

A Second Story Addition And Remodelling For:

# Madej Residence

1762 Townsend Ave, Santa Clara, CA 95050

## PROJECT DATA

- JURISDICTION: SANTA CLARA 220-01-007
- ZONING: R1-BL
- General Plan: Very Low Density Residential
- LOT SIZE: 5,297 SF.
- MAXIMUM LOT COVERAGE: 0.40
- HEIGHT RESTRICTIONS: 20'
- SETBACKS: 20'-0" FRONT SETBACK 5'-0" SIDE SETBACKS 20'-0" REAR SETBACK
- OCCUPANCY TYPE: R1U
- CONSTRUCTION TYPE: VBI
- FLOOD ZONE: X
- FIRE SPRINKLER SYSTEM: REQUIRED

## PROJECT DESCRIPTION

THIS IS A SECOND-STOREY ADDITION FOR 1,485 S.F. INTO AN EXISTING SINGLE FAMILY HOUSE FOR 1,482 S.F. WORK INCLUDES:

- CONSTRUCTION OF EXTERIOR WALLS
- CONSTRUCTION OF PARTITIONS
- CONSTRUCTION OF DOORS AND WINDOWS
- CONSTRUCTION OF ROOF AND CEILINGS
- NEW TANKLESS WATER HEATER
- NEW ELECTRICAL - PANEL 200 AMP

SITE IMPROVEMENT INCLUDES:  
NO TREE REMOVAL AND GRADING PROPOSED.

## DEFERRED SUBMITTALS

CBG, SECTION 107.3.4.1: DEFERRED SUBMITTALS. FOR THE PURPOSES OF THIS SECTION, DEFERRED SUBMITTALS ARE DEFINED AS THOSE PORTIONS OF THE DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE APPLICATION AND THAT ARE TO BE SUBMITTED TO THE BUILDING OFFICIAL WITHIN A SPECIFIED PERIOD.

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE FOLLOWING ITEM REQUIRE DEFERRED REVIEW AND PERMIT BY THE CITY OF SANTA CLARA

- FIRE SPRINKLER SYSTEM SHALL BE PROVIDED AND INSTALLED PER NFPA 13D 2019 EDITION STANDARD

## NOTE FOR CONTRACTOR

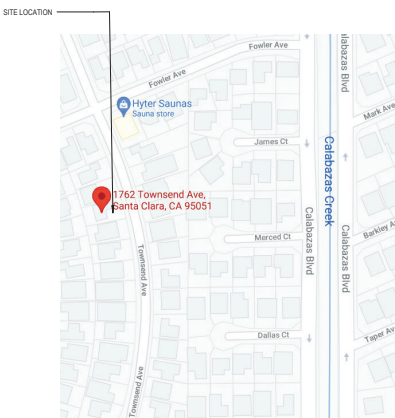
1. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ROOM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PROCEEDING AT HIS OWN RISK. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REPERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY ROOM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM ROOM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
2. THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, 16-103(b) THAT INCLUDES A LIST OF LAMP TYPES INSTALLED IN THE LUMINAIRES.
3. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.
4. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY GENERAL CONTRACTOR OR OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATING AEROSOL PAINTS, AEROSOL COATING, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION, AND ADHESIVES), RESILIENT FLOORING SYSTEM, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CBGSC SECTION 4.5(a). ALL DOCUMENTATION SHALL BE PROVIDED PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION.
- 5.

## APPLICABLE CODES

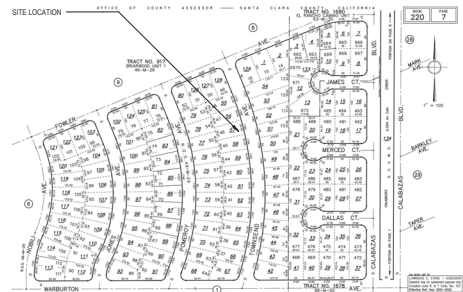
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 CALIFORNIA ENERGY CODE



## PARCEL MAP



## VICINITY MAP



## PROJECT TEAM

### OWNER

Madej Residence  
1762 Townsend Ave  
Santa Clara, CA 95050  
P: 408-398-6903  
E: madejmonica@gmail.com  
CONTACT: Monica Madej

### DESIGNER

Room Design Studio  
1622 W Campbell, Suite 108  
Campbell, CA 95008  
P: 925-949-6052  
E: mehman@rdsdesignstudio.com  
CONTACT: Mehman Soltanzadeh

## DRAWING INDEX AND ISSUE DATES

Sheet Number	Sheet Name	PLANNING Submital Date 06/30/21
A0.00	COVER SHEET	0
1. GENERAL		
A0.01	GREEN BLDG. RESIDENTIAL MANDATORY MEASURES-01	0
A0.02	EXTERIOR PERSPECTIVES	0
A0.03	STREETSCAPES	0
2. ARCHITECTURAL		
A1.01	SITE PLAN	0
A2.01	EXISTING AND DEMOLITION FLOOR PLAN	0
A2.11	FIRST LEVEL IMPROVEMENT FLOOR PLAN	0
A2.12	SECOND LEVEL IMPROVEMENT FLOOR PLAN	0
A2.21	FIRST LEVEL REFLECTED CEILING PLAN	0
A2.40	ROOF AND DRAINAGE PLAN	0
A3.01	NORTH AND SOUTH ELEVATIONS	0
A3.02	EAST AND WEST ELEVATIONS	0
A4.01	BUILDING SECTIONS	0
A7.01	DOOR AND WINDOW SCHEDULE	0

## DRAWING SYMBOL LEGEND

BUILDING SECTION (PLAN)		ROOM NAME WITH FLOOR FINISH	
BUILDING SECTION (ELEVATION)		DOOR TAG	
ELEVATIONS		WINDOW TAG	
WALL SECTION		REVISION TAG	
DETAIL CALLOUT		LEVEL TAGS	
DETAIL CUT (PLAN/SECTION)		PLAN / ELEVATION / SECTION TITLE	
RELATED DETAIL CUT BELOW OR ABOVE		DETAIL TITLE	
WALL TYPE - REFER TO SHEET A2.11		GLAZING TYPE DESIGNATION	
KEYNOTE		NORTH ARROWS	
CEILING NAME WITH CEILING FINISH			
INTERIOR ELEVATION (ARCHITECTURE OR MILLWORK) REFERENCE			



A Second Story Addition And Remodelling For:

Madej Residence

1762 Townsend Ave, Santa Clara, CA 95050

No.	Date	Revision
1	Date 1	Revision 1

DESCRIPTION  
COVER SHEET

Project Date 04/14/2021

Drawn by RDS

Checked by RDS

Project Number 210304

Scale As Indicated

A0.00


BLD Permit No.:

<b>ENVIRONMENTAL COMFORT (CGC 4.507)</b>		
Heating and air-conditioning system shall be sized, designed and have their equipment selected using the following methods per CGC 4.507.2: 1. Heat Loss/Heat Gain values in accordance with ANSI/ACCA 2 Manual J-2016 or equivalent; 2. Duct systems are sized according to ANSI/ACCA 1 Manual D-2016 or equivalent; 3. Select heating and cooling equipment in accordance with ANSI/ACCA 3 Manual S-2014 or equivalent.		<input checked="" type="checkbox"/>
<b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATION (CGC 702)</b>		
Installer training: HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a recognized training or certification program per CGC 702.1.		<input checked="" type="checkbox"/>
<b>Special inspection.</b> Special inspectors employed by the City must be qualified and able to demonstrate competence in the discipline they are inspecting per CGC 702.2.		<input checked="" type="checkbox"/>
<b>VERIFICATION (CGC 703)</b>		
Upon request, verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department which will show substantial conformance per CGC 703.1.		<input checked="" type="checkbox"/>

<b>Responsible Designer's Declaration Statement</b> I hereby certify that this project has been designed to meet the requirements of the 2019 California Green Building Standards Code.	<b>Contractor Declaration Statement</b> I hereby certify, as the builder or installer under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name:	Name:
Signature:	Signature:
Date:	Date:
Company:	License:
Address:	Address:
City: State: Zip:	City: State: Zip:

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 <b>City of Santa Clara</b> Building Division 1500 Warburton Ave. Santa Clara, CA 95050 www.santacleara.gov	<b>Building Division:</b> 408-615-2440 Email: Building@santacleara.gov <b>Permit Center:</b> 408-615-2420 Email: PermitCenter@santacleara.gov Automated Inspection Scheduling System: 408-615-2400
<b>2019 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST</b>	

New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall also be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to the specific area of the addition or alteration.

BUILDING PERMIT NO.: BLD20  
ADDRESS: 1762 Townsend Av. Santa Clara, CA

MANDATORY MEASURES SPECIFIED (Please check boxes below)

Feature or Measure	Yes
<b>SITE DEVELOPMENT (CGC 4.106)</b>	
Storm water drainage and retention during construction. A plan shall be developed and shall be implemented to manage storm water drainage during construction per CGC 4.106.2.	<input checked="" type="checkbox"/>
Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings per CGC 4.106.3.	<input checked="" type="checkbox"/>
Electric vehicle (EV) charging for new construction. Provide capability for future electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages; 10% of total parking spaces, as specified, for multifamily dwellings; and in new hotels and motels per CGC 4.106.4. EV spaces for hotels/motels shall comply with accessibility provisions for EV charging stations in the California Building Code, Chapter 11B.	<input checked="" type="checkbox"/>
<b>ENERGY EFFICIENCY (CGC 4.301)</b>	
California Energy Code. The building's construction shall meet or exceed the requirements of the 2019 California Building Energy Efficiency Standards per CGC 4.301.1.	<input checked="" type="checkbox"/>
<b>WATER EFFICIENCY AND CONSERVATION</b>	
<b>INDOOR WATER USE (CGC 4.303)</b>	
Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the prescriptive requirements of Section 4.303.1.1 through 4.303.1.4.	
Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (CGC 4.303.1.1).	<input checked="" type="checkbox"/>
Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush, and all other urinals shall not exceed 0.5 gallons per flush (CGC 4.303.1.2).	<input checked="" type="checkbox"/>
Showerheads. The flow rate for single showerhead and multiple showerheads serving one shower shall not exceed 1.8 gallons per minute at 80 psi, and shall be certified to the performance criteria of the U.S. EPA WaterSense Specification (CGC 4.303.1.3).	<input checked="" type="checkbox"/>
Residential lavatory faucets. The flow rate shall not be more than 1.2 gallons per minute at 60 psi, and not less than 0.8 gallons per minute at 20 psi (CGC 4.303.1.4.1).	<input checked="" type="checkbox"/>
Lavatory faucets in common and public use areas. The flow rate shall not exceed 0.5 gallons per minute at 60 psi (CGC 4.303.1.4.2).	<input checked="" type="checkbox"/>
Metering Faucets. The flow rate shall not deliver more than 0.2 gallons per cycle (CGC 4.303.1.4.3).	<input checked="" type="checkbox"/>
Kitchen Faucets. The flow rate shall not exceed 1.8 gallons per minute at 60 psi (CGC 4.303.1.4.4).	<input checked="" type="checkbox"/>
Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code per CGC 4.303.2.	<input checked="" type="checkbox"/>

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BLD Permit No.:

<b>OUTDOOR WATER USE (CGC 4.304)</b>		
Outdoor potable water use in landscape areas. Residential developments shall comply with the City Water Service and Use Rules and Regulations, Item No. 24, or the California Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, per CGC 4.304.1.		<input checked="" type="checkbox"/>
<b>ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)</b>		
Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the City per CGC 4.406.1.		<input checked="" type="checkbox"/>
<b>CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING (CGC 4.408)</b>		
Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of nonhazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3, or 4.408.4, or meet a more stringent local construction and demolition waste management (CGC 4.408.1).		<input checked="" type="checkbox"/>
<b>BUILDING MAINTENANCE AND OPERATION (CGC 4.410)</b>		
An operation and maintenance manual shall be provided to the building occupant or owner per CGC 4.410.1.		<input checked="" type="checkbox"/>
Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and is identified for depositing, storage and collection of nonhazardous materials for recycling per CGC 4.410.2.		<input checked="" type="checkbox"/>
<b>ENVIRONMENTAL QUALITY (CGC 4.503)</b>		
Gas fireplace. Any installed gas fireplaces shall be a direct-vent sealed-combustion type per CGC 4.503.1.		<input checked="" type="checkbox"/>
Woodstoves. Any installed woodstove or pellet stove shall comply with U.S. EPA new Source Performance standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits per CGC 4.503.1.		<input checked="" type="checkbox"/>
<b>POLLUTANT CONTROL (CGC 4.504)</b>		
Covering of dust openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution components openings shall be covered with tape, plastic, steel metal, or other methods acceptable to the City to reduce the amount of water, dust or debris, which may enter the system per CGC 4.504.1.		<input checked="" type="checkbox"/>
Adhesive, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.		<input checked="" type="checkbox"/>
Paints, stains and other coatings shall comply with VOC limits per CGC 4.504.2.2.		<input checked="" type="checkbox"/>
Aerosol paints and coatings shall meet the product-weighted MIR limits for ROC and other requirements per CGC 4.504.2.3.		<input checked="" type="checkbox"/>
Verification. Documentation shall be provided, at the request of the Building Division, to verify compliance with VOC finish materials per CGC 4.504.2.4.		<input checked="" type="checkbox"/>
Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of CGC 4.504.3.		<input checked="" type="checkbox"/>
Resilient flooring systems. Where resilient flooring is installed, at least 60% of the floor area receiving resilient flooring shall comply with the requirements of CGC 4.504.4.		<input checked="" type="checkbox"/>
Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall comply with the formaldehyde requirements of CGC 4.504.4.		<input checked="" type="checkbox"/>
<b>INTERIOR MOISTURE CONTROL (CGC 4.505)</b>		
Concrete slab foundations. Vapor retarder and capillary break shall be installed if a slab on grade foundation system is used. The use of a 4" thick base of 1/2" or larger clean aggregate under a 6 mil vapor retarder with joint lapped not less than 6" shall be provided per CGC 4.505.2 and CRC R506.2.3.		<input checked="" type="checkbox"/>
Moisture content of building material. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed the 19% moisture content. Moisture content shall be checked prior to finish material being applied per CGC 4.505.3.		<input checked="" type="checkbox"/>

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A Second Story Addition And Remodeling For:

**Madej Residence**

1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Revised by:  
**GREEN BLDG. RESIDENTIAL MANDATORY MEASURES-01**

Project Date: 04/14/2021

Drawn by: RDS

Checked by: RDS

Project Number: 210304

Scale:

**A0.01**





**RDS**  
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*M. S. R.*

A Second Story Addition And Remodeling For:

**Madej Residence**

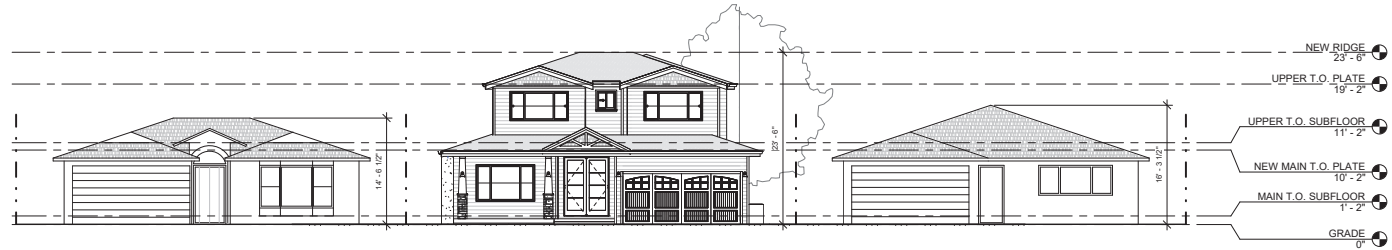
1762 Townsend Ave, Santa Clara, CA 95050

Revisions		
No.	Date	Description

DESCRIPTION  
**EXTERIOR PERSPECTIVES**

Project Date: 04/14/2021  
Drawn by: RDS  
Checked by: RDS  
Project Number: 210304  
Scale:

**A0.02**



**RDS**  
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*Mehvan*

A Second Story Addition And Remodelling For:  
**Madej Residence**  
 1782 Townsend Ave, Santa Clara, CA 95050

Revisions		
No.	Date	Description

Description  
**STREETSCAPES**

Project Date: 04/14/2021  
 Drawn by: RDS  
 Checked by: RDS  
 Project Number: 210304  
 Scale: 1/8" = 1'-0"

**A0.03**



RDS

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*M. S. T.*

A Second Story Addition And Remodelling For:

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1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Documentation

CONSTRUCTION BEST  
MANAGEMENT PRACTICE

Project Date04/14/2021

Drawn byRDS

Checked byRDS

Project Number210304

Scale

**A0.04**

*Mehran*

A Second Story Addition And Remodeling For:  
**Madej Residence**  
1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Description  
**SITE PLAN**

Project Date: 04/14/2021  
Drawn by: RDS  
Checked by: RDS  
Project Number: 210304  
Scale: 1/8" = 1'-0"

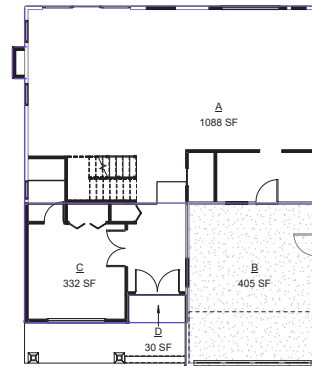
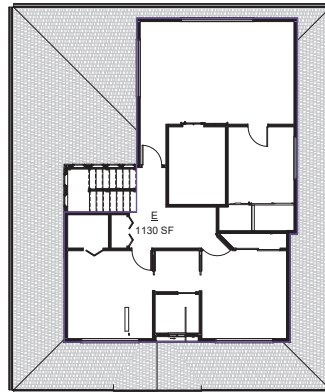
**A1.01**

## GENERAL NOTES

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- EDUCATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10 FEET FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 650-486-5983. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- THE OWNER WILL RETAIN SAVIAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SAVIAGE ITEMS WHICH MAY BE REUSED.
- REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- REMOVE FLOORING AND BASE THROUGHOUT U.D.
- WHERE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC.; AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR RIBBONED OFF ZONES.
- ALL ITEMS FOR RE-USE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE RE-USED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION. ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
- GASCOCKE DR IS RECENTLY PAVED. THEREFORE, A STREET CLOT MONITORING IS IN PLACE FOR A PERIOD OF THREE YEARS. HOWEVER, EXCEPTIONS CAN BE GRANTED WITH PROPER PAVEMENT RESTORATION SUCH AS SURF SEAL. THEREFORE, ADDITIONAL COST MAY BE ADDED TO ANY UTILITY WORK IN THE PAVEMENT.
- IF THE PROJECT DAMAGES THE CITY'S SIDEWALK OR CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITIES, THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE ANY DAMAGES AS DIRECTED BY THE PUBLIC WORKS INSPECTOR. AN ENDOACHMENT PERMIT WILL ALSO BE REQUIRED.
- PUBLIC WORKS NOTES.
- 1) APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN IF DURING THE COURSE OF CONTRACTING IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF OR A DEPARTURE FROM THE CITY OF CUPERTINO SPECIFICATION OR THESE IMPROVEMENT PLANS. THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER AND/OR CONTRACTOR.
- 2) CONTACT PUBLIC WORKS, (408) 777-3104, FOR INSPECTION OF GRADING, STORM DRAINAGE, AND PUBLIC IMPROVEMENTS.
- 3) ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- 4) CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- 5) CONTRACTOR SHALL REVIEW CITY DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- 6) UTILITY BEST MANAGEMENT PRACTICES (BMPs), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS THE SOIL.
- 7) A WORK SCHEDULE OF GRADING AND EROSION & SEDIMENT CONTROL PLAN SHALL BE PROVIDED TO THE CITY ENGINEER BY AUGUST 15. NO HILLSIDE GRADING SHALL BE PERFORMED BETWEEN OCTOBER 1 AND APRIL 15.
- 8) TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
- 9) ALL DOWNSPUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.
- 10) PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENDOACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.

## KEYNOTES

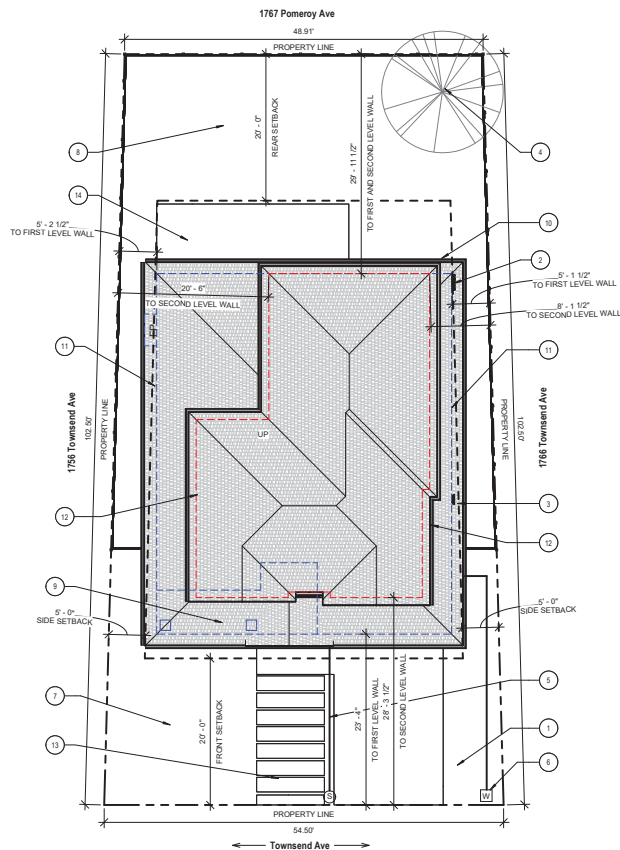
- EXISTING CONC. DRIVEWAY.
- EXISTING ELECTRICAL TO BE UPGRADED TO 200 AMP PANEL AND OVERHEAD LINE. CONTRACTOR TO COORDINATE WITH PG&E.
- EXISTING GAS METER.
- EXISTING TREE, TO BE PROTECTED DURING CONSTRUCTION.
- NEW 4" SEWER LINE, CLEAN OUT AND BACKFLOW VALVE.
- EXISTING WATER METER TO BE UPGRADED TO COMPLY WITH FIRE DEPARTMENT REQUIREMENT FOR THE SPRINKLER.
- LAWN / SHRUBS.
- EXISTING LANDSCAPE.
- FRONT PORCH.
- AC UNIT WITH 3" CONC. PAD.
- FIRST LEVEL WALL OUTLINE.
- SECOND LEVEL WALL OUTLINE.
- NEW CONC. WALKWAY.
- NEW CONC. PATIO.



## AREA CALCULATION

Area Schedule (Gross Building)		
Name	Type of Area	Area
A	EXISTING FLOOR AREA	1088 SF
B	EXISTING GARAGE	405 SF
C	1ST FLOOR ADDITION	332 SF
D	NEW PORCH	30 SF
E	2ND FLOOR ADDITION	1130 SF

- LOT AREA: 5,297 SF.
- TOTAL EXISTING FLOOR AREA: 1,088 SF.
- EXISTING GARAGE TO REMAIN (2 CAR GARAGE): 404 SF.
- TOTAL EXISTING FLOOR AREA (INCLUDE GARAGE): 1,492 SF.
- ADDITION AREA: 1,449 SF.
- NEW COVERED FRONT PORCH: 30 SF.
- LOT COVERAGE (0.40 X 5,297) = 2,118 SF. > 1,985 SF.



## 1 SITE PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES

- A. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE RDM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH LIMITED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY RDM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM RDM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- B. EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10 FEET FROM THE EXISTING STREET TREE, OR AS APPROVED BY THE URBAN FORESTRY DIVISION. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- C. MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
- D. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- E. THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- F. REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- G. REMOVE FLOORING AND BASE THROUGHOUT U.D.
- H. WHERE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC., AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- I. CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR RIBBONED OFF ZONES.
- J. ALL ITEMS FOR RE-USE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE RE-USED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION. ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOCKPILING OF EXCESS MATERIAL ON-SITE WILL NOT BE ALLOWED.
- K. DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- L. ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- M. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.

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M. S. S. S.

A Second Story Addition And Remodelling For:

**Madej Residence**

1762 Townsend Ave, Santa Clara, CA 95050

DEMOLITION FLOOR PLAN SYMBOLS LEGEND

- WALL TO BE REMOVED  
WALL TO REMAIN  
WINDOW TO REMAIN  
WINDOW TO BE REMOVED
- DOOR TO REMAIN  
DOOR TO BE REMOVED

1 MAIN LEVEL EXISTING AND DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

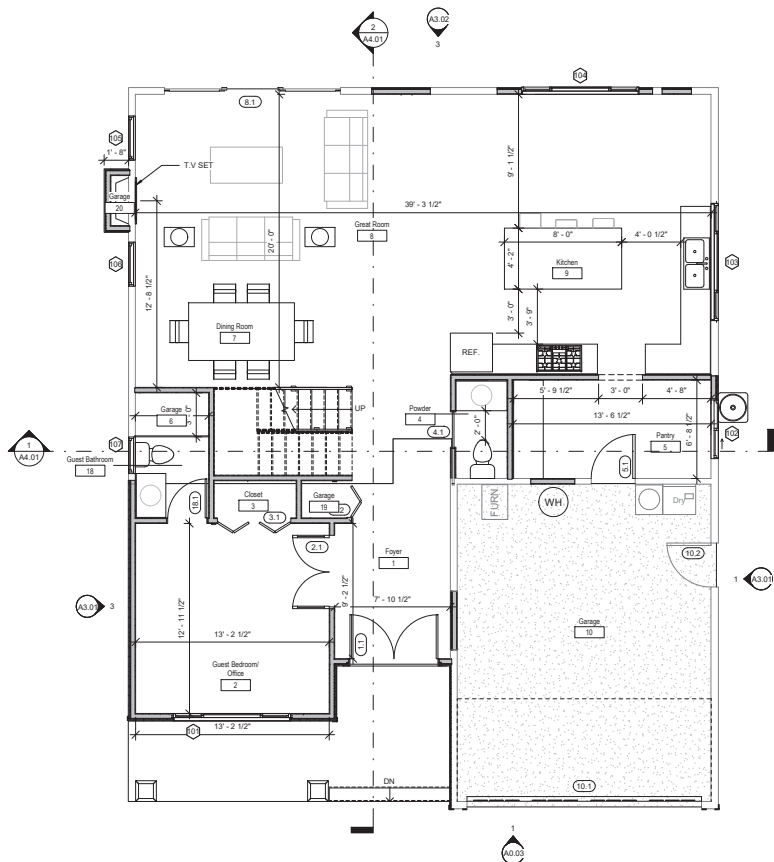


Revisions		
No.	Date	Description

Document	
EXISTING AND DEMOLITION FLOOR PLAN	
Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	1/4" = 1'-0"

**A2.01**





**1 FIRST LEVEL IMPROVEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



## GENERAL NOTES

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- A DRYER VENT DUCT SHALL NOT EXCEED THE MAXIMUM LENGTH (HORIZONTAL AND/OR VERTICAL) OF 14 FEET INCLUDING TWO (2) 90-DEGREE TURNS WITHOUT A MECHANICAL UPSHADE. TWO FEET OF LENGTH SHALL BE DEDUCTED FOR EACH ADDITIONAL 90-DEGREE TURN.
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- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASHING DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GASK FITTING ON THE DISCHARGE SIDE OF DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER.
- CONTRACTOR SHALL REPLACE EQUAL NUMBER OF EXISTING VENTS BLOCKED BY THE NEW STRUCTURE AT THE ADDITION. SEE FOUNDATION VENT CALCULATION A2.11.

## RESIDENTIAL BATHROOM NOTES (2019 CRC,CPC)

- MIXING VALVE IN A SHOWER SHALL BE PRESSURE-BALANCING. SET A MAX. 120" V. WATER-FILLER VALVE IN BATHTUBS SHALL HAVE A TEMP. LIMITING DEVICE SET AT 120° F MAX.
- SHOWER STALLS SHALL BE A MIN. FINISHED INTERIOR OF 1,024 SQ. INCHES, CLEAR CENTER DIMENSION OF A 30", & DOORS SHALL SWING OUT WITH OPENINGS 22" MIN.
- THE WATER CLOSET SHALL HAVE MIN. CLEARANCES OF 30" WIDTH (15" ON CENTER) AND 24" IN THE FRONT.
- ALL RECEPTACLES SHALL BE GFCI AND TAMPER-RESISTANT (TR). NEW OUTLETS SHALL HAVE A DEDICATED 20-AMP CIRCUIT.
- HYDRO MASSAGE TUBS SHALL HAVE MOTOR ACCESS, A DEDICATED CIRCUIT, AND BE UL LISTED, ALL METAL CABLES FITTINGS, PIPING, ETC. WITHIN 5' OF THE INSIDE WALL OF THE TUB SHALL BE PROPERLY BONDED WITH AN ACCESS PANEL.
- LIGHTING FIXTURES LOCATED WITHIN 7' HORIZONTALLY AND 8' VERTICALLY OF THE TUB/SHOWER SHALL BE LISTED FOR A SHMP LOCATION OR WET LOCATIONS IF THE SUBJECT TO SHOWER SPRAY.
- AN EXHAUST FAN SHALL BE INSTALLED AND BE ON A SEPARATE SWITCH FROM THE LIGHTING.
- GLAZING IN TUB SHOWER ENCLOSURES SHALL BE SAFETY GLAZING WHEN 4'-0" ABOVE THE STANDING SURFACE.
- GLAZING WITHIN 60" OF A TUB/SHOWER AND LESS THAN 60" ABOVE THE FINISHED FLOOR SHALL BE SAFETY GLAZING.
- LIGHTING SHALL BE HIGH EFFICACY FIXTURES (E.G. FLUORESCENT) OR BE CONTROLLED BY A SWITCH WHICH REQUIRES MANUAL ACTIVATION AND AUTOMATICALLY TURNING OFF WITHIN 15 MIN. AFTER THE ROOM IS VACATED.
- THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-WATER EFFICIENT PLUMBING FIXTURES THROUGHOUT THE HOUSE BE UPGRADED. HOUSES CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT.
- TOILETS SHALL BE INSTALLED OR REPLACED WITH 1.28 GALLONS/FLUSH.
- SHOWERHEADS SHALL BE INSTALLED OR REPLACED MAX. 2.0 GALLONS/MINUTE.
- BATH SINK FAUCETS SHALL BE INSTALLED OR REPLACED MAX. 1.2 GALLONS/MINUTE.
- KITCHEN SINK FAUCET SHALL BE INSTALLED OR REPLACED MAX. 1.8 GALLONS/MINUTE.

## FLOOR PLAN SYMBOLS LEGEND

NEW WALL		NEW DOOR	
SEE WALL TYPE NOTES			
EXISTING WALL		EXISTING DOOR	
NEW WINDOW			
EXISTING WINDOW		8'X14" G.I. FOUNDATION	
		10'X1"	

## EGRESS NOTES (2019 CRC)

- WHERE EMERGENCY AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" (1118 MM) MEASURED FROM THE FLOOR.(R310.1)
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM OPENING OF 5.7 SQ. FT. (530 SQ. M.)
- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (530 SQ. M.) R310.1.1
- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20" (508MM) R310.1.2
- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" (508MM) R310.1.3
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTION OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. R310.1.4

Revisions		
No.	Date	Description

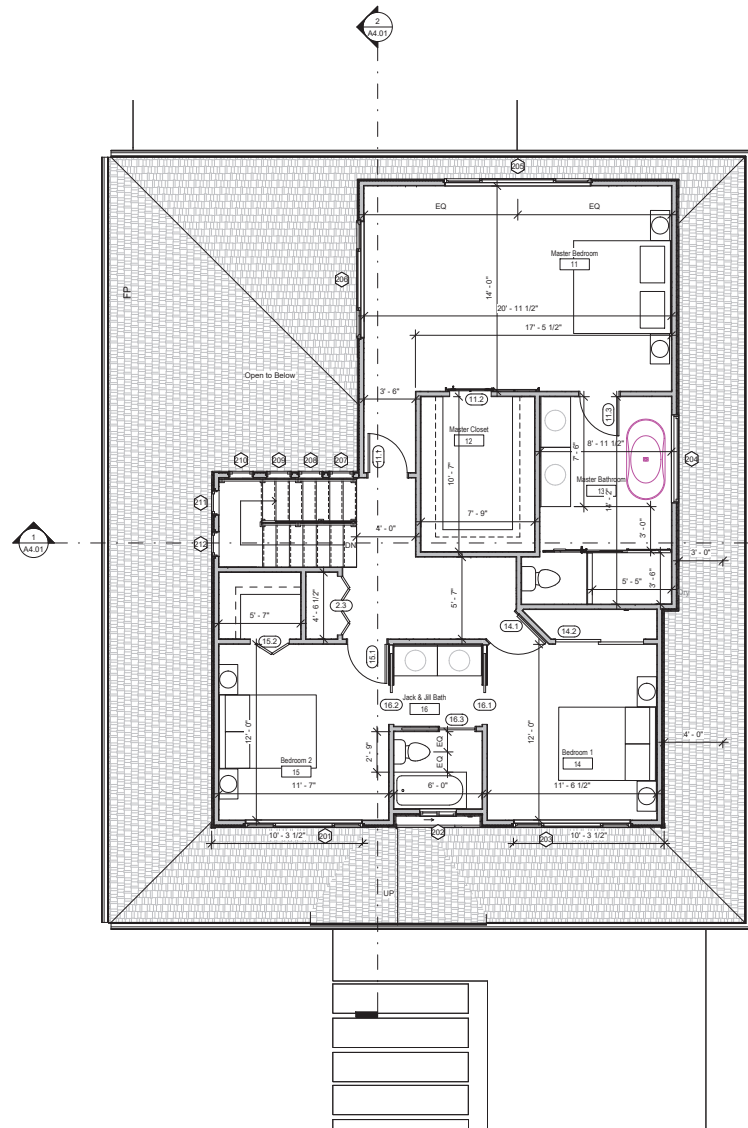
Description	
FIRST LEVEL IMPROVEMENT FLOOR PLAN	

Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	1/4" = 1'-0"

**A2.11**

## 1 SECOND LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



## GENERAL NOTES

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- HYDRO-MASSAGE TUBS SHALL HAVE MOTOR ACCESS, A DEDICATED CIRCUIT, AND BE UL LISTED, ALL METAL, CABLES FITTINGS, PIPING, ETC. WITHIN 5' OF THE INSIDE WALL OF THE TUB SHALL BE PROPERLY BONDED WITH AN ACCESS PANEL.
- LIGHTING FIXTURES LOCATED WITHIN 7' HORIZONTALLY AND 8' VERTICALLY OF THE TUB/SHOWER SHALL BE LISTED FOR A SHMP LOCATION OR WET LOCATIONS IF THE SUBJECT TO SHOWER SPRAY.
- AN EXHAUST FAN SHALL BE INSTALLED AND BE ON A SEPARATE SWITCH FROM THE LIGHTING.
- GLAZING IN TUB SHOWER ENCLOSURES SHALL BE SAFETY GLAZING WHEN ≥ 40" ABOVE THE STANDING SURFACE.
- GLAZING WITHIN 40" OF A TUB/SHOWER AND LESS THAN 40" ABOVE THE FINISHED FLOOR SHALL BE SAFETY GLAZING.
- LIGHTING SHALL BE HIGH EFFICACY FIXTURES (E.G. FLUORESCENT) OR BE CONTROLLED BY A SWITCH WHICH REQUIRES MANUAL ACTIVATION AND AUTOMATICALLY TURNING OFF WITHIN 15 MIN. AFTER THE ROOM IS VACATED.
- THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-WATER EFFICIENT PLUMBING FIXTURES THROUGHOUT THE HOUSE BE UPGRADED. HOUSES CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT.
- TOILETS SHALL BE INSTALLED OR REPLACED WITH 1.28 GALLONS/FLUSH.
- SHOWERHEADS SHALL BE INSTALLED OR REPLACED MAX. 2.0 GALLONS/MINUTE.
- BATH SINK FAUCETS SHALL BE INSTALLED OR REPLACED MAX. 1.2 GALLONS/MINUTE.
- KITCHEN SINK FAUCET SHALL BE INSTALLED OR REPLACED MAX. 1.8 GALLONS/MINUTE.

## FLOOR PLAN SYMBOLS LEGEND

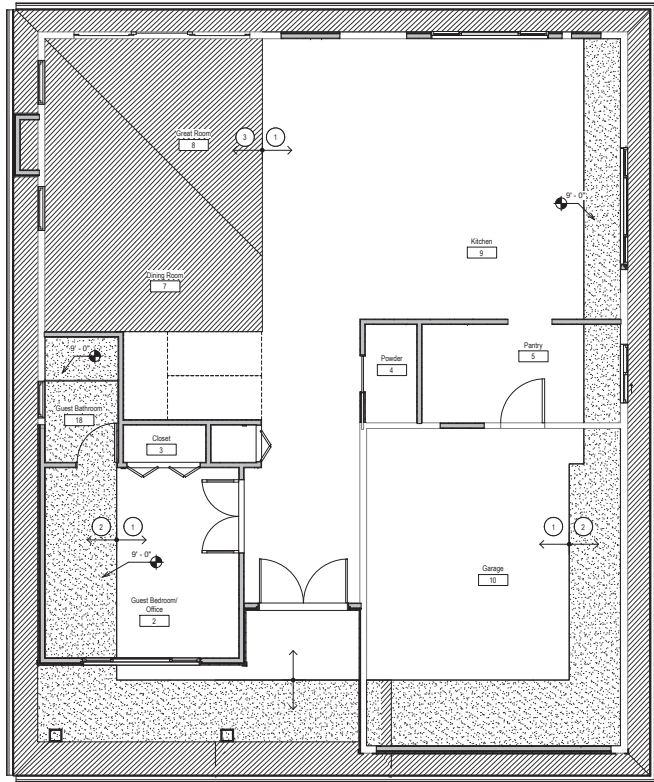
NEW WALL		NEW DOOR	
SEE WALL TYPE NOTES		EXISTING DOOR	
EXISTING WALL			
NEW WINDOW			
EXISTING WINDOW		8"x14" G.I. FOUNDATION	
		10"1"	

## EGRESS NOTES (2019 CRC)

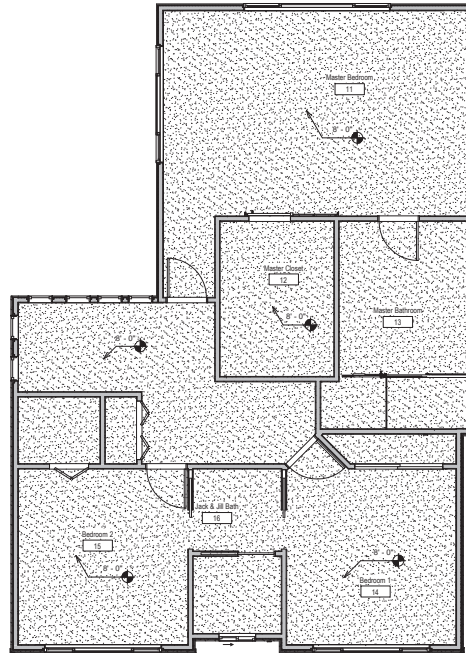
- WHERE EMERGENCY AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" (1118 MM) MEASURED FROM THE FLOOR.(R310.1.1)
- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM OPENING OF 5.7 SQ.F. (530 SQ.M.)
- GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.F. (530 SQ.M.) R310.1.1
- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" (609MM) R310.1.2
- THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" (508MM) R310.1.3
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE MAINTAINED FREE OF ANY OBSTRUCTION OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. R310.1.4

Revisions		
No.	Date	Description

RECORD SET SECOND LEVEL IMPROVEMENT FLOOR PLAN	
Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	1/4" = 1'-0"



1 FIRST LEVEL REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



2 SECOND LEVEL REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

## GENERAL NOTES

- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT, AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE RDM DESIGN STUDIO'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK. OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH LIMITED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS. SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY RDM DESIGN STUDIO IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM RDM DESIGN STUDIO PRIOR TO PROCEEDING WITH ANY RELATED WORK.
- ALL EXTERIOR LIGHTS WILL BE SHIELDED AND DOWNWARD DIRECTED.
- DRYER VENTING SHALL TERMINATE ON THE EXTERIOR OF THE BUILDING AND WILL HAVE A BACK DRAFT DAMPER (FLAPPER), SCREENS SHALL NOT BE PERMITTED ON INSTALLED AT THE DRYER VENT TERMINATION. CLOTHES DRYER VENT PIPES SHALL NOT PASS THROUGH OR EXTEND INTO TO DUCTING OR PLUMBING. DRYER DUCTING SHALL NOT BE FASTENED WITH SCREW TYPE FASTENERS WHICH MAY IMPEDE THE AIR FLOW OR CATCH LINT, YET MUST BE FASTENED AND SEALED SUBSTANTIALLY AIR-TIGHT AT EACH JOINT. (AN APPROVED FASTENING SYSTEM IS ALUMINUM DUCT TAPES)
- A MINIMUM OF A 4-INCH DIAMETER DUCT IS REQUIRED.
- CLOTHES DRYER VENT DUCTS SHALL BE METAL AND SHALL HAVE A SMOOTH INTERIOR SURFACE. AN APPROVED FLEXIBLE DUCT CONNECTOR OF NOT MORE THAN 6 FEET IN LENGTH MAY BE USED TO CONNECT THE DRYER TO THE DRYER VENT PIPE. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN THE CONSTRUCTION. FLEX DUCT CONNECTORS SHALL NOT PASS INTO OR THROUGH A CONCEALED SPACE. THIS INCLUDES CABINETS, WALLS AND ATTIC SPACES.
- A DRYER VENT DUCT SHALL NOT EXCEED THE MAXIMUM LENGTH (HORIZONTAL AND/OR VERTICAL) OF 14 FEET INCLUDING TWO (2) 90-DEGREE TURNS WITHOUT A MECHANICAL UPSHADE. TWO FEET OF LENGTH SHALL BE DEDUCTED FOR EACH ADDITIONAL 90-DEGREE TURN.
- MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- REMOVE FLOORING AND BASE THROUGHOUT U.N.D.
- WHERE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC., AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR RIBBONED-OFF ZONES.
- ALL ITEMS FOR RE-USE SHALL BE STORED BY CONTRACTOR ON SITE OR OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE RE-USED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION. ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASHING DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHING AIR GAP FITTING ON THE DISCHARGE SIDE OF DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER.
- CONTRACTOR SHALL REPLACE EQUAL NUMBER OF EXISTING VENTS BLOCKED BY THE NEW STRUCTURE AT THE ADDITION. SEE FOUNDATION VENT CALCULATION A2.11.

## KEYNOTES

- 1 SECOND LEVEL FLOOR JOIST
- 2 CEILING JOIST
- 3 OPEN CEILING



A Second Story Addition And Remodeling For:

**Madejo Residence**

1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Description	
FIRST LEVEL REFLECTED CEILING PLAN	
Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	1/4" = 1'-0"

**A2.21**



THE EXHAUST SYSTEM SHALL TERMINATE AS FOLLOWS

- a. OUTSIDE THE BUILDING WITH A FAN OR DUCT THROUGH THE ROOF, OR TO THE ROOF FROM OUTSIDE, AS IN SECTION 510.8.2, OR THROUGH A WALL, AS IN SECTION 510.3.3 ROOFTOP TERMINATIONS.
- b. ROOFTOP TERMINATIONS SHALL BE ARRANGED WITH OR PROVIDED WITH THE FOLLOWING:
- c. A MINIMUM OF TEN (10) FEET (3.048 MM) OF CLEARANCE FROM THE OUTLET TO ADJACENT BUILDINGS, PROPERTY LINES, AND AIR INTAKES, WHERE SPACE LIMITATIONS ABSOLUTELY PREVENT A TEN (10) FOOT (3.048 MM) HORIZONTAL SEPARATION FROM AN AIR INTAKE, A VERTICAL SEPARATION SHALL BE PERMITTED, WITH THE EXHAUST OUTLET BEING A MINIMUM OF THREE (3) FEET (914 MM) ABOVE ANY AIR INTAKE LOCATED WITHIN TEN (10) FEET (3.048 MM) HORIZONTALLY.
- d. THE EXHAUST FLOW DIRECTED UP AND AWAY FROM THE SURFACE OF THE ROOF AND A MINIMUM OF FORTY (40) INCHES (1.016 MM) ABOVE THE ROOF SURFACE.
- e. THE ABILITY TO DRAIN GREASE OUT OF ANY TRAPS OR LOW POINTS FORMED IN THE FAN OR DUCT NEAR THE TERMINATION OF THE SYSTEM INTO A COLLECTION CONTAINER THAT IS NONCOMBUSTIBLE, CLOSED, RAINPROOF, STRUCTURALLY SOUND FOR THE SERVICE TO WHICH IT IS APPLIED, AND WILL NOT SUSTAIN COMBUSTION. A GREASE COLLECTION DEVICE THAT IS APPLIED TO EXHAUST SYSTEMS SHALL NOT INHIBIT THE PERFORMANCE OF ANY FAN.
- f. EXCEPTION GREASE CONTAINERS THAT ARE EVALUATED FOR EQUIVALENCY WITH THE PRECEDING REQUIREMENTS AND LISTED AS SUCH.
- g. A LISTED GREASE DUCT COMPLYING WITH SECTION 510.4, OR WITH OUTWORK COMPLYING WITH SECTION 510.5.
- h. A RINGED UPRAST FAN SUPPLIED WITH FLEXIBLE WEATHERPROOF ELECTRICAL CABLE AND SERVICE.
- i. HOLLOWPEN RETAINER TO PERMIT PROPER INSPECTION AND CLEANING THAT IS LISTED FOR COMMERCIAL COOKING EQUIPMENT, PROVIDED THE DUCTWORK EXTENDS A MINIMUM OF FIFTEEN (15) INCHES.
- j. (45) MM ABOVE THE ROOF SURFACE AND THE FAN DISCHARGES A MINIMUM OF FORTY (40) INCHES.
- k. (1.016 MM) ABOVE THE ROOF SURFACE (SEE SECTION 511.1.1).
- l. OTHER APPROVED FAN PROVIDED (1) IT MEETS THE REQUIREMENTS OF SECTIONS 510.8.2(C), AND 511.1.3, AND (2) ITS DISCHARGE OR ITS EXTENDED DUCT DISCHARGE MEETS THE REQUIREMENTS OF SECTION 510.8.2(B).

GENERAL NOTES

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- b. ALL EXTERIOR LIGHTS WILL BE SHIELDED AND DOWNWARD DIRECTED.
- c. MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- d. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A HEALTHY TIGHT CONDITION.
- e. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- f. THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REQUIRED.
- g. REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- h. REMOVE FLOORING AND BASE THROUGHOUT U.N.A.
- i. WHERE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC., AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- j. CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR RIBBONS OFF ZONES.
- k. ALL ITEMS FOR RE-USE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE RE-USED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION. ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOCKPILING OF EXCESS MATERIAL, ON-SITE WILL NOT BE ALLOWED.
- l. DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- m. ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- n. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.

RESIDENTIAL ENERGY REQUIREMENT NOTES

- a. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE, SHALL BE CERTIFIED AS AIRTIGHT (INCLUDING EXHAUST FAN HOUSINGS), SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, SHALL NOT CONTAIN SCREEN BASE SOCKETS, AND ALL SCREEN BASES PERMANENTLY INSTALL LIGHT FIXTURES MUST CONTAIN SCREEN BASED JAR COMPLIANT LAMPS. JAR COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAR 2019" OR "JAR 2019 E". JAR 2019 LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES.
- b. ALL FORWARD PHASE OUT DIMMERS USED WITH LED LIGHT SOURCES SHALL COMPLY WITH NEMA SLS 7A.
- c. EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.
- d. LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.
- e. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- f. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES (EXCEPTIONS: LUMINAIRES IN CLOSETS LESS THAN 70 SQ. FT. AND IN HALLWAYS).
- g. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- h. RESIDENTIAL, OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH WITH PHOTOCELL AND MOTION SENSOR.
- i. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- j. COMPLETED CFR 1.10.4.6 FORM MUST BE PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. A CONDENSATE DRAIN THAT IS NO MORE THAN 1/8" HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWING NATURAL DRAINING WITHOUT PUMPS ASSISTANCE, PROVIDED VENTILATION HEATING AND AIR CONDITIONING SYSTEM WITH MERV 13 FILTERS OR BETTER.
- k. ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
- l. TERMINATION OF ENVIRONMENTAL AIR DUCTS, ENVIRONMENTAL AIR DUCT EXHAUST SHALL TERMINATE A MINIMUM OF THREE (3) FEET (914 MM) FROM PROPERTY LINE AND THREE (3) FEET (914 MM) FROM OPENINGS INTO THE BUILDING.
- m. ALL LIGHTING TO BE HIGH EFFICIENCY.
- n. ALL 15AMP AND 20AMP DWELLING UNIT RECEPTAL OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.

ELECTRICAL AND LIGHTING LEGEND

- \* ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATIONS ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. SEE ELECTRICAL OUTLET HEIGHT AT 114B.02

220V OUTLET / EV CHARGER	VACANCY SWITCH	4" CEILING RECESSED LED LIGHT
GROUND FAULT CIRCUIT INTERRUPTER	SINGLE SWITCH DIMMER	4" CEILING LOW PROFILE RECESSED LED LIGHT
220V OUTLET / GFCI	THREE WAY SWITCH DIMMER	PENDENT LED LIGHT
STANDARD DUPLEX PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER / TO BE INSTALLED -15' ABV. F.F	FOUR WAY SWITCH DIMMER	WET LOCATION ADJUSTABLE 6" RECESSED CAN W/ WP SOLID LENS
WATERPROOF GFCI DUPLEX PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER	OCCUPANCY SWITCH	WATER PROOF EXHUST FAULTLIGHT PANASONIC 180 CFM
ELECTRICAL PANEL 200 amp	NEW SMOKE ALARM INTERCONNECTED 120V W/ 10 YR. BATTERY LIFE BACK-UP *	WALL MOUNT VANTY MIRROR LED LIGHT
SUB PANEL	NEW CARBON MONOXIDE ALARM INTERCONNECTED 110V W/ 10 YEAR. BATTERY LIFE BACK-UP **	WALL MOUNTED LED LIGHT
HARDWIRE DOORBELL BUZZER	LED LINEAR LIGHT	247 FAN - 110 CFM W/ 0.3 SENE-WhiteCeiling/Panasonic 247 CONTINUOUS 2749 at 100 - 28 dm -304 bed 73x11 - 18 dm
AVV CONNECTION	EXTERIOR WALL MOUNTED LIGHT-ACTION SENSOR WITH INTEGRATED PHOTO CELL - WATER PROOF	
IN CEILING SPEAKER	CEILING FAN WITH LED LIGHT	MOTION SWITCH

\* KIDDE - RF-SM-ACC POWER SOURCE: 120VAC, 9V BATTERY BACKUP AUDIO ALARM - 802B AT 10FT TEMPERATURE RANGE: 40F (4.4C) TO 100F (37.8C) HUMIDITY RANGE: UP TO 85% RELATIVE HUMIDITY (RH) SENSOR IONIZATION WIRING: QUICK CONNECT PLUG WITH 8' CORDS SIZE: 3.75" IN DIAMETER X 1.25" DEPTH WEIGHT: 5.8LBS INTERCONNECTS: UP TO 24 DEVICES (OF WHICH 18 CAN BE INITIATING)

\*\* KIDDE - KN-CORP-B-LPM POWER SOURCE: THREE AA BATTERIES (INCLUDED) SENSOR ELECTROCHEMICAL AUDIO ALARM - 802B AT 10FT TEMPERATURE RANGE: 40F (4.4C) TO 100F (37.8C) HUMIDITY RANGE: 5% TO 95% RELATIVE HUMIDITY (RH) SIZE: 4.51 X 2.75 X 1.51" D WEIGHT: 8.6LBS (WITH BATTERIES) WIRING: NO INTERCONNECTS NO WARRANTY. 10 YEAR LIMITED



Mehran RDS

A Second Story Addition And Remodeling For:

Madej Residence

1762 Townsend Ave, Santa Clara, CA 95050

Revisions		
No.	Date	Description

MAIN LEVEL ELECTRICAL AND LIGHTING FLOOR PLAN

Project Date	04/14/2021
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A2.31

RDS

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WITHOUT PERMISSION IN WRITING FROM THREE SLASH AND NOT TO BE

*M. S. Z.*

A Second Story Addition And Remodelling For:

**Madej Residence**

1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Discipline: **UPPER LEVEL ELECTRICAL AND LIGHTING FLOOR PLAN**

Project Date

04/14/2021

Drawn by

RDS

Checked by

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Project Number

210304

Scale

**A2.32**

# 1 ROOF AND DRAINAGE FLOOR PLAN

SCALE: 3/16" = 1'-0"



## GENERAL NOTES

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- ALL EXTERIOR LIGHTS WILL BE SHIELDED AND DOWNWARD DIRECTED.
- EXCAVATION ACTIVITIES ASSOCIATED WITH THE PROPOSED SCOPE OF WORK SHALL OCCUR NO CLOSER THAN 10 FEET FROM THE EXISTING STREET TREES, OR AS APPROVED BY THE URBAN FORESTRY DIVISION CONTACT 855-486-9953. ANY CHANGES SHALL BE APPROVED BY THE SAME.
- DRYER VENTING SHALL TERMINATE ON THE EXTERIOR OF THE BUILDING AND WILL HAVE A BACK DRAFT DAMPER (FLAPPER). SCREENS SHALL NOT BE PERMITTED OR INSTALLED AT THE DRYER VENT TERMINATION. CLOTHES DRYER VENT PIPES SHALL NOT PASS THROUGH OR EXTEND INTO TO DUCTING OR PLENUM. DRYER DUCTING SHALL NOT BE FASTENED WITH SCREW TYPE FASTENERS WHICH MAY IMPROVE THE AIR FLOW OR CATCH LINT. VENT MUST BE FASTENED AND SEALED SUBSTANTIALLY AIRTIGHT AT EACH JOINT. (AN APPROVED FASTENING SYSTEM IS ALUMINUM DUCT TAPE)
- A MINIMUM OF 4-INCH DIAMETER DUCT IS REQUIRED.
- CLOTHES DRYER VENT DUCTS SHALL BE METAL AND SHALL HAVE A SMOOTH INTERIOR SURFACE. AN APPROVED FLEXIBLE DUCT CONNECTOR OF NOT MORE THAN 6 FEET IN LENGTH MAY BE USED TO CONNECT THE DRYER TO THE DRYER VENT PIPE. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN THE CONSTRUCTION. (FLEX DUCT CONNECTORS SHALL NOT PASS INTO OR THROUGH A CONCEALED SPACE. THIS INCLUDES CABINETS, WALLS AND ATTIC SPACES).
- A DRYER VENT DUCT SHALL NOT EXCEED THE MAXIMUM LENGTH (HORIZONTAL AND/OR VERTICAL) OF 14 FEET INCLUDING TWO (90 DEGREE) TURNS WITHOUT A MECHANICAL UPGRADE. TWO FEET OF LENGTH SHALL BE DEDUCTED FOR EACH ADDITIONAL 90 DEGREE TURN.
- MOVABLE EQUIPMENT, FURNITURE, ETC. SHALL BE REMOVED BY OWNER PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO CONSTRUCTION TO REMAIN OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED.
- THE OWNER WILL RETAIN SALVAGE ITEMS AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL REMOVAL OF CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF SALVAGE ITEMS WHICH MAY BE REUSED.
- REMOVE MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS OR CEILING WHERE INDICATED.
- REMOVE FLOORING AND BASE THROUGHOUT L.I.D.
- WHERE REMOVAL OF FLOOR COVERINGS AND WALL BASE ARE REQUIRED, REMOVE ONLY MATERIAL NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING REMOVAL SURFACES TO BE PREPARED FOR NEW CONSTRUCTION.
- CONTRACTOR SHALL PREVENT ACCESS OF UNAUTHORIZED PERSONS TO PARTLY DEMOLISHED STRUCTURES OR AREAS. PROVIDE BARRICADES OR RED ZONE ZONES.
- ALL ITEMS FOR RE-USE SHALL BE STORED BY CONTRACTOR ON SITE IN OWNER'S BUILDING AT SPECIFIED LOCATION. ITEMS TO BE RE-USED ARE TO BE CLEANED, PATCHED, REFINISHED, PAINTED OR REPAIRED AS REQUIRED PRIOR TO INSTALLATION. ITEMS NOT TO BE RETAINED BY OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
- DISCONNECT AND REMOVE ELECTRICAL EQUIPMENT AND WIRING BACK TO SOURCE FOR ALL EQUIPMENT AND LIGHTING TO BE DEMOLISHED.
- ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION, CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN.
- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
- APPROVAL OF THESE PLANS DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTIONS OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTING IMPROVEMENTS, PUBLIC INTEREST REQUIRES A MODIFICATION OF OR A DEPARTURE FROM THE CITY OF CUPERTINO SPECIFICATION OR THESE IMPROVEMENT PLANS, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE COMPLETED, AT THE SOLE EXPENSE OF THE OWNER AND/OR CONTRACTOR.
- ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- CONTRACTOR SHALL REVIEW CITY DETAIL 6-4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS THE SOIL.
- ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPED AREAS.
- PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT. THEREFORE, ADDITIONAL COST MAY BE ADDED TO ANY UTILITY WORK IN THE PAVEMENT.
- IF THE PROJECT DAMAGES THE CITY'S SIDEWALK OR CURB AND GUTTER AS RESULT OF CONSTRUCTION ACTIVITIES, THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE ANY DAMAGES AS DIRECTED BY THE PUBLIC WORKS INSPECTOR. AN ENCROACHMENT PERMIT WILL ALSO BE REQUIRED.

## ROOF PLAN SYMBOL LEGEND

SKYLIGHT, SEE WINDOW SCHEDULE SHEET A7 01



A Second Story Addition And Remodeling For:

### Madejo Residence

1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

#### Revisions

#### ROOF AND DRAINAGE PLAN

Project Date: 04/14/2021  
 Drawn by: RDS  
 Checked by: RDS  
 Project Number: 210304  
 Scale: As Indicated

## A2.40

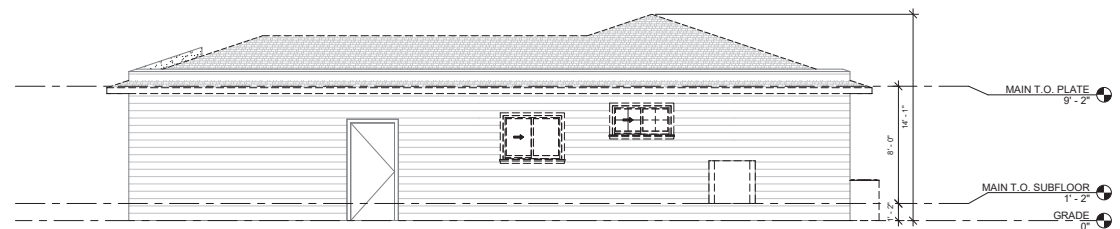
**RDS**  
 Rdm Design Studio  
 1622 W Campbell Ave. Suite 109  
 Campbell, CA 95008  
 mehvan@rdsdesignstudio.com  
 www.rdsdesignstudio.com  
 (925) 945-8062  
 COPYRIGHT RESERVED BY THESE PLANS.  
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 CONSTRUCTION AND THAT THE USE  
 OF THESE PLANS IS LIMITED TO THE  
 PROJECT AND SITE SPECIFICALLY  
 IDENTIFIED IN THE PROJECT CONTRACT.

*M. S. J.*

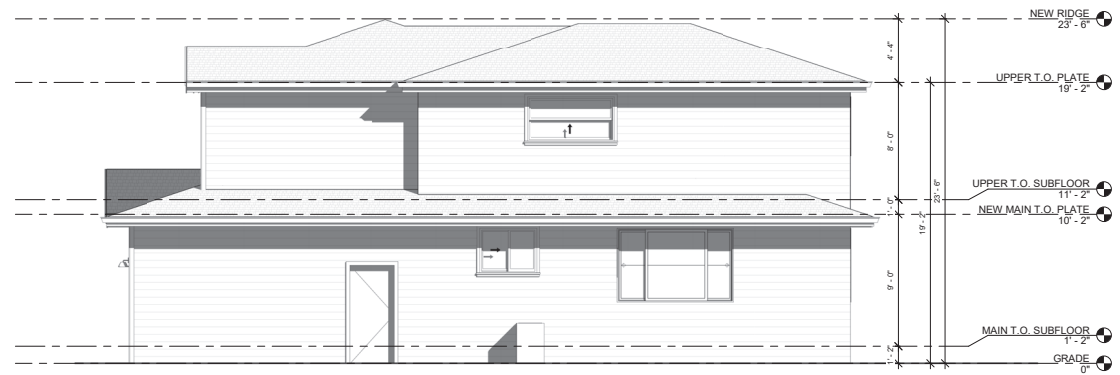


*Mehvan*

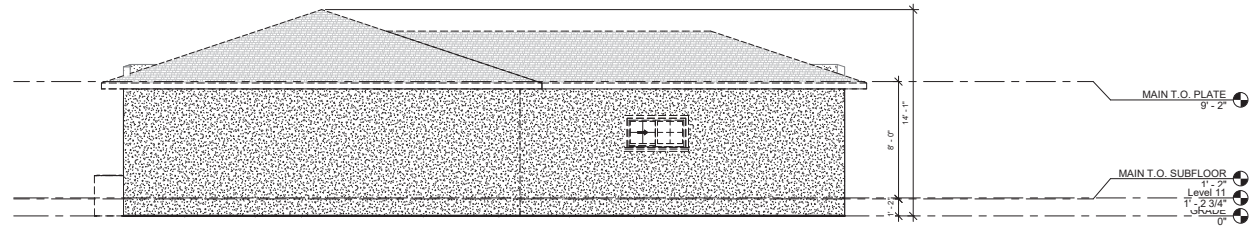
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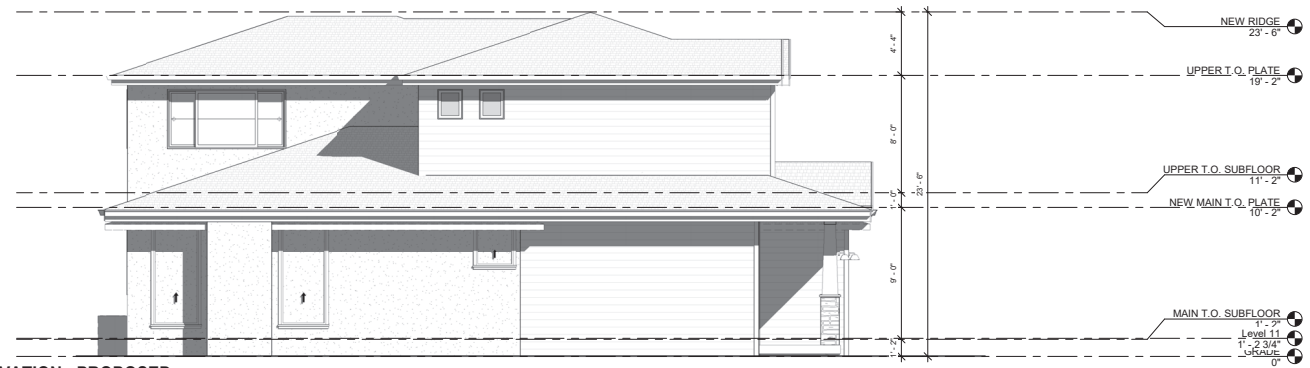
**2 NORTH ELEVATION - PROPOSED**  
 SCALE: 1/4" = 1'-0"



**3 SOUTH ELEVATION - EXISTING AND DEMO**  
 SCALE: 1/4" = 1'-0"



**4 SOUTH ELEVATION - PROPOSED**  
 SCALE: 1/4" = 1'-0"



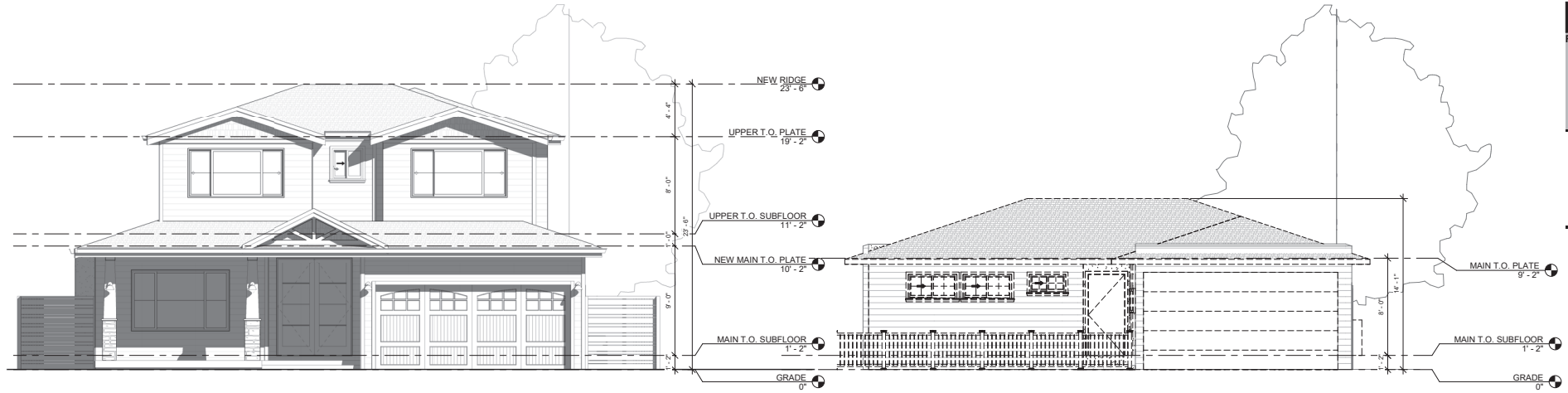
A Second Story Addition And Remodeling For:  
**Madej Residence**  
 1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Project Information	
Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	1/4" = 1'-0"

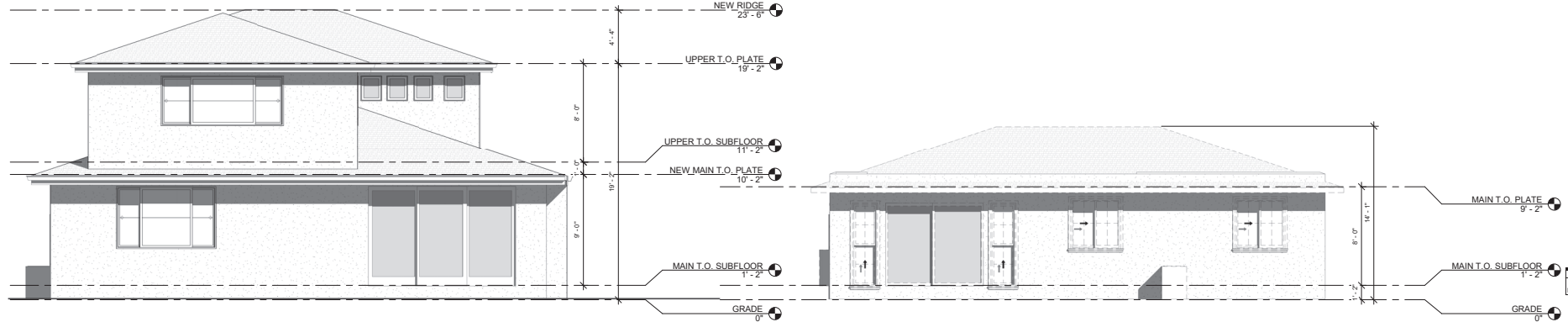
**A3.01**

*M. S. S.*



**2 EAST ELEVATION - PROPOSED**  
 SCALE: 1/4" = 1'-0"

**1 EAST ELEVATION - EXISTING AND DEMO**  
 SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION - PROPOSED**  
 SCALE: 1/4" = 1'-0"

**3 WEST ELEVATION - EXISTING AND DEMO**  
 SCALE: 1/4" = 1'-0"

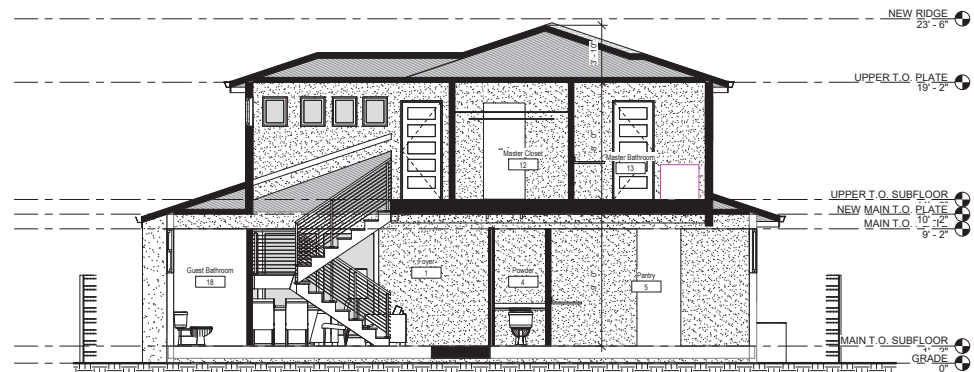
A Second Story Addition And Remodelling For:  
**Madej Residence**  
 1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Description	
EAST AND WEST ELEVATIONS	
Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	1/4" = 1'-0"

**A3.02**

*M. S. J.*



**1 Section 1**  
 SCALE: 1/4" = 1'-0"



**2 Section 2**  
 SCALE: 1/4" = 1'-0"

A Second Story Addition And Remodeling For:  
**Madej Residence**  
 1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

**BUILDING SECTIONS**

Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	1/4" = 1'-0"

**A4.01**



DOOR SCHEDULE							
Mark	Door Type	Construction Type	Thickness	Material	WIDTH	HEIGHT	COMMENTS
1.1	Swing	New	1 3/4"	SC / WD	0' - 0"	8' - 0"	
1.2	Folding	New	1 3/8"	HC / WD	2' - 8"	8' - 8"	
2.1	Swing	New	1 3/4"	HC / WD	8' - 0"	8' - 8"	
2.3	Folding	New	1 3/8"	HC / WD	4' - 0"	8' - 8"	
3.1	Folding	New	1 3/8"	HC / WD	5' - 0"	8' - 8"	
4.1	Pocket door	New	1 3/8"	HC / WD	2' - 8"	8' - 0"	
5.1	Swing	New	1 3/8"	HC / WD	3' - 0"	8' - 8"	
8.1	Slider	New	-	Fiberglass / White	12' - 0"	8' - 0"	
10.1	Overhead - Sectional	New	-	Steel / Wood	16' - 0"	7' - 0"	
10.2	Swing	Existing	1 3/4"	SC / WD	3' - 0"	8' - 8"	
11.1	Swing	New	1 3/8"	HC / WD	2' - 8"	8' - 8"	
11.2	Beam Door	New	1 3/8"	HC / WD	3' - 0"	8' - 8"	
11.3	Swing	New	1 3/8"	HC / WD	2' - 8"	8' - 8"	
14.1	Swing	New	1 3/8"	HC / WD	2' - 8"	8' - 8"	
14.2	Slider closet	New	1 3/8"	HC / WD	6' - 0"	8' - 8"	
15.1	Swing	New	1 3/8"	HC / WD	2' - 8"	8' - 8"	
15.2	Folding	New	1 3/8"	HC / WD	2' - 8"	7' - 0"	
15.1	Pocket door	New	1 3/8"	HC / WD	2' - 8"	8' - 0"	
16.2	Pocket door	New	1 3/8"	HC / WD	2' - 8"	8' - 0"	
16.3	Pocket door	New	1 3/8"	HC / WD	2' - 8"	8' - 0"	
18.1	Swing	New	1 3/8"	HC / WD	2' - 8"	8' - 0"	
Grand total: 21							

MATERIAL KEY

ALUM ALUMINUM  
PL PLASTIC LAMINATE  
VLGL VINYL AND TEMPERED GLASS  
ALGL ALUMINUM AND TEMPERED GLASS  
SCHWD SOLID CORE WOOD  
HCHWD HOLLOW CORE WOOD  
GL TEMPERED GLASS  
SCHMD SOLID CORE WITH WOOD VENEER  
HM HOLLOW METAL  
STL STEEL  
WMGL WOOD AND TEMPERED GLASS  
WDGL WOOD AND TEMPERED GLASS  
VL VINYL

DOOR FINISHES

TYPICAL INTERIOR DOOR: MANUFACTURER: JELDOWEN; FINISH: TEXTURED 4  
PANELS; COLOR: WHITE



A Second Story Addition And Remodelling For:  
**Madej Residence**  
1702 Townsend Ave. Santa Clara, CA 95050

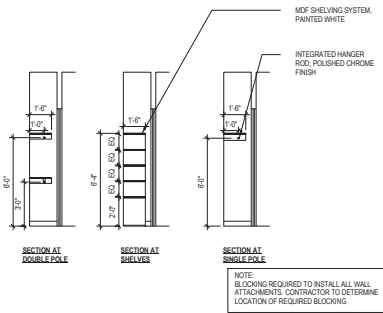
WINDOWS SCHEDULE												
Mark	WINDOW TYPE	CONSTRUCTION TYPE	Height	Width	SILL HEIGHT	HEAD HEIGHT	U VALUE	Flex Inner Radius	Flex Radius	GLASS TYPE	MATERIAL/COLOR	Comments
101	Slider	New	5' - 0"	8' - 0"	2' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
102	Slider	New	3' - 0"	4' - 0"	5' - 0"	8' - 0"	0.30			Frosted / Temp. Glass	Fiberglass / White	
103	Slider	New	5' - 0"	8' - 0"	3' - 0"	8' - 0"	0.30			Clear Low E	Fiberglass / White	
104	Slider	New	5' - 0"	8' - 0"	3' - 0"	8' - 0"	0.30			Clear Low E	Fiberglass / White	
105	Single Hung	New	7' - 0"	3' - 0"	1' - 0"	8' - 0"	0.30			Clear Low E	Fiberglass / White	
106	Single Hung	New	7' - 0"	3' - 0"	1' - 0"	8' - 0"	0.30			Clear Low E	Fiberglass / White	
107	Single Hung	New	3' - 0"	2' - 6"	5' - 0"	8' - 0"	0.30			Frosted / Temp. Glass	Fiberglass / White	
201	Slider	New	4' - 0"	8' - 0"	3' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
202	Slider	New	2' - 6"	2' - 6"	4' - 6"	7' - 0"	0.30			Frosted / Temp. Glass	Fiberglass / White	
203	Slider	New	4' - 0"	8' - 0"	3' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
204	Single Hung	New	3' - 0"	6' - 0"	4' - 0"	7' - 0"	0.30			Frosted / Temp. Glass	Fiberglass / White	
205	Slider	New	4' - 0"	10' - 0"	3' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
206	Slider	New	4' - 0"	8' - 0"	3' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
207	Fix	New	2' - 0"	1' - 8"	5' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
208	Fix	New	2' - 0"	1' - 8"	5' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
209	Fix	New	2' - 0"	1' - 8"	5' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
210	Fix	New	2' - 0"	1' - 8"	5' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
211	Fix	New	2' - 0"	1' - 8"	5' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
212	Fix	New	2' - 0"	1' - 8"	5' - 0"	7' - 0"	0.30			Clear Low E	Fiberglass / White	
Grand total: 19												

Revisions		
No.	Date	Description

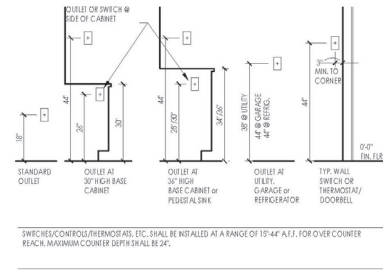
Roim Design Studio DOOR AND WINDOW SCHEDULE	
Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	

**A7.01**

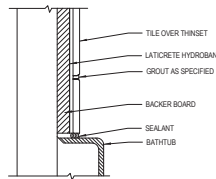




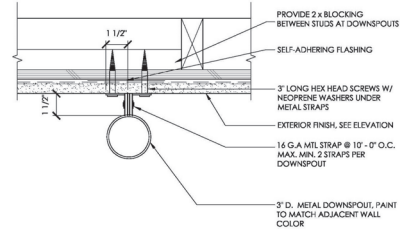
**10 CLOSET SECTIONS**  
1/4\"/>



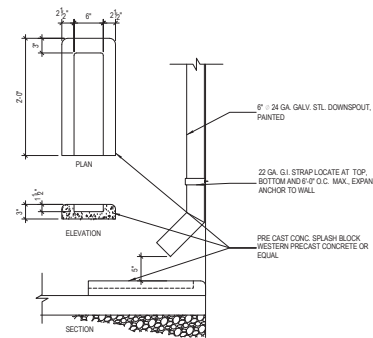
**11 ELECTRICAL FIXTURE HEIGHTS**  
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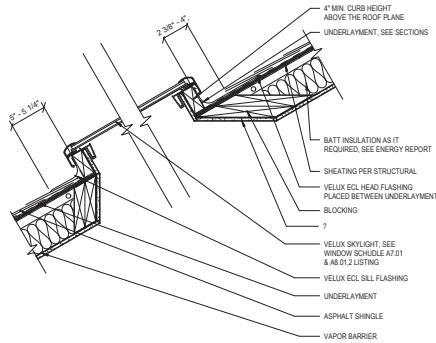
**12 TUB TO TILE SURROUND DETAIL**  
8\"/>



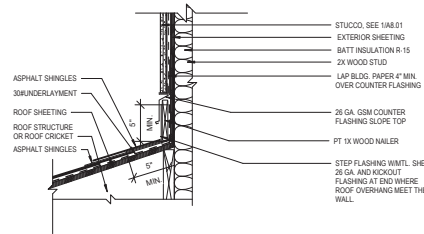
**7 DOWNSPOUT ATTACHMENT DETAIL**  
3\"/>



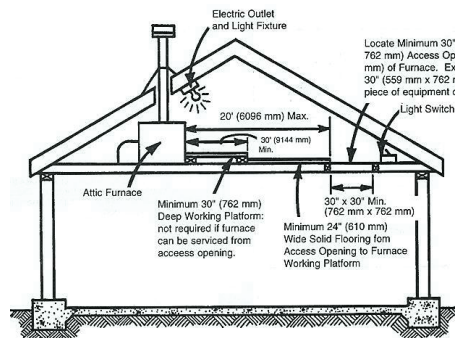
**8 DOWNSPOUT SPLASH BLOCK**  
1\"/>



**9 SKYLIGHT DETAIL**  
3/8\"/>

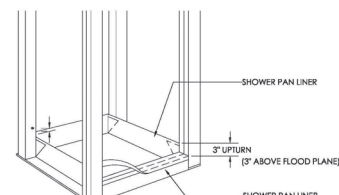


**4 ROOF RIDGE TOP VENT DETAIL**  
NTS



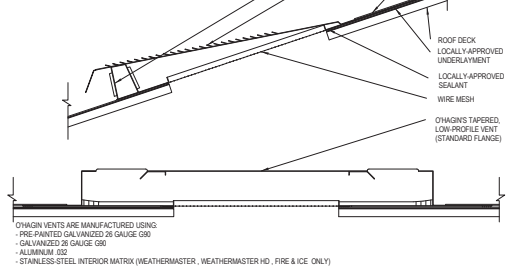
Requirements for Attic Furnace Installations

**5 FURNACE AT ATTIC DETAIL**  
NTS

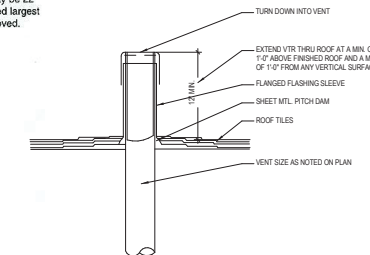


**6 SHOWER PAN LINER**  
3/4\"/>

FOR COORDINATING ROOF TILE MANUFACTURERS, INSTALLATION INSTRUCTIONS, TECHNICAL BULLETINS & SPECIFIC INFORMATION REGARDING RAIN, SNOW, HIGH-VELOCITY WIND OR WILDLAND URBAN INTERFACE (WUI) APPLICATIONS, CONTACT WITH OVRGN.

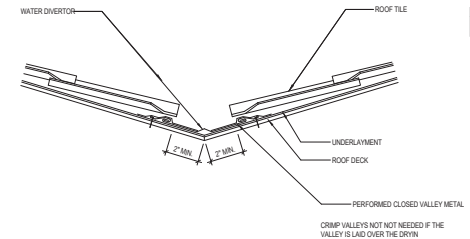


**1 ROOF RIDGE TOP VENT DETAIL**  
NTS



**2 VENT TRHU ROOF DETAIL**  
1 1/2\"/>

NOTE: NOT NEEDED IF THE VALLEY IS LAID OVER THE DRY IN WHITE PEBBLE AND STICK



**3 OPEN VALLEY DETAIL**  
3/4\"/>

**RDS**  
Roim Design Studio  
1822 W Campbell Ave. Suite 109  
Campbell, CA 95008  
mehran@roimdesignstudio.com  
www.roimdesignstudio.com  
(925) 945-8062  
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THIS SET OF PLANS IS THE PROPERTY OF RDS

A Second Story Addition And Remodeling For:  
**Madejo Residence**  
1762 Townsend Ave. Santa Clara, CA 95050

Revisions		
No.	Date	Description

Description	
DETAILS	

Project Date	04/14/2021
Drawn by	RDS
Checked by	RDS
Project Number	210304
Scale	As Indicated

**A8.02**

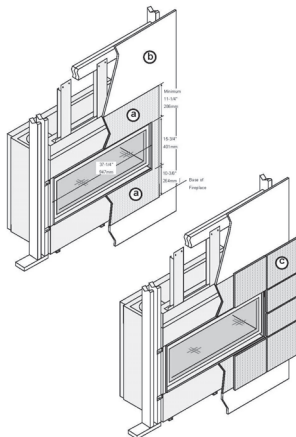








- Install cement board (or other non-combustible) from the base of the fireplace to the top of the horizontal support (37-3/8" above the base) and to the framing opening on both sides (see "a" below).
- Drywall (or other combustible) may be placed above the horizontal support (37-3/8" above the base of the fireplace - see "b" below) and to the sides of the framing opening (see "b" below).
- Tile or other non-combustible facing may be placed along the front of the fireplace around the perimeter of the glass opening (see "c" below). Typical installations use 1/2" (30mm) or greater of non-combustible facing around the perimeter of the glass opening. Do not install facing over the ledge to the glass opening.



## TILE OR OTHER NON COMBUSTIBLE FINISHES DETAIL

9 NTS

### Installation Options

- Residential or Mobile Home
- Internal or External Chase
- Straight or Corner Placement
- Bedroom Approved
- Raised or Floor Placement

### Heating Specifications

Approximate Heating Capacity (in square feet)\*

Maximum BTU Input Per Hour

\* Heating capacity will vary with floor plan, insulation, and outside temperature.

Natural Gas

Up to 2,800

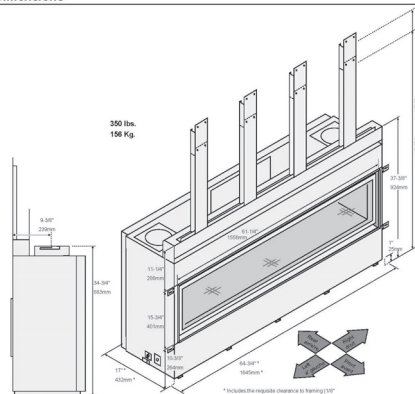
56,000

Propane

Up to 2,800

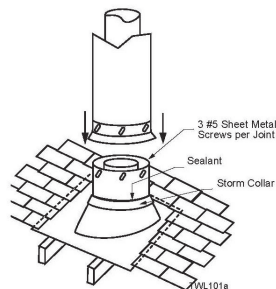
56,000

### Dimensions



## FIRE PLACE SPECIFICATION

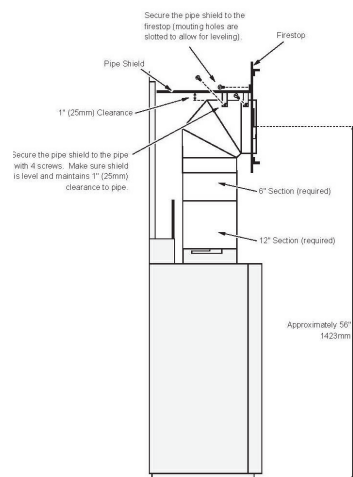
10 NTS



## VENT THROUGH ROOF DETAIL

7 NTS

### NG Minimum Vent (66" Framing Height)



## VENTING DETAIL

8 NTS

### CALIFORNIA SUPPLEMENT

#### VELUX AMERICA, LLC

- VELUX FS, VS, VSE and VSS Deck Mount Glass-Clad Unit Skylight
- VELUX FCM, VCE, VCS and VCM Curb Mount Glass-Clad Unit Skylights
- VELUX SUN TUNNEL™ Skylights (TCC, TOR, TOC, TCR, TCR, TMC, TMR and TMR) (photo-glazed tubular daylighting devices)

#### CSI Section:

08 62 09 Unit Skylights

#### 1.0 Compliance with the following codes

- 2016 California Building Code (CBC)

#### 2.0 Requirements:

All information in ESR-199, dated 09/12/2017 corresponding to compliance under the International Building Code (IBC) also apply to compliance under the CBC. Additional requirements for compliance with the CBC are provided in Section 3.0 of this supplement.

#### 3.0 Additional Requirements:

##### 3.1 Compliance for Materials Used

Reports of material testing and evaluation in accordance with Classes 10 and 11 of AIAA/ASTM/ASCE/ASCE 101.3.3.2/A440-11 and all comply with the applicable requirements of CBC Chapter 7A and Section 1905.1 for fire resistance and Section 2405 and Chapter 26 for light transmitting plastic components. Acrylic, Duxon is in compliance with CBC Sections 2606 and 2610.

Table 1 - Glass Area, Nominal Frame Lap and Glass Edge Clearance

Skylight Model	Largest Size Glass Area (ft²)	Nominal Design Values - mm (in.)					
		Frame Lap			Glass Edge Clearance		
		Sides	Bottom	Top	Sides	Bottom	Top
FS	13.29	23 (7/8)	23 (7/8)	22 (7/8)	3 (1/8)	4 (1/8)	6 (1/4)
VS / VSE / VSS	12.62	12 (1/2)	14 (1/2)	14 (1/2)	4.6 (3/16)	3 (1/8)	3 (1/8)
FCM	18.61	18 (3/4)	18 (3/4)	18 (3/4)	31 (1-1/4)	31 (1-1/4)	31 (1-1/4)
VCE / VCM / VCS	18.61	18 (3/4)	18 (3/4)	18 (3/4)	31 (1-1/4)	31 (1-1/4)	31 (1-1/4)

#### 3.2 Glazing Requirements

For those applications subject to the requirements of the Division of the State Architectural Safety Community College (DASA-SACC) or the Office of Statewide Planning and Development (OSPD) 1 & 4, Table 1 of this supplement provides information to verify compliance with the additional provisions of Section 2403.2.1 and Table 2403.2.1 of the 2016 California Building Code.

#### 4.0 Contact Information

VELUX America, LLC.  
P.O. Box 5981  
Greensboro, North Carolina 27408-5981  
(866) 941-6228  
[www.veluxusa.com](http://www.veluxusa.com)

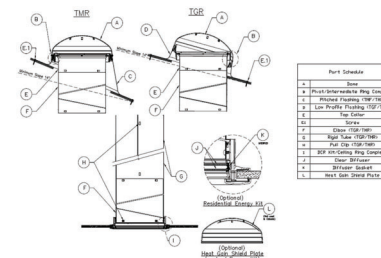


Figure 9 - VELUX SUN TUNNEL™ (TOR/TMR) Skylight

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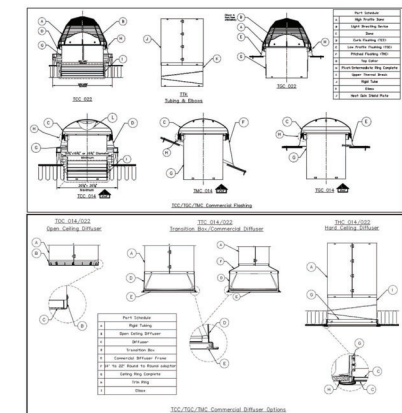


Figure 10 - VELUX SUN TUNNEL™ (TCC/TOR/TMC/TMR) Skylight (Note - TOR is similar to TCC with THC Diffuser)

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