

**AN ADDITION TO:
The Hull Residence
3885 Baldwin Dr,
Santa Clara, CA 95051**

SCOPE OF WORK:

ADD FIRST FLOOR FAMILY ROOM, HALF BATHROOM, AND
EXTEND 2 BEDROOMS. CONVERT 1 BEDROOM TO OPEN
OFFICE. ADD 2ND FLOOR, 2 BEDROOMS, 1 BATHROOM,
LIBRARY, DEN AND BONUS ROOM WITH WET BAR. CREATE
2ND FLOOR UNCOVERED BALCONY.



GENERAL NOTES:

- The proposed residence is to be constructed by a Contractor and the architectural plans are based on site plans, exterior elevations, scaled floor plans and material construction specifications approved by the owner. The architectural plans are not intended to be comprehensive and it shall be the responsibility of the subcontractors to notify the Contractor of any necessary clarifications or modifications.
- All work connected with this project shall be done in a professional manner in accordance with the traditionally and legally defined "best accepted practices" of the trade. Additionally, all work shall comply with applicable codes and trade standards which govern each phase of work, including but not limited to the 2019 California Building Code (CBC), 2019 California Mechanical Code (CMC), 2019 California Fire Code (CFC), 2019 California Electrical Code (CEC), American Concrete Institute Code (ACI), 2019 California Plumbing Code (CPC) and all applicable local codes and/or legislation.
- The Contractor shall be responsible for notifying the Designer of any unusual or unforeseen foundation conditions, discrepancies and/or deviations from the plans or any deviations or changes from the plans before proceeding with the work involved otherwise they will be considered additional work to be performed prior completion of the project. The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.
- Adequate supervision and periodic inspection during the construction phase are recommended. The Contractor shall be responsible to ensure that this inspection and supervision are provided by qualified persons.
- These plans shall not be considered complete and ready for construction until a building permit has been issued.
- In all cases written dimensions take precedence over scaled dimensions. Dimensions are to the face of stud or face of concrete unless otherwise noted.
- Larger scale details take precedence over smaller scale details.
- Lay out all structural work by referring to dimensions and elevation notes on the architectural plans. Do not scale actual drawings for work details. Dimensions from controlling surface points and actual material dimensions.
- Slope finish exterior surface away from foundation.

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PROJECT DESCRIPTION:

BUILDING OCCUPANCY : R-3/1
 TYPE OF CONSTRUCTION : V-B
 STORES :
 YEAR BUILT/EFF : 1958
 LOT SIZE : 7,336 SF
 ZONING : R1

EXISTING BUILDING AREA
 (E) HOUSE : 1,806 SF
 (E) GARAGE : 596 SF
 (E) PORCH : 34 SF
 (E) SHED : 120 SF
 (F) :
 TOTAL : 2,556 SF
 2,556 / 7,336 = 0.335 (33.5%)

PROPOSED BUILDING AREA
 (E) HOUSE : 1,806 SF
 (E) GARAGE : 596 SF
 (N) 1ST FLOOR ADDITIONS : 518 SF
 (N) 1ST FLOOR PORCH : 12 SF
 (N) 2ND FLOOR : 1,823 SF
 (N) 2ND FLOOR BALCONY : 32 SF
 TOTAL : 4,187 SF
 4,187 / 7,336 = 0.627 = 62.7%

PROPOSED BUILDING FOOTPRINT
 PROPOSED 1ST FLOOR : 2,932 SF

2ND FLOOR TO 1ST FLOOR RATIO :
 PROPOSED 2ND FLOOR : 1,823 SF
 1,823 / 2,932 = 0.621 = 62.1%

ABBREVIATIONS:

WINDOW ABBREVIATIONS:

3030	-	3'-0" X 3'-0"
CT	-	CIRCLE TOP
SLDR	-	HORIZONTAL SLIDER
CSMT	-	CASEMENT
FIX	-	FIXED
SL	-	SIDELIGHT
TEMP	-	TEMPERED GLASS
HC	-	HALF CIRCLE
SH	-	SINGLE HUNG
DH	-	DOUBLE HUNG
ARCH	-	ARCHED
EGRESS	-	EGRESSABLE WINDOW
		SEE NOTE BELOW










DOOR ABBREVIATIONS:

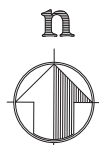
210 - 2'-0" WIDE X 6'-8" TALL
UNLESS OTHERWISE NOTED
3080 - 3'-0" WIDE X 8'-0" TALL
3070 - 3'-0" WIDE X 7'-0" TALL
3068 - 3'-0" WIDE X 6'-8" TALL

C - CENTERLINE
 DIM - DIMENSION
 EL - ELEVATION
 (E) - EXISTING
 F.F. - FINISH FLOOR
 G.C. - GENERAL CONTRACTOR
 (N) - NEW
 N.T.S. - NOT TO SCALE
 R.O. - ROUGH OPENING
 IE - PROPERTY LINE
 T.O.S. - TOP OF SLAB
 TYP. - TYPICAL
 U.N.O. - UNLESS NOTED OTHERWISE
 V.F. - VERIFY IN FIELD

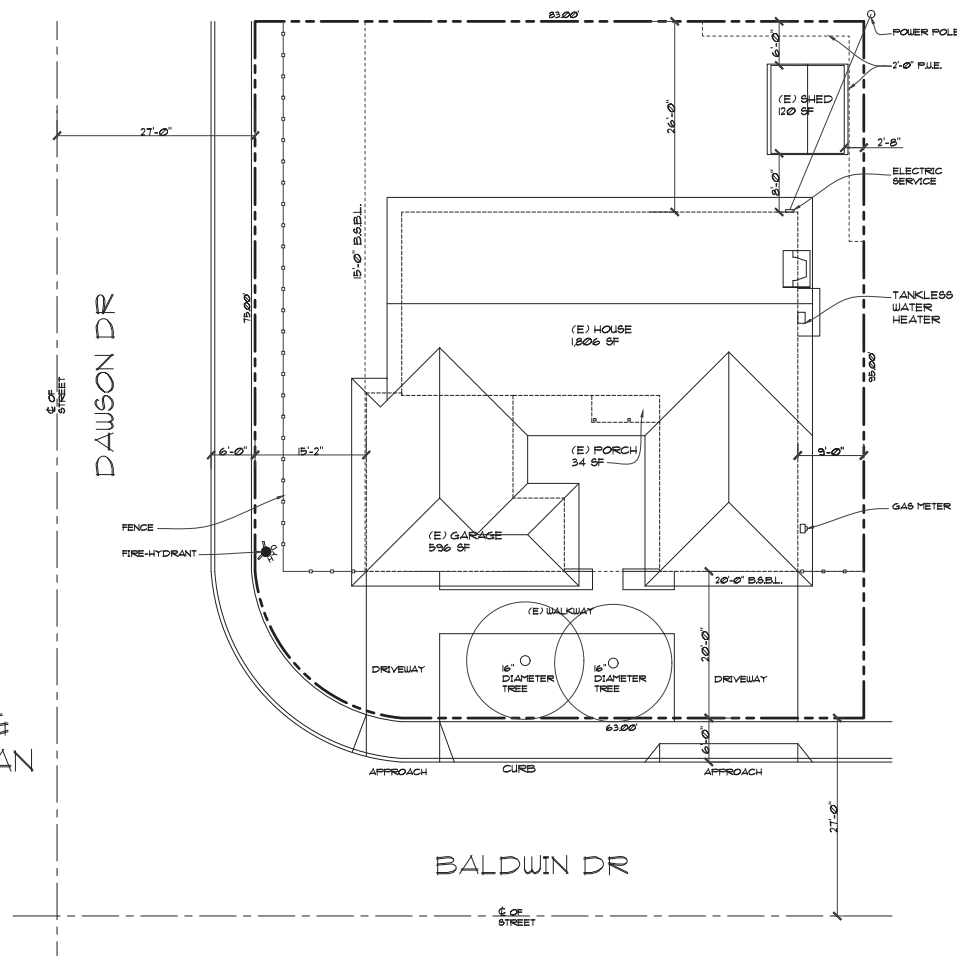
LEGEND:

WALL LEGEND:

	- EXISTING WALL TO REMAIN
	- EXISTING WALL REMOVED
	- NEW WALL CONSTRUCTION
	- SECTION CUT SECTION NAME SECTION PAGE
	- DIMENSIONAL REFERENCE /ELEVATION
	- REVISION
	- REVISION CLOUD
	- DETAIL NUMBER PAGE
	- ROOF PITCH



EXISTING
SITE PLAN
1/8"=1'-0"
APN 316-13-094



SITE COVERAGE:

LOT SIZE	: 7,636 SF
(E) HOUSE	: 1,806 SF
(E) GARAGE	: 596 SF
(E) PORCH	: 34 SF
(E) SHED	: 120 SF
TOTAL	: 2,556 SF
2,556 / 7,636	= 0.334 (33.4%)

Revisions	By

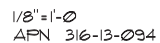
INNOVATIVE CONCEPTS
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An Addition to:
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Date	07/16/2021
Notes	NOTED
Drawn	TR
CS	
Sheet	

A0.1
Of _____ Sheets

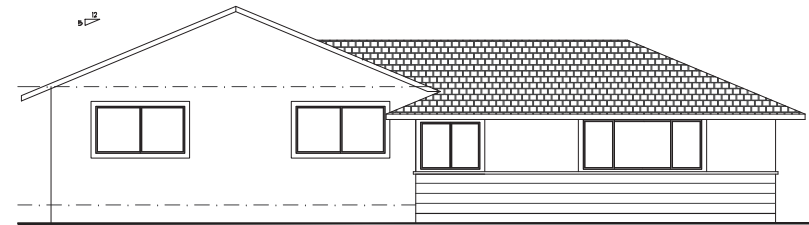


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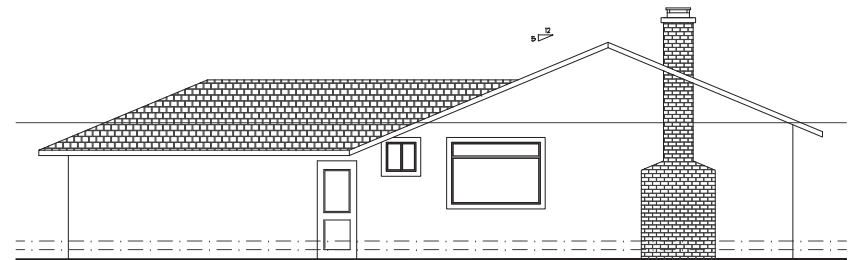


Jeff Quinta

Date	07/16/2021
Title	NOTED
Owner	TR
Project	A1
Sheets	



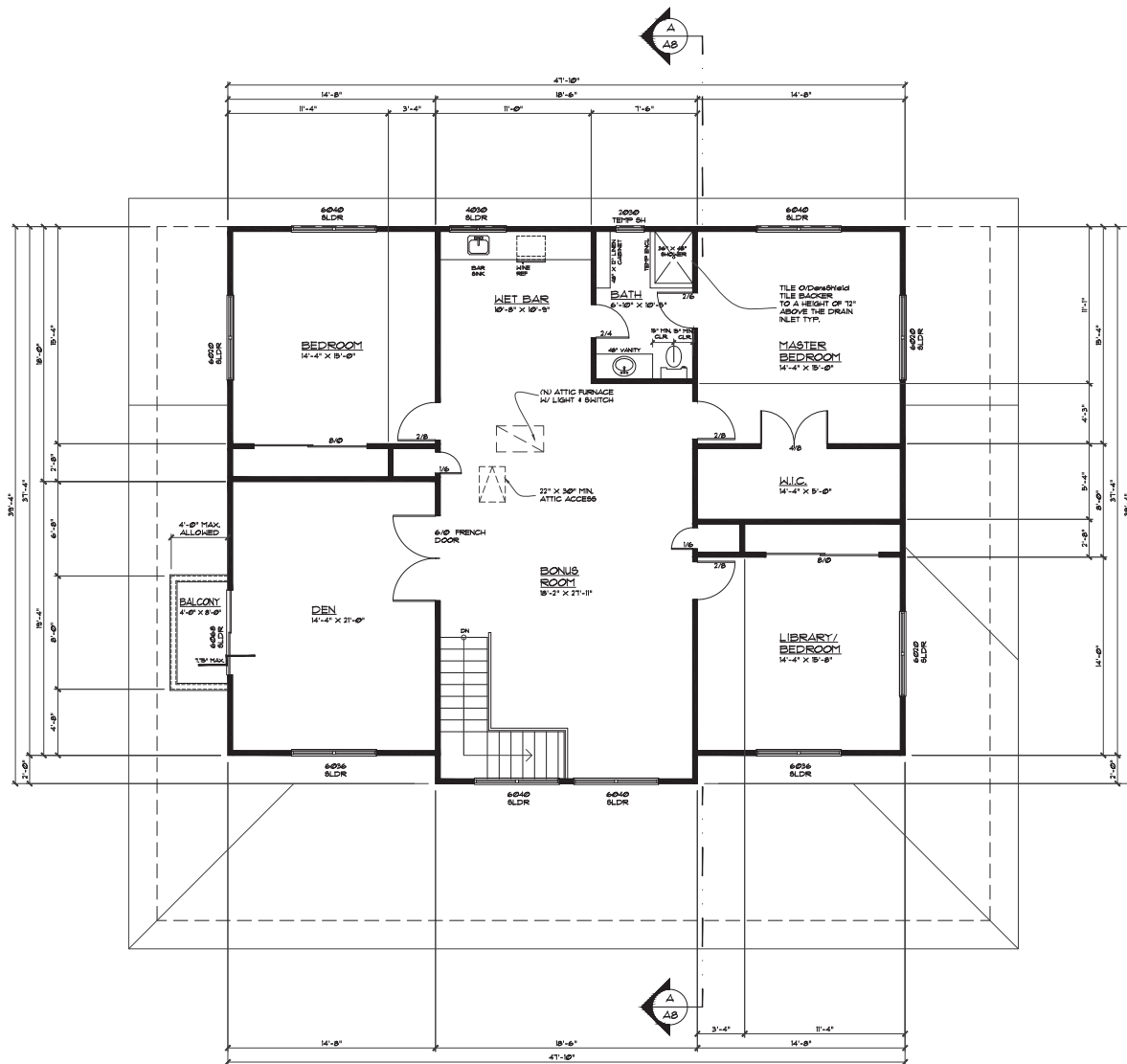
EXISTING LEFT-SIDE ELEVATION
1/4" = 1'-0"



EXISTING RIGHT-SIDE ELEVATION
1/4" = 1'-0"

Jeff Quinta

[illegible]



PROPOSED 2ND FLOOR PLAN
1/4" = 1'-0"

Jeff Giunta

Revisions	By

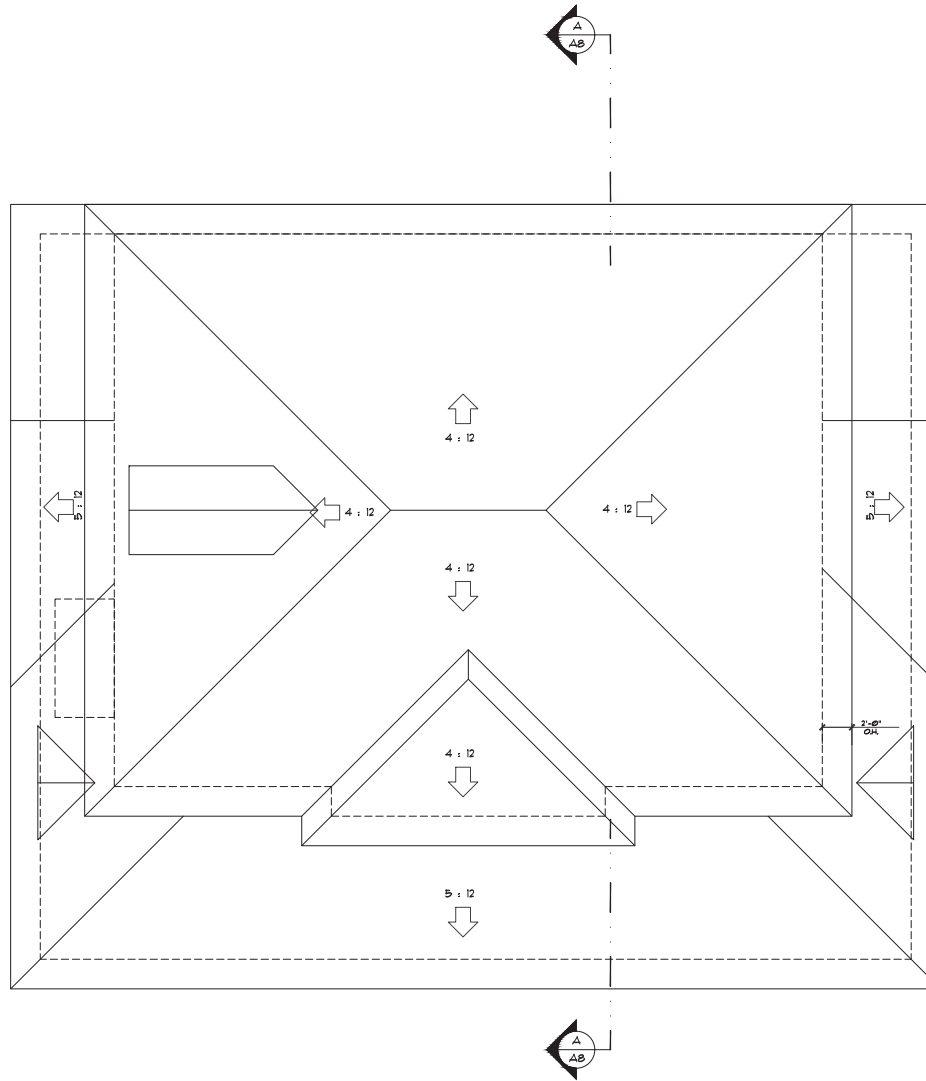
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DATE	07/16/2021
SCALE	NOTED
DESIGN	TR
REV	
SHEET	

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PROPOSED ROOF PLAN
1/4" = 1'-0"

Jeff Quinta

Revisions	By

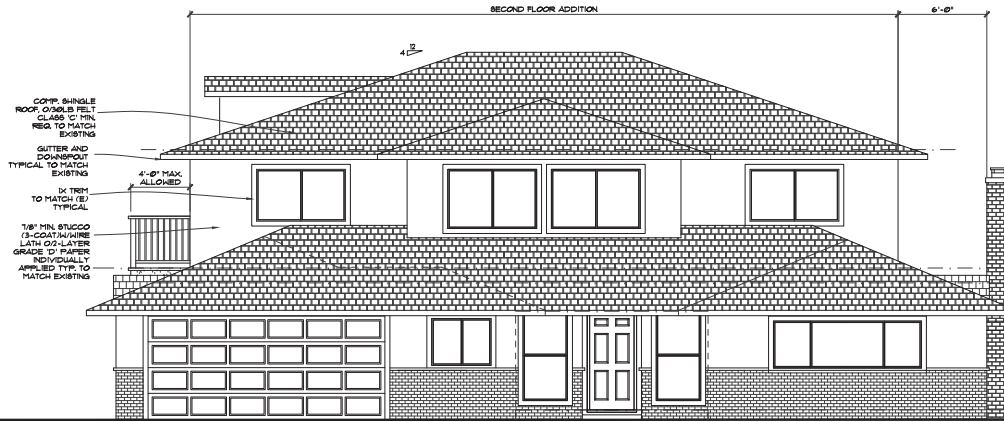
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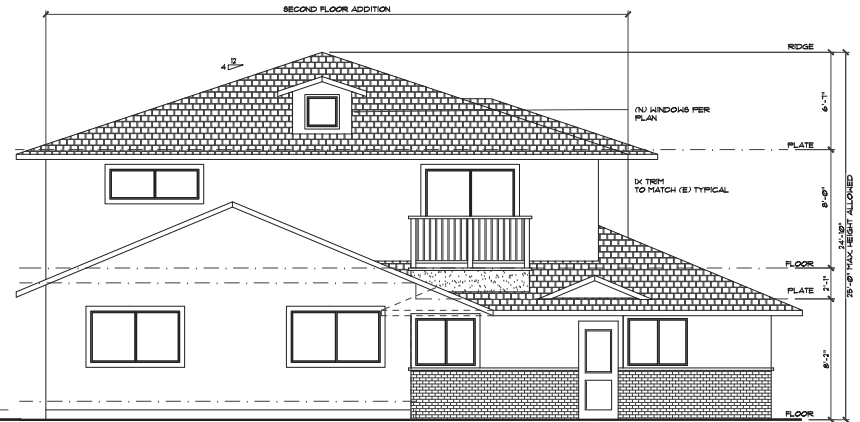
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Scale	NOTED
Drawn	TR
Job	
Sheet	

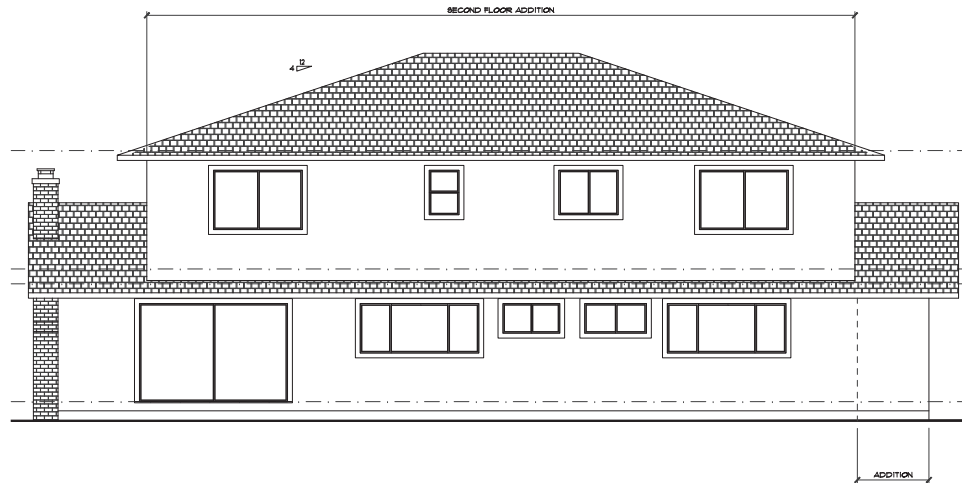
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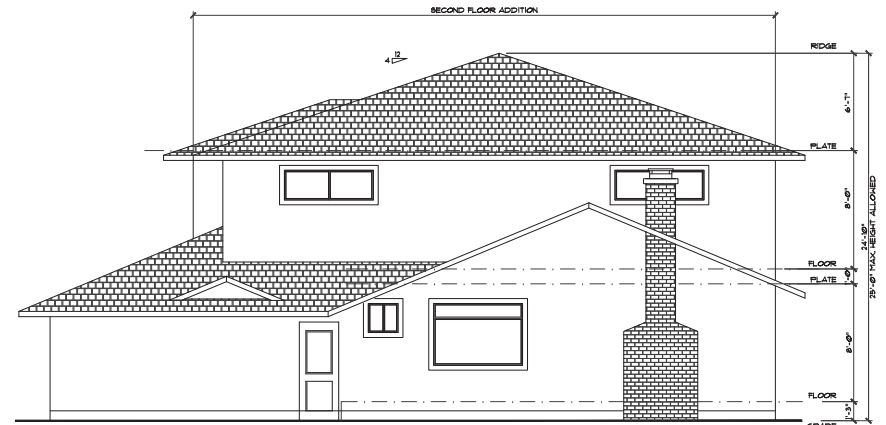
PROPOSED FRONT ELEVATION
1/4" = 1'-0"



PROPOSED LEFT-SIDE ELEVATION
1/4" = 1'-0"



PROPOSED REAR ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT-SIDE ELEVATION
1/4" = 1'-0"

Jeff Quintana

Revisions	By

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Noted	NOTED
Drawn	TR
Job	
Sheet	

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