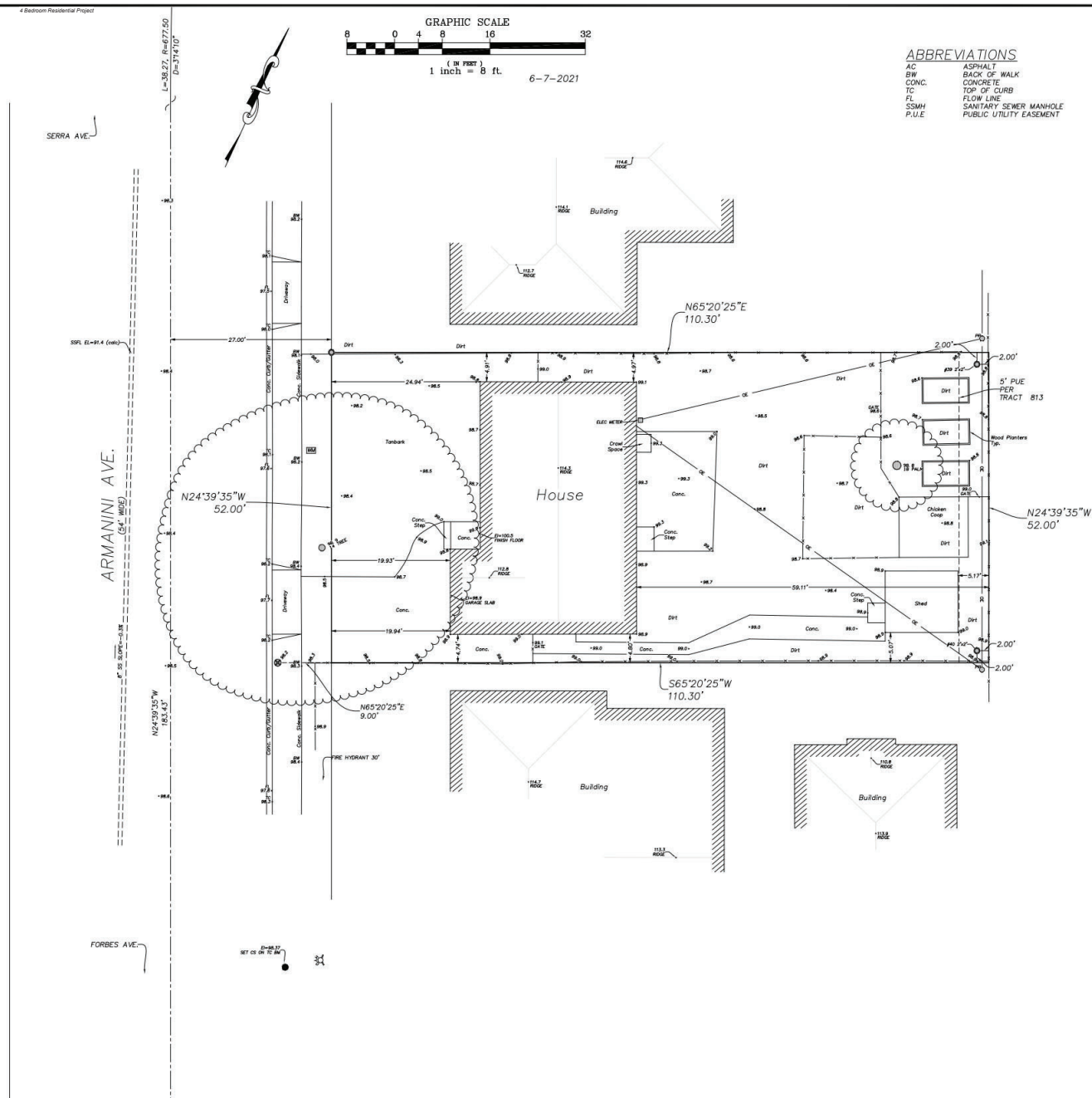


① Level 1-Proposed
1/4" = 1'-0"

① Roof Plan
1/4" = 1'-0"







ABBREVIATIONS

AC	ASPHALT
BW	BACK OF WALK
CONC.	CONCRETE
TC	TOP OF CURB
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE
P.U.E.	PUBLIC UTILITY EASEMENT

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

BOUNDARY CONTROL: SEE CONCURRENT CORNER RECORD

UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR TO THE PROPERTY LINES.

DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS STUCCO AND VARIES APPROXIMATELY 0.05'-0.10' IN THICKNESS.

FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

BENCHMARK: CITY OF SANTA CLARA J10 EL=95.33




















A BOUNDARY SURVEY WAS PERFORMED TO ACCURATELY LOCATE THE LEGAL PROPERTY LINES IN RELATION TO THE EXISTING IMPROVEMENTS (BUILDING)

A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.

TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

LEGEND

-  FOUND POINT IN MONUMENT CASTING (AS NOTED)
 FOUND POINT AS NOTED
 SET 3/4" IP "PLS 6163" (OR SET POINT AS NOTED)
 SET NAIL/TAG "PLS 6163" OVER SET CUT CROSS
 RECORD DATA / REFERENCE
 WATER METER OR WATER VALVE BOX
 FIRE HYDRANT
 TREE - TRUNK DIAMETER IN INCHES
 TREE SPECIES IDENTIFICATION: BEST EFFORT. WE ARE NOT ARBORISTS OR DENDROLOGISTS
 TREE WITH MULTIPLE TRUNKS
 TREE DRIP LINE POINTS TOWARDS TREE
 TRUNKS. TREE DRIP LINES ABOVE
 PROPERTY LOCATED AS SHOWN.
 TOP OF CURB
 FENCE
 OVERHEAD WIRES
 POWER POLE
 SPOT ELEVATION
 SANITARY SEWER CLEAN OUT



Yours Most Affectionately

BOUNDARY AND
TOPOGRAPHIC SURVEY
615 ARMANINI AVE.
SANTA CLARA
APN: 294-08-020
LOT 100, TR 813
LOT AREA: 5.736 SQ. FT.

L. Wade Hammond
Land Surveying
Civil Engineering
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Newark, California 94560

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 modern-architecture.com

4 Bedroom Residential Project
Larry and Elizabeth Edwards
615 Armanini Ave
Santa Clara, CA 95050
APN - 294 08 020

Revision Schedule	
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Issue Date

LU1