

A 3D architectural rendering of a two-story house. The house has a light beige or cream-colored exterior with a brown tiled roof. The front facade features a large double garage door with a wood-grain finish and six small rectangular windows above each door. To the left of the garage is a white front door. The house has multiple windows with dark frames, including a large one on the left side of the first floor and several on the second floor. A small balcony with a dark railing is visible on the second floor. The house is set on a large, paved grey stone driveway. In the background, there are green trees and a wooden fence. The sky is blue with some light clouds.

ABBREVIATIONS

1	AND	D.V.J.	DISHWASHER	D.S.	DOWNSPOUT	R.V.D.	REDWOOD
2	ANGLE	D.V.J.	DRAWING	J.T.	S.	SOUTH	J.O.
3	AT	D.W.R.	DRAWER	K.I.T.	KITCHEN	S.C.	SLIDING DOOR
4	AT	D.W.R.	EAST	L.A.M.	LAMINATE	S.C.	SOLID CORE
5	CENTRALINE	E.M.R.	EAST	A.V.	AVIATORY	S.C.	SCHEDULED
6	DIAMETER OR RADIUS	E.L.	ELECTRIC	L.T.	LIGHT	S.H.	SHEET
7	OR NUMBER	E.L.	ELEVATION	M.A.X.	MAXIMUM	S.H.T.	SHEET
(E)	EXISTING	E.L.E.C.	ELECTRICAL	M.E.D.	MEDICINE CABINET	S.P.E.C.	SPECIFICATION
8	EXISTING ASPHALT CONCRETE	E.N.C.L.	ENCLOSURE	M.E.C.H.	MECHANICAL	S.Q.	SQUARE
9	ADJUSTABLE	E.Q.	EQUAL	M.E.T.	METAL	S.S.	STAINLESS STEEL
10	ALUMINUM	E.Q.U.I.P.M.	EQUIPMENT	M.I.N.	MINIMUM	S.T.D.	STANDARD
11	APPROX	E.X.P.	EXPANSION	M.I.S.C.	MISCELLANEOUS	S.T.O.R.	STORAGE
12	ARCHITECTURAL	E.X.P.	EXPANSION	M.I.N.	MINIMUM	S.U.S.P.	SUSPENDED
13	ARCHITECTURAL	E.X.P.	EXPANSION	M.I.N.	MINIMUM	S.Y.M.	SYMMETRICAL
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ARCHITECTURAL SHEETS

ARCHITECTURAL SHEETS	
A-0	COVER SHEET
A-1	SITE PLAN
A-1.a	BEST MANAGEMENT PRACTICES
A-2	DEMOLITION PLAN
A-3	EXISTING ELEVATIONS
A-4	EXISTING ROOF PLAN
A-5a	PROPOSED FIRST FLOOR PLAN
A-5b	PROPOSED SECOND FLOOR PLAN
A-7	PROPOSED ELECTRICAL PLAN (T.B.D)
A-8	PROPOSED MECHANICAL PLAN (T.B.D)
A-8a	SECTIONS
A-8b	SECTIONS
A-8c	SECTIONS
A-8a	PROPOSED ELEVATIONS
A-8b	PROPOSED ELEVATIONS
A-10	PROPOSED ROOF PLAN
A-11	DOOR & WINDOW SCHEDULE
A-12	NOTES

SURVEYOR	N/A
SOILS ENGINEER	N/A
CIVIL ENGINEER	N/A
STRUCTURAL ENGINEER	TO BE DETERMINED
ENERGY CONSULTANT	TO BE DETERMINED
LANDSCAPE ARCHITECT	N/A

OWNER	ESNAR MANCHENELLA
ADDRESS	510 MEADOWS AVE. SANTA CLARA 95051
PARCEL	316-12-059
ACREAGE	16861.05 SQ.FT. = 0.387 ac
ZONING	R1-4L
PROJECT DESCRIPTION	REBUILT THE EXISTING HOUSE BY KEEPING THE FLOOR SYSTEM AND ADDING THE SECOND FLOOR ON. TOTAL OF 6 BEDROOM AND 5 BATHROOM

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE: 2019 CALIFORNIA
BUILDING CODE

2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE

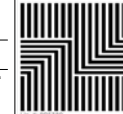
- - CITY PLAN CHECK

Intake

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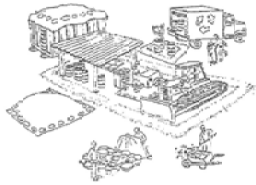
CLIENT:
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 +1 (919) 448-6996
 reswar.manchene11@aol.com

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CONSTRUCTION**
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07/26/2021	SHEET
2015	A-0

Clean Bay Blue Print



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Fremont Ordinances for recycling construction materials, wood, gypsum board, pipe, etc.
- ✓ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- ✓ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulators.
- ✓ Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and report to regulatory agencies to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Dispose of all containment and cleanup materials properly.
- ✓ Report any hazardous materials spills immediately! Dial 911!

Construction Entrances and Perimeter

- ✓ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits sufficiently to control erosion and sediment discharges from site and tracking off site.
- ✓ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or cover a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil or the site where it will not collect in the street.
- ✓ Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Earthmoving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by covering the soil with erosion control fabric or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

Dewatering operations

- ✓ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off-site shall be directed away from disturbed areas or shall collectively be in compliance.
- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a silt tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pickup a 1 waste as soon as you are finished in one location or at the end of each workday/whichever is sooner!
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tick coat, slurry seal, or fog seal.
- ✓ Protect gutters, ditches, and drainage courses with sand/gravel bags, or erosion berm.
- ✓ Do not sweep or wash down excess seal from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✓ Store concrete, grout, and mortar under cover, in pellets, and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or into contained/washout areas that will not allow discharge of wash water into the underlying soil or onto the surrounding areas.



- ✓ Collect the washwater from washing exposed aggregate concrete and remove it for appropriate disposal off site.

Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint cut excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- ✓ Paint cut excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Landscape Materials

- ✓ Contain, cover, and store on site all stockpiles of landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✓ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and curing wet weather.

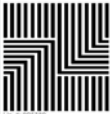
NOTE:

1	PLANNING	11/16/2020
2	PLANNING	RESUBMITTAL 01/05/2021

NO.	REVISION/ISSUE	DATE
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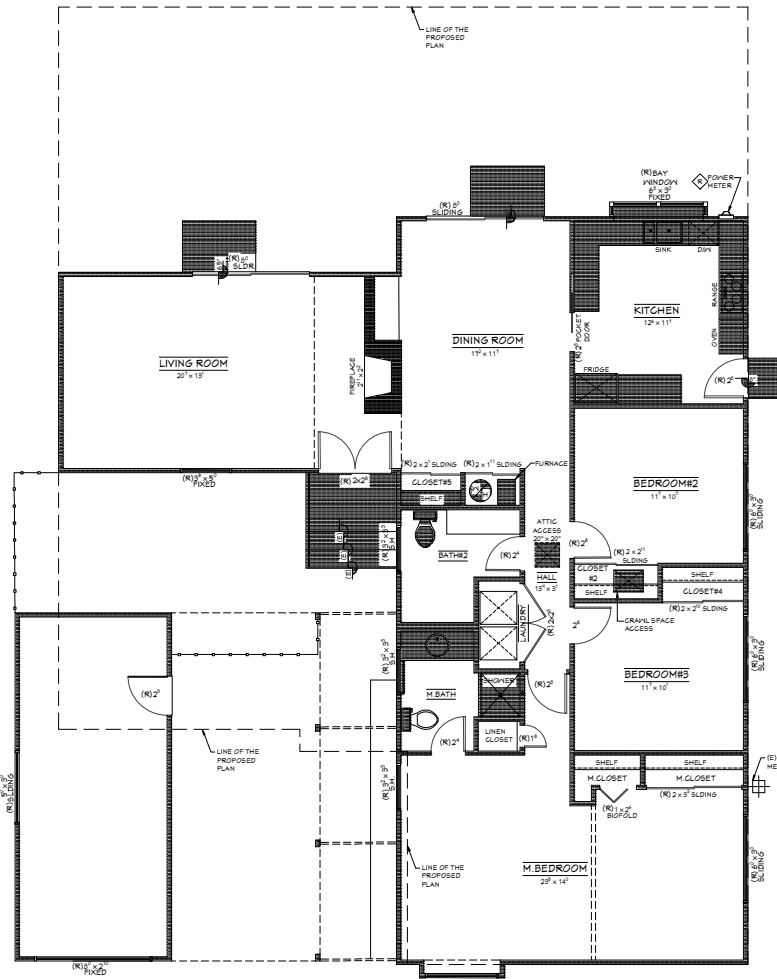
ZIBA DESIGN & CONSTRUCTION
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SAN JOSE, CA 95128
(408) 900-9090
INFO@ZIBACCO.COM



07/26/2021	SHEET
2015	A-1a

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For more news and more detail on information:
www.cleanwaterregulation.org
www.abmshandbooks.com



DEMOLITION PLAN
1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND Z.D.C. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS RELOCATE, REMOVE & DISCARD PER PLAN
- 2 WINDOWS & SKYLIGHTS RELOCATE, REMOVE & DISCARD PER PLAN
- 3 CABINETRY REMOVE & DISCARD PER PLAN
- 4 FLOOR COVERINGS REMOVE & DISCARD PER PLAN
- 5 LIGHT FIXTURES REMOVE & DISCARD PER PLAN
- 6 APPLIANCES REMOVE & DISCARD PER PLAN
- 7 LANDSCAPE EXISTING
- 8 PLATYWORK REMOVE & DISCARD PER PLAN
- 9 VENEER REMOVE & DISCARD PER PLAN
- 10 ELECTRICAL METER TO BE UPGRADED TO 200 Amps, RELOCATE AS PER SITE & PROPOSED FLOOR PLAN
- 11 GAS METER EXISTING
- 12 FLOOR STRUCTURE KEEP OR REMOVE & DISCARD PER STRUCTURAL PLAN
- 12 FOUNDATION KEEP OR REMOVE & DISCARD PER STRUCTURAL PLAN

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

REVISIONS

CITY PLAN CHECK

NOTE:

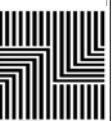
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1 Planning submitted 11/16/2020
2 PLANNING RESUBMITTAL 8/15/2021

NO REVISION/ISSUE DATE

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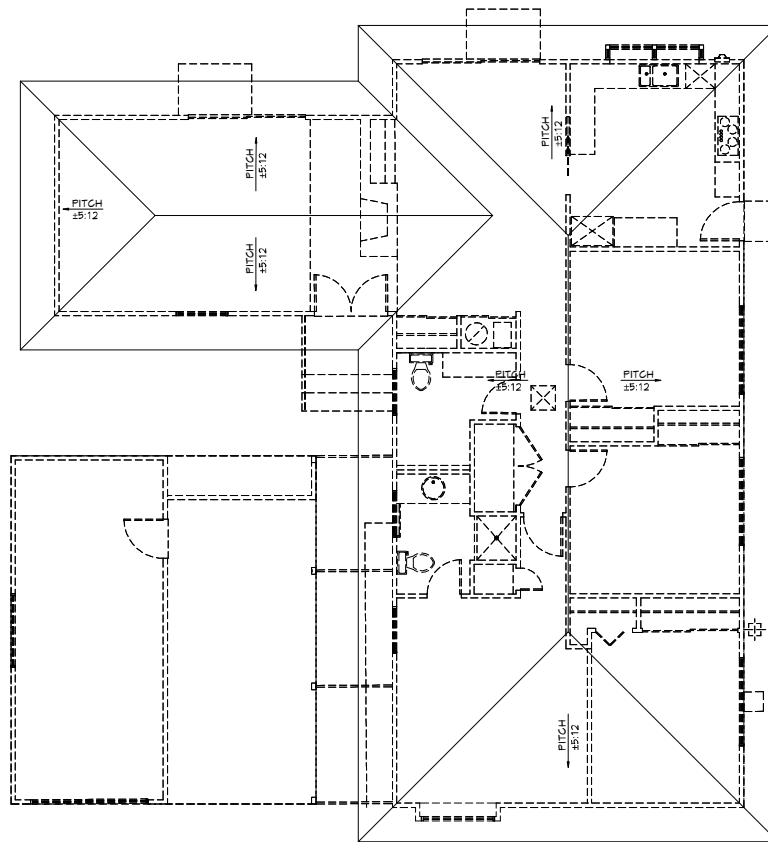


07/26/2021 SHEET

2015 A-2



2015	A-3
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EXISTING ROOF PLAN
1/4" = 1'-0"

ROOF PLAN NOTES

- 1 ROOFING REMOVE & DISCARD PER PLAN
- 2 GUTTERS REMOVE & DISCARD PER PLAN
- 3 DOWN SPOUTS REMOVE & DISCARD PER PLAN
- 4 SKYLIGHTS REMOVE & DISCARD PER PLAN
- 5 CHIMNEY REMOVE & DISCARD PER PLAN

NOTE:

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Latasha

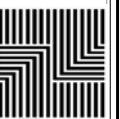
1 Planning submitted 11/16/2020

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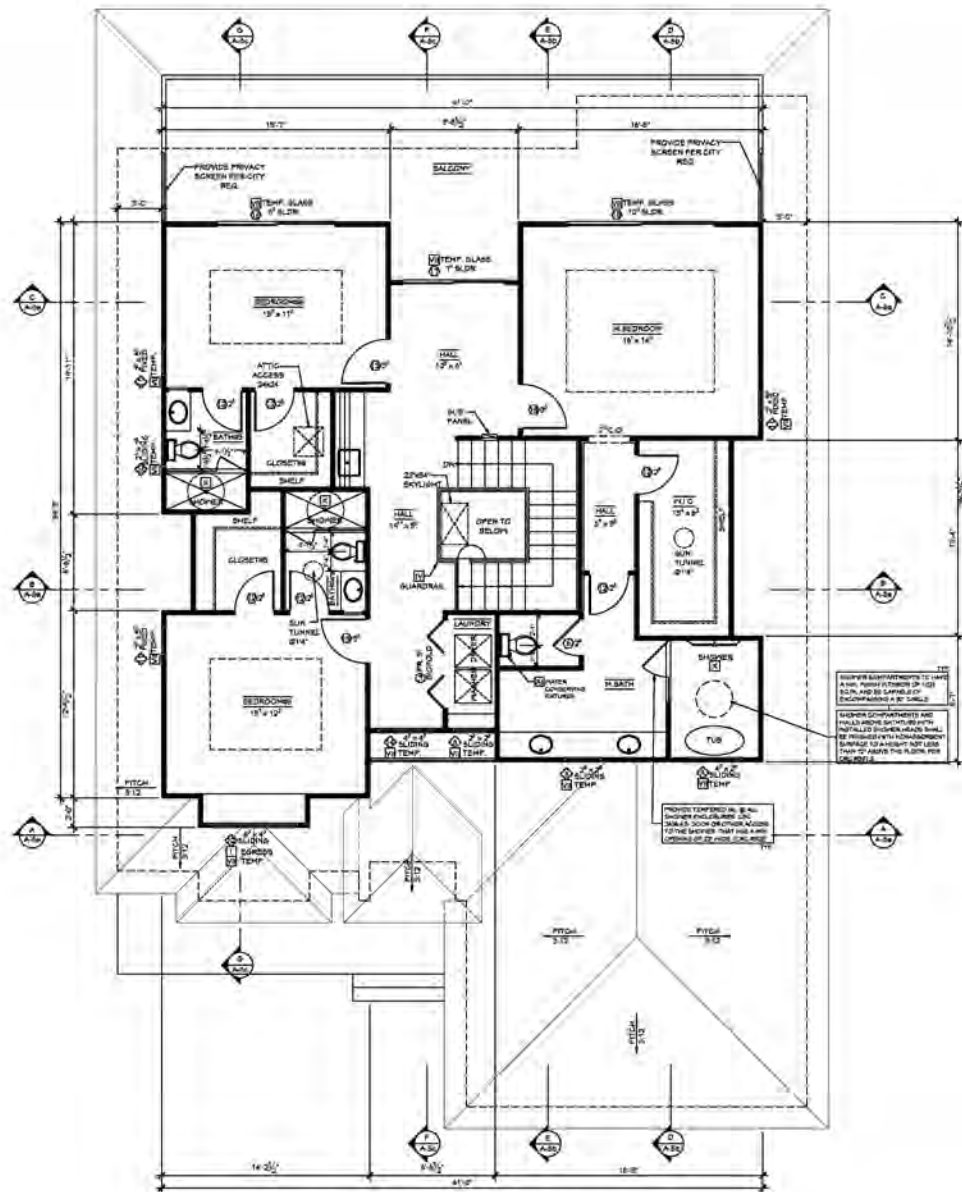
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07/26/2021 SHEET

2015 A-4



PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- I. EXTERIOR ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 910.1.1.1 CIRC 2014.
MIN. NET CLEAR OPENABLE AREA 5.715 SF.
MIN. NET CLEAR OPENABLE WIDTH = 20".
MIN. NET CLEAR OPENABLE HEIGHT = 24".
THE CLEAR OPENING NOT GREATER THAN 44" ABOVE FINISH.
- II. GARAGE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 2" BY 4" STUD BOARD (BIB MIN. 2" ATTIC) APPLIED TO THE GARAGE SIDE PER CIRC SEC. 9302.5.5. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 1/2" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING.
- III. STAIRWAYS DESIGN SHALL CONFORM TO SEC. R311.1.1 CIRC 2014. USABLE SPACE UNDER STAIR TO BE 1 MIN. RATED CONSTRUCTION. 6-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- IV. GUARDRAILS DESIGN SHALL CONFORM TO SEC. R312.3 CIRC 2014. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDING AT 42" HIGH. WITH INTERMEDIATE RAILS AT 34"-36" HIGH.
- V. STAIR & HANDRAILS DESIGN SHALL CONFORM TO CH. 10 CIRC 2014. WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.4 CIRC 2014 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS.
- VI. FIREPLACE DESIGN SHALL CONFORM TO CH. 10 CIRC 2014. WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.4 CIRC 2014 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS.
- VII. TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R303.4 CIRC 2014.
- VIII. FIRE BLOCKS PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.5 & R1001.12 CIRC 2014.
- IX. WATER CLOSETS PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2014 CFC).
- X. SHOWERS ALL SHOWERS SHALL CONFORM TO SECTION R301.2014 CIRC.
- XI. WATER CONSERVING FIXTURES ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 401.2014 CFC) SHALL CONFORM TO SEC. 402.2014 CFC.

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	FLOOR
M. BEDROOM	-	-	-	-	-
KITCHEN	-	-	-	-	-
B. BATH	-	-	-	-	-
BEDROOMS	-	-	-	-	-
CLOSET	-	-	-	-	-
BATHS	-	-	-	-	-
BEDROOMS	-	-	-	-	-
CLOSET	-	-	-	-	-
BATHS	-	-	-	-	-
LAUNDRY	-	-	-	-	-
HALL	-	-	-	-	-

LEGEND

- ◊ WINDOW SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ◊ DOOR SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- (E) EXISTING
- (N) NEW
- ◊ RELOCATED

REVISIONS

CITY PLAN CHECK

NOTE:

1. PENDING SUBMITTAL 11/16/2021
2. PLANS REQUIRED SUBMITTAL 11/16/2021

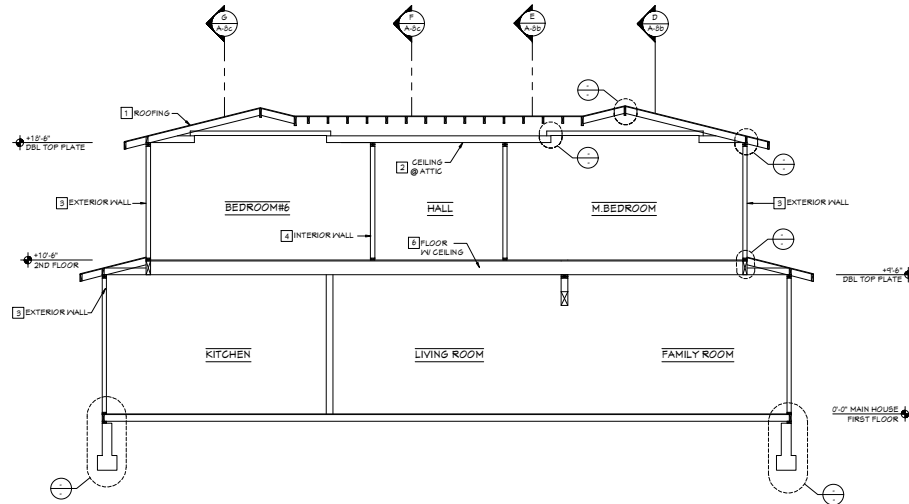
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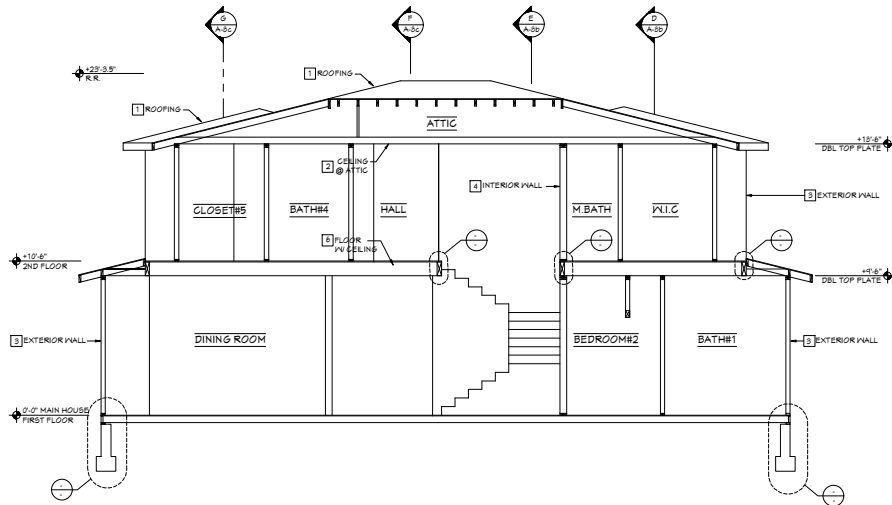
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07/26/2021 SHEET

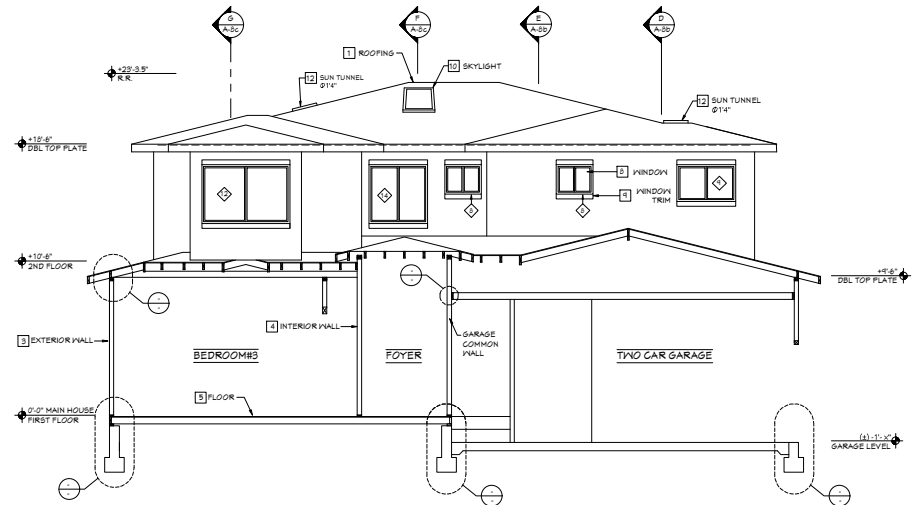
2015 A-5b



CROSS SECTION C - C
1/4" = 1'-0"



CROSS SECTION B - B
1/4" = 1'-0"



CROSS SECTION A - A
1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) 3/8" UNDERLAYMENT (SEE SHEATHING SCHEDULE FOR TYPE) OF RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) OF 2 LAYERS CLASS "D" BUILDING PAPER (SEE SHEATHING SCHEDULE FOR TYPE) OF 2x4 STUDS @ 16" O.C. 2x6 STUDS @ MAIN FLUING WALLS) IN DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE IN DOUBLE 2x4 TOP PLATE INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16" O.C. (2x6 STUDS @ MAIN FLUING WALLS) IN DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE IN DOUBLE 2x4 TOP PLATE INSIDE FACE, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) OF FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) OF FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) IN 2" SHEET ROCK, TYPICAL U.O.N.

NOTE:

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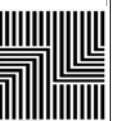
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1	Planning submitted	11/16/2020
2	PLANNING RESUBMITTAL	8/15/2021

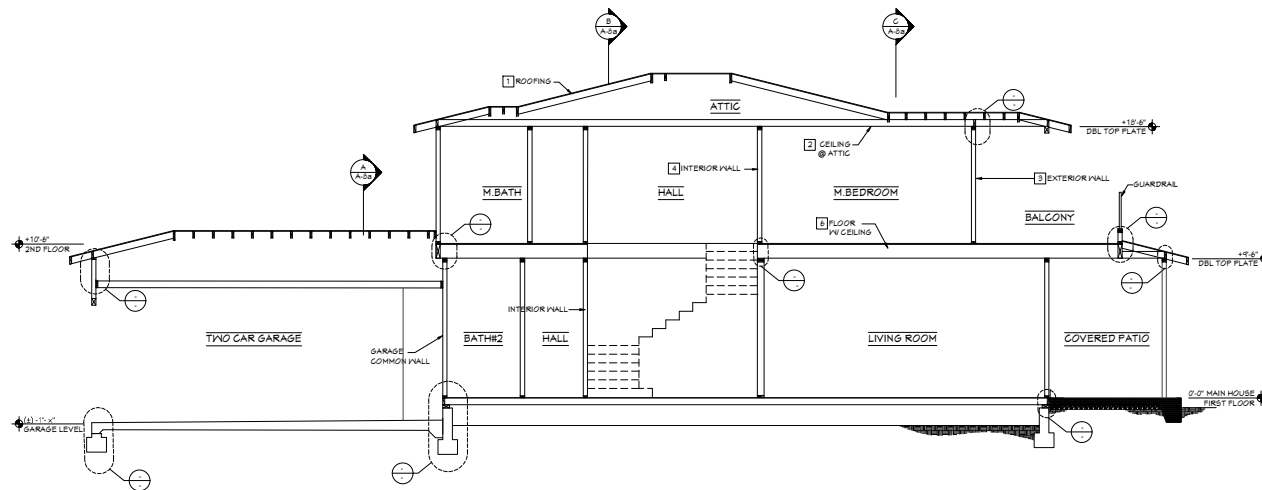
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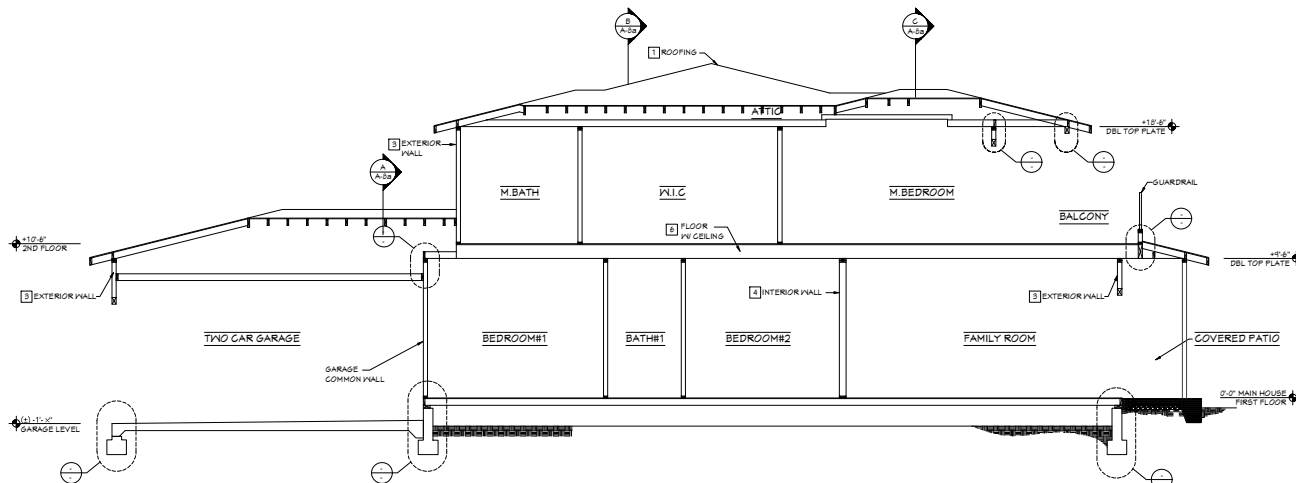
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07/26/2021 SHEET
2015 A-0a



CROSS SECTION E - E
1/4" = 1'-0"



CROSS SECTION D - D
1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) 01 308 UNDERLAYMENT 01 SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) 01 RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 2" SHEETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) 01 2 LAYERS CLASS "D" BUILDING PAPER 01 SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) 01 2x4 STUDS @ 16" o.c. 2x6 STUDS @ MAIN PLUMBING WALLS) w/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE w/ 2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16" o.c. 2x6 STUDS @ MAIN PLUMBING WALLS) w/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE w/ 2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) 01 FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) 01 FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 2" SHEET ROCK, TYPICAL U.O.N.

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2	PLANNING RESUBMITTAL	8/15/2021

NO REVISION/ISSUE DATE

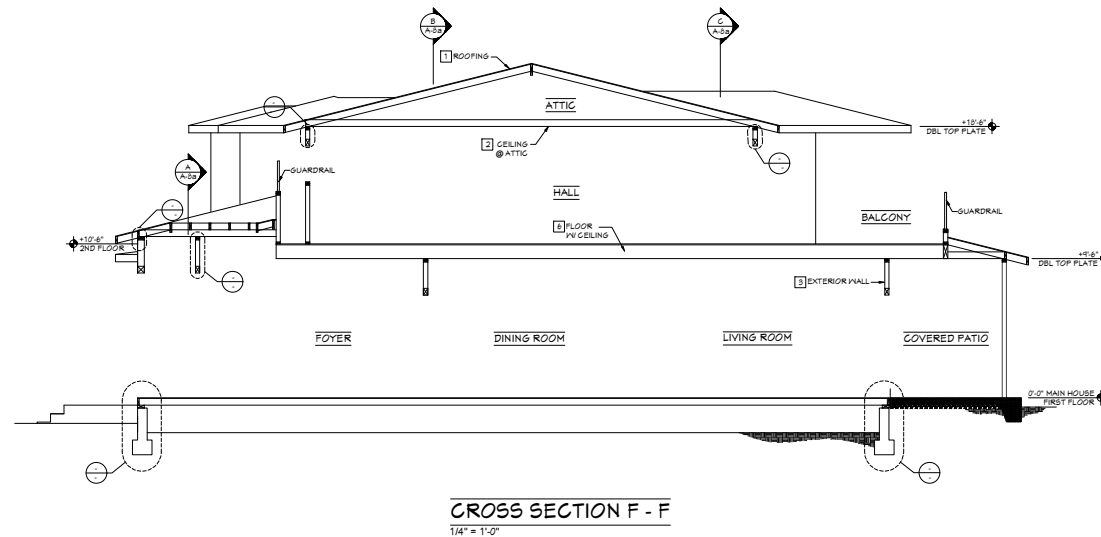
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07/26/2021 SHEET
2015 A-8b

1	ROOF	<p>ROOF MATERIAL, (SEE ROOF PLAN FOR TYPE)</p> <p>3" U.S. UNDERLAYMENT & SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE)</p> <p>RAFTERS (SEE ROOF PLAN AND ROOF SHEATHING SCHEDULE FOR TYPE&SIZE & SPACING), TYPICAL U.O.N.</p>
2	CEILING & ATTIC	<p>CEILING JOISTS (SEE FRAMING PLAN AND JOIST FRAMING SCHEDULE FOR TYPE&SIZE & SPACING) U.S. SHEETROCK, TYPICAL U.O.N.</p>
3	EXTERIOR WALL	<p>EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) 2 LAYERS CLASS 120 SHAFER 1/2" SHEETROCK (SEE SHEATHING SCHEDULE FOR TYPE) 2" 24 STUDS @ 16" C. (2x6 STUDS @ MAIN PLUMBING WALLS) 1/2" 24 TOP PLATE & 24 SOLE PLATE 1/2" SHEET ROCK INSIDE FACE, TYPICAL U.O.N.</p>
4	INTERIOR WALL	<p>2x4 STUDS @ 16" C. (2x6 STUDS @ MAIN PLUMBING WALLS) U.S. DOUBLE 24 TOP PLATE & 24 SOLE PLATE 1/2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.</p>
5	FLOOR	<p>FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) FLOOR JOISTS (SEE FRAMING PLAN AND FLOOR JOIST FRAMING SCHEDULE FOR TYPE&SIZE & SPACING), TYPICAL U.O.N.</p>
6	FLOOR W/	<p>FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) FLOOR JOISTS (SEE FRAMING PLAN AND FLOOR JOIST FRAMING SCHEDULE FOR TYPE&SIZE & SPACING) U.S. SHEET ROCK, TYPICAL U.O.N.</p>



Patah

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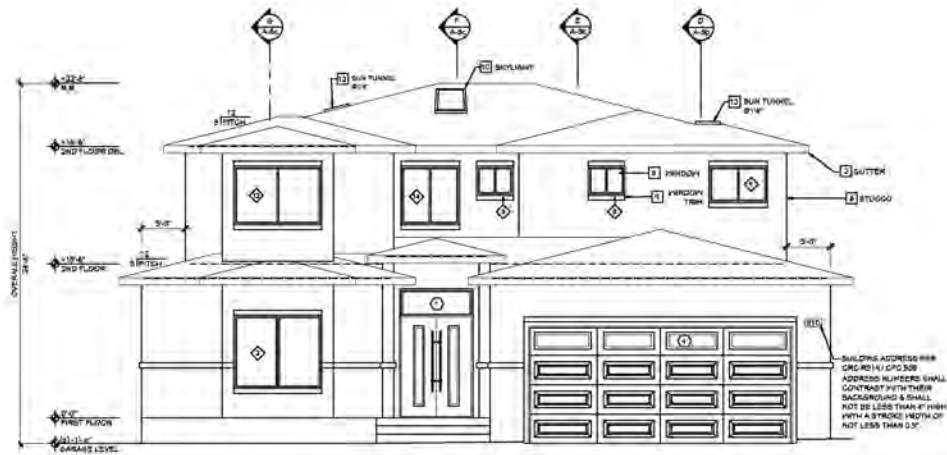
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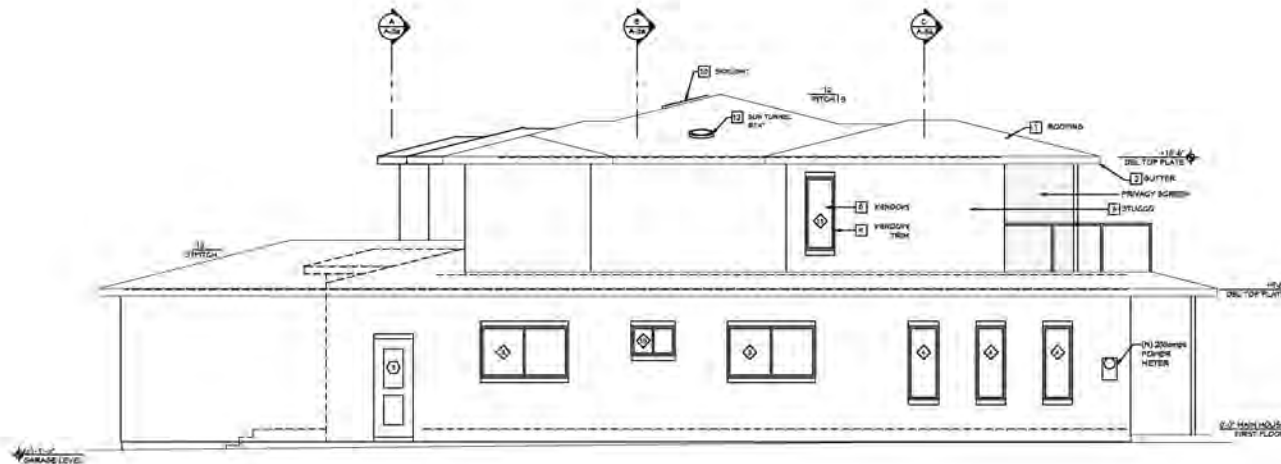
07/26/2021	GUEST
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07/26/2021 SHEET

2015	A-8c
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PROPOSED FRONT ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

GENERAL NOTES

- 1 STUCCO REQUIREMENTS: (1) 5-COAT 8" MIN THICK (2) HAS 2 LAYERS OF GRADE D BUILDING PAPER (3) 26 GA GALVANIZED/PEEP SCREED AT FOUNDATION FLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2012.11, 2016.9 & 2012.12 CMC 2019)
- 2 PLUS CLEARANCE AS PER SECTION 81005.16 CMC 2019 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 12'-0" MAX
- 3 CHIMNEY BRACING AS PER CH. 10 CMC 2019
- 4 SPARK ARRESTOR PROVIDE AS PER SEC. 81009.4.1 CMC 2019
- 5 TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. 8006.4 CMC 2019

EXTERIOR MATERIAL NOTES

- 1 ROOFING MPG SLATE 40 YEAR COMPOSITION SHINGLE ROOF
- 2 SHUTTER OSBE
- 3 DOWN SPOUTS RECTANGULAR
- 4 SIDING N/A
- 5 TRIM N/A
- 6 STUCCO SAND FINISH
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED ANDERSON 100 SERIES OR EQUIVALENT - GIVEN TO MAKE FINAL DECISION
- 9 WINDOW TRIM MPG TRIM
- 10 SKYLIGHTS "VELUX" ELECTRIC "FRESH AIR" SKYLIGHT (VCE) 2234 - GUMB MOUNTED ON EQ.
- 11 CHIMNEY N/A
- 12 SUN TUNNEL "VELUX" LOW PROFILE T87 SUN TUNNEL

LEGEND

- ◇ WINDOW SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ⊗ DOOR SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

REVISIONS

- 1 CITY PLAN CHECK

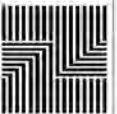
NOTE:

RESTRICTIONS: UNLESS OTHERWISE INDICATED, ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

NO.	REVISION/ISSUE	DATE
1	PLANS	11/16/2020
2	PLANS	11/16/2020

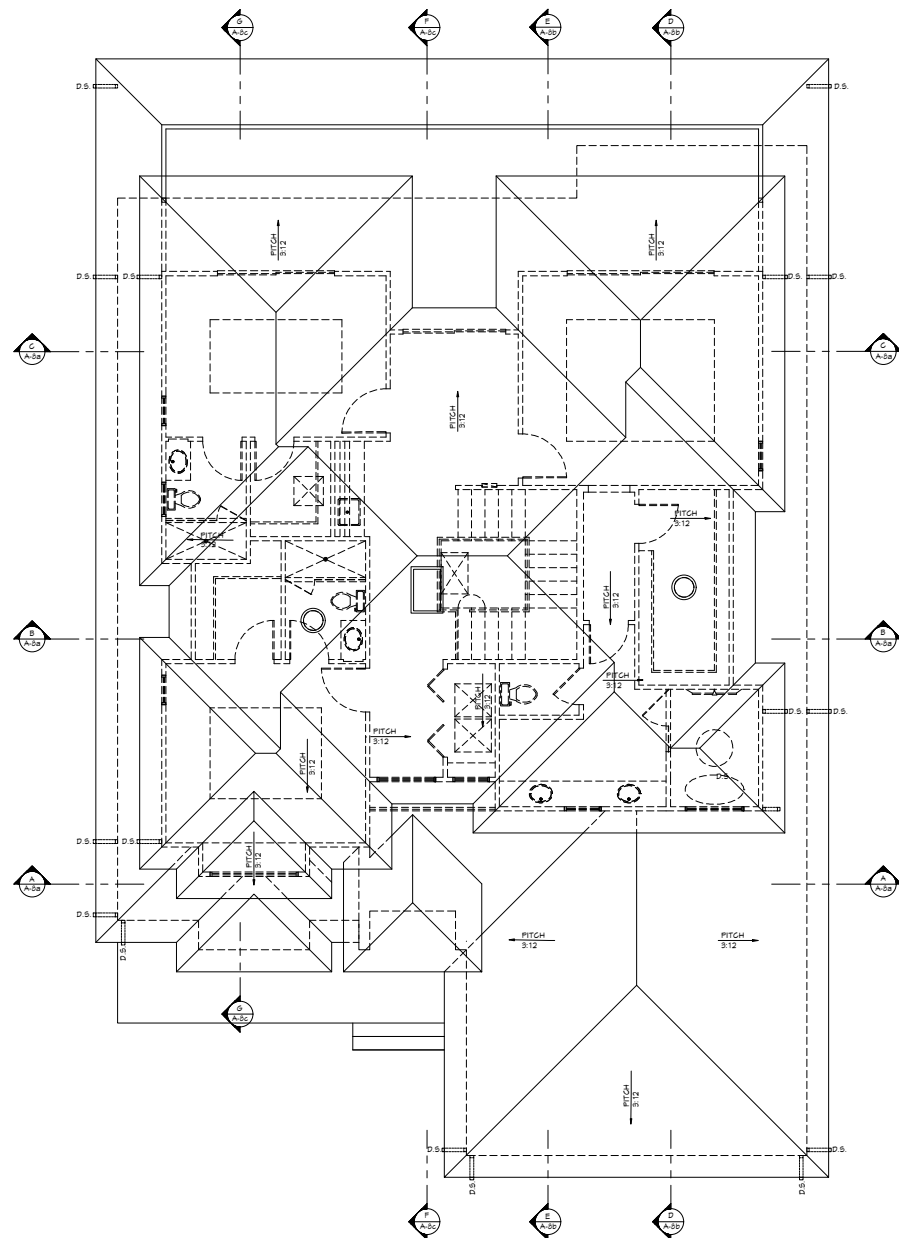
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07/26/2021	SHEET
2015	A-9a

2015	A-9b
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PROPOSED ROOF PLAN

1/4" = 1'-0"

GENERAL NOTES

- I ROOF JACKS WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II VALLEY FLASHING 24 GA. 6.1. "L" FLASHING @ ALL VALLEYS
- III CRICKET FLASHING 24 GA. 6.1. OVER 3/8" D.F. GDX FLYWOOD (OR BETTER) - 2" MIN. SLOPE
- IV ATTIC VENTILATION SEC. R506.2, 2016 CRC PROVIDE ATTIC VENTILATION AS OUTLINED IN
- V FIREPLACE & CHIMNEY DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2019 CRC

ROOF PLAN NOTES

- 1 ROOFING CLASS-A 40 YEARS COMPOSITION ASPHALT ROOFING SHINGLE - EARTHTONE - OGDEN
NOTE: FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.
- 2 GUTTERS OGEE GUTTER
- 3 DOWN SPOUTS RECTANGULAR, DOWNSPOUTS
- 4 SKYLIGHTS "VELUX" ELECTRIC "FRESH AIR" SKYLIGHT (VCE) 2234 - CURB MOUNTED OR EGO
- 5 CHIMNEY N/A
- 6 SUN TUNNEL "VELUX" LOW PROFILE TGF SUN TUNNEL

PROPOSED GARAGE ATTIC VENTILATION

PROPOSED VENTILATION AREA

TOTAL SQUARE FEET = 500.41
/ 150
TOTAL SQ. FT. OF VENTILATION NEEDED = 3.33

PROPOSED VENTILATION

- (3) 21" HOLES (24650 FT) x 11 BAYS = 1.25 SQ. FT.
LOW PROFILE RECT. EYEBROW VENT X 4 = 2.12 SQ. FT.
(BASE OPENING = 14" X 4")
(NFVA = 0.53 SF / VENT)
TOTAL = 3.37 SQ. FT.

2ND FLOOR ATTIC VENTILATION

PROPOSED VENTILATION AREA

TOTAL SQUARE FEET = 1412.68
/ 150
TOTAL SQ. FT. OF VENTILATION NEEDED = 9.41

PROPOSED VENTILATION

- (3) 21" HOLES (24650 FT) x 12 BAYS = 4.75 SQ. FT.
LOW PROFILE RECT. EYEBROW VENT X 10 = 5.30 SQ. FT.
(BASE OPENING = 14" X 4")
(NFVA = 0.53 SF / VENT)
TOTAL = 10.05 SQ. FT.

NOTE:

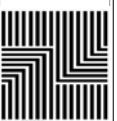
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1 Planning submitted 11/16/2020
2 PLANNING RESUBMITTAL 01/19/2021

NO REVISION/ISSUE DATE

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07/26/2021 SHEET

2015 A-10

GENERAL NOTES

1. SCOPE OF CONTRACT:
THE SCOPE OF THE CONTRACT IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SCAFFOLDING, FREIGHTAGE, CARRIAGE AND HANDLING OF MATERIAL FOR PROPER SERVICE INCIDENTAL TO PERFORMING AND COMPLETING THE WORK OUTLINED IN THE DRAWINGS AND SPECIFICATIONS. WORK OMITTED IN THE PLANS, NECESSARY FOR THE PROPER COMPLETION OF THE WORK PER INTENT OF PLANS, SHALL BE FURNISHED BY THE CONTRACTOR. THE CONTRACTOR SHALL INDICATE TO THE SUBCONTRACTOR THE JURISDICTION OF THEIR TRADE AS IT APPLIES TO THE JOB. ALL PERSONS AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.

2. EXISTING CONDITIONS:
THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK AND SHALL NOT START WORK UNTIL HE/SHE IS SATISFIED THAT THE ACTUAL SITE CONDITIONS ARE AS SET FORTH ON THE DRAWINGS. ONCE HAVING STARTED WORK, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE WHATEVER ADJUSTMENTS, CORRECTIONS OR REPAIRS AS REQUIRED TO COMPLETE THE PROJECT WITHOUT EXTRA COMPENSATION.

3. PERMITS AND INSPECTIONS:
THE CONTRACTOR SHALL PAY FOR ALL PERMITS AND SHALL SECURE AND VERIFY ALL INSPECTIONS WHEN REQUIRED AS PER LOCAL CITY/COUNTY REQUIREMENTS. ANY INSPECTIONS, SPECIAL OR OTHERWISE, THAT ARE REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS OR THESE PLANS SHALL BE DONE BY AN INDEPENDENT INSPECTION COMPANY. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AS AN OFFICIAL INSPECTION UNLESS SPECIFICALLY CONTRACTED FOR.

4. CODES:
ALL WORK UNDER THIS CONTRACT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL ORDINANCES AS WELL AS ALL PUBLIC AGENCIES EXERCISING JURISDICTION, INCLUDING THE LATEST CALIFORNIA BUILDING CODE AND LOCAL REQUIREMENTS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.

5. INSURANCE:
THE CONTRACTOR SHALL CARRY HIS/HER OWN WORKMAN'S COMPENSATION INSURANCE AS REQUIRED. THE OWNER WILL CARRY FIRE INSURANCE IN PROPORTION TO WORK COMPLETED AND QUANTITY OF MATERIALS STORED ON SITE.

6. SITE SAFETY:
THE CONTRACTOR ALONE IS RESPONSIBLE FOR JOB SITE SAFETY. SITE REVIEW OF THE CONSTRUCTION BY THE ENGINEER AND/OR DESIGNER IS TO DETERMINE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. IT DOES NOT ENCOMPASS SAFETY PROCEDURES OR OPERATIONS. STRUCTURES HAVE BEEN DESIGNED FOR OPERATIONAL LOADS ON COMPLETED STRUCTURES. DURING CONSTRUCTION, STRUCTURES AND PARTS OF THE STRUCTURE SHALL BE PROTECTED AND/OR SUPPORTED BY BRACING AND SHORING WHEREVER LOADING MAY OCCUR.

7. WORKMANSHIP AND GUARANTEES:
ALL WORK SHALL BE DONE BY PERSONS SKILLED IN THEIR RESPECTIVE TRADES AND IN ACCORDANCE WITH THE BEST RECOGNIZED PRACTICE OF EACH TRADE. ALL WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS WHERE APPLICABLE. WORKMANSHIP THAT DOES NOT COMPLY WITH THE OBVIOUS INTENT OF THE CONTRACT DOCUMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE NEW, OF THE BEST QUALITY AND FREE FROM DEFECTS. THE CONTRACTOR SHALL GUARANTEE A WATER-TIGHT BUILDING ENCLOSURE AND THAT ALL MATERIALS AND WORKMANSHIP FURNISHED AND RENDERED UNDER THE CONTRACT SHALL BE FREE FROM DEFECT OR FAULT. THE CONTRACTOR SHALL GUARANTEE THE WORK TO BE FREE FROM DEFECT FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION. DURING THAT TIME, THE CONTRACTOR SHALL PROMPTLY CORRECT ANY DEFECTS WITHOUT COST TO THE OWNER.

8. DISCREPANCIES:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTOR TO NOTIFY THE OWNER AND THE DESIGNER AND/OR ENGINEER OF ANY CONDITIONS FOUND IN THE FIELD TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS, AS WELL AS ERRORS AND/OR OMISSIONS ON THE PLANS WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT.

9. DIMENSIONS:
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS AT THE JOB SITE AND BRING ANY DISCREPANCIES TO THE DESIGNER'S ATTENTION; VERIFY ALL DIMENSIONS OF THE FRAMING PLANS TO THE ARCHITECTURAL PLANS; VERIFY THE TYPE AND SIZE OF METAL WORK AGAINST APPROPRIATE MEMBER SIZE BEFORE ORDERING HARDWARE. STRUCTURAL DIMENSIONS CONTROLLED BY OR RELATED TO MECHANICAL AND/OR ELECTRICAL EQUIPMENT SHALL BE CERTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

10. PRECEDENCE:
IN GENERAL, LARGER SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DETAILS. IN CASE OF DISCREPANCIES DISCOVERED BY THE CONTRACTOR OR WHERE THE INTENT OF THE PLANS OR SPECIFICATIONS IS NOT CLEAR, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH THE WORK AFFECTED THEREBY.

11. SUBSTITUTIONS:
WHERE THE NAME BRAND OR MANUFACTURER'S PRODUCT IS SPECIFIED, IT IS USED AS A MEASURE OF QUALITY AND UTILITY OR AS A STANDARD. IF THE CONTRACTOR DESIRES TO USE ANY OTHER BRAND OR MANUFACTURER FOR NONSTRUCTURAL ITEMS, HE/SHE SHALL REQUEST APPROVAL FROM THE OWNER, JUSTIFYING THE EQUALITY OF THE ARTICLE IN QUALITY AND UTILITY AND AS REQUESTED. FOR STRUCTURAL ITEMS, APPROVAL SHALL BE REQUESTED FROM THE ENGINEER. HARDWARE NOTED IS SIMPSON "STRONGTIE". HARDWARE OF SIMILAR CONSTRUCTION AND EQUAL I.C.B.O. VALUE IS ACCEPTABLE.

12. CLEANUP:
DURING EXECUTION OF THE WORK, THE PREMISES SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION, WINDOWS SHALL BE WASHED AND THE FLOORS SHALL BE SWEEP. ALL DEBRIS SHALL BE REMOVED FROM THE JOB SITE. WOOD SCRAP MAY BE STOCKPILED IN A PLACE DESIGNATED BY THE OWNER. ALL CLEANING OF CONCRETE, STUCCO, PAINTING UTENSILS, ETC., TO BE DONE AT DRIVEWAY. NO DUMPING OF ANY OIL-BASED OR TOXIC MATERIAL ON SITE. CONTRACTOR SHALL PROVIDE DRUM ON SITE FOR SOLVENT DISPOSAL.

GENERAL NOTES CONT'D

13. CHANGE ORDERS:
MAKE NO DEVIATIONS FROM DRAWINGS OR SPECIFICATIONS W/O SPECIFIC INSTRUCTIONS FROM THE OWNER. OBTAIN WRITTEN AUTHORIZATION FOR CHANGES INVOLVING EXTRA COSTS PRIOR TO COMMENCING WITH ANY CHANGES. STRUCTURAL CHANGES OR CHANGES THAT WILL AFFECT THE STRUCTURE SHALL BE APPROVED BY THE ENGINEER AND/OR THE DESIGNER.

DOORS & WINDOWS

1. METAL DOORS & FRAMES:
PREPARE OPENING TO PERMIT CORRECT INSTALLATION OF DOOR UNIT AND AIR AND VAPOR SEAL. COORDINATE INSTALLATION WITH PLACEMENT OF INSULATION TO ACHIEVE AN AIR AND VAPOR BARRIER AT FRAME PERIMETER.

2. INSTALL DOOR UNIT ASSEMBLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

3. USE ANCHORAGE DEVICES TO SECURELY FASTEN ASSEMBLY TO WALL CONSTRUCTION WITHOUT DISTORTION OR STRESS.

4. MAINTAIN DIMENSIONAL TOLERANCES AND ALIGNMENT WITH ADJACENT WORK.

5. VARIATION FROM PLUMB: 1/16 INCH MAXIMUM
VARIATION FROM LEVEL: 1/16 INCH MAXIMUM

6. CLEAN FRAMES AND GLASS AND REMOVE ALL VISIBLE LABELS AND MARKINGS.

7. WOOD DOORS:
A. DOOR TYPES AND CONSTRUCTION:
- FLUSH EXTERIOR DOORS: 1-3/4" THICK SOLID CORE TYPE A CONSTRUCTION; WOOD VENEER FACES, PVC MEDIUM GRADE FINISH PER OWNER SPECIFICATIONS.
- STYLE AND RAIL, INTERIOR AND EXTERIOR DOORS: 1-3/4" THICK SOLID STOCK CONSTRUCTION; SOLID STOCK WOOD. RAISED PANELS, PVC MEDIUM GRADE FINISH PER OWNER SPECIFICATIONS.
- FRENCH DOORS: 1-3/4" THICK SOLID STOCK CONSTRUCTION, DUAL GLAZED DOORS; PVC MEDIUM GRADE FINISH PER OWNER SPECIFICATIONS.

8. ADHESIVES:
- EXTERIOR DOORS: ANSINYMMA, TYPE I ADHESIVE
- INTERIOR DOORS: ANSINYMMA, TYPE II BOND

9. FABRICATION:
- PROVIDE AS STRAKS AS AT DOUBLE DOORS
- PROVIDE STRIKE EDGE OF SINGLE ACTING DOORS 1/8" IN 2" RADIUS STRIKE EDGE OF DOUBLE ACTING SWING DOORS 2-1/8" PERMACHINE DOORS TO RECEIVE HARDWARE

10. INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

11. PROVIDE MACHINE CUT RELIEF FOR HINGES AND CORING FOR HANDSETS AND CYLINDERS. PILOT DRILL SCREW AND BOLT HOLES. PREPARE DOORS TO RECEIVE FINISH HARDWARE IN ACCORDANCE WITH ANSI/HMA REQUIREMENTS.

12. TRIM DOOR WIDTH BY CUTTING EQUALLY ON BOTH JAMB EDGES TO A MAXIMUM OF 3/16". TRIM DOOR HEIGHT BY CUTTING EQUALLY ON TOP AND BOTTOM EDGES TO A MAXIMUM OF 3/16". CONFORM TO ANSI/HMA REQUIREMENTS FOR FIT TOLERANCES.

13. ADJUST FOR SMOOTH AND BALANCED DOOR MOVEMENT.

13. DOOR HARDWARE:
- ALL INTERIOR HARDWARE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, USING PROPER TEMPLATES. FURNISH ALL NECESSARY FASTENINGS OF SUITABLE SIZE AND TYPE TO ANCHOR HARDWARE IN POSITION. USE HEAVY USE AND LONG LIFE. FASTENINGS SHALL MATCH HARDWARE IN WHICH IT OCCURS. FOLLOW MANUFACTURER'S RECOMMENDATIONS WHERE APPLICABLE. ANCHORS IN CONCRETE SHALL BE EXPANSION BOLTS. ALL SCREWS TO HAVE PHILLIPS HEAD.

14. ALL LOCKSET CYLINDERS SHALL HAVE SIX PINS. ALL LOCKSETS SHALL HAVE 2-3/4" BACK SET. ALL LOCKSETS AND DEADLOCKS SHALL BE EQUIPPED WITH WROUGHT BOX STRIKES WITH 1-1/8" LONG LIP TO PROTECT TRIM FROM ACTIVITY OF BOLT. ALL LOCKSETS SHALL BE OF ONE MANUFACTURE, UNLESS NOTED OTHERWISE ON PLANS OR PER OWNER SPECIFICATIONS.

15. HAND OF LOCK SHALL BE AS INDICATED ON THE DRAWINGS.

16. IF DOOR HAND IS CHANGED DURING CONSTRUCTION, CONTRACTOR SHALL MAKE NECESSARY CHANGES IN HARDWARE AT NO ADDITIONAL COST TO THE OWNER.

17. ALL DOORS SHALL BE EQUIPPED WITH DOOR STOPS. PROVIDE CARPET RIBBERS AT CARPETED AREAS.

18. ALL DOORS, EXCEPT LABEL DOORS, SHALL HAVE SILENCERS.

19. PROVIDE THREE PER SINGLE DOOR, TWO PER PAIR.

20. EXTERIOR THRESHOLDS SHALL BE PERMKO OR EQUAL.

21. SECURE WITH EXPANSION BOLTS, 3/8" DIAMETER PLUG COUNTERSINKED. PROVIDE FOUR PER PAIR OF OPENING.

22. INSURE THAT ALL BUTTS HAVE PROPER CLEARANCE AT TRIM CONDITIONS. ALL DOORS OVER 7'-0" SHALL HAVE TWO PAIR BUTTS.

23. ALL INTERIOR DOORS SHALL HAVE NONREMOVABLE DOOR STOPS WITH NON-REMOVABLE PINS. UNLESS OTHERWISE NOTED, DOORS 1-3/8" INCHES THICK, 3-1/2" DOORS 1-3/4" THICK AND UP TO 1-1/2" WIDE, 4-1/2" DOORS 1-1/2" THICK AND UP TO 1-1/2" WIDE. CLEAR TRIM PROJECTION WHEN DOOR SWINGS 180 DEGREES.

4. WINDOWS:
VERIFY WALL OPENINGS AND ADJOINING AIR AND VAPOR SEAL MATERIALS ARE READY TO BE SET IN PLACE IF REQUESTED.

5. INSTALL WINDOW FRAMES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. USE ANCHORAGE DEVICES TO SECURELY ATTACH FRAME TO STRUCTURE. ALIGN WINDOW FRAME PLUMB AND LEVEL. FREE TO PLUMB OR TRIM. MAINTAIN DIMENSIONAL TOLERANCES, ALIGNING WITH ADJACENT WORK.

6. COORDINATE ATTACHMENT AND SEAL OF AIR AND VAPOR BARRIER MATERIALS AND SHIM SPACES TO MAINTAIN PACK IN INSULATION IN SHIM SPACES AT PERIMETER TO MAINTAIN CONTINUITY OF THERMAL BARRIER. INSTALL PERIMETER SEALANT, BACKING MATERIAL, AND SEALANT TO ENDS OF SILL FOR WATER-TIGHT SEAL.

7. ADJUST HARDWARE FOR SMOOTH OPERATION AND TIGHT FIT OF SASH.

8. REMOVE PROTECTIVE MATERIAL AND LABELS FROM SURFACES. WASH EXPOSED SURFACES AND TAKE CARE TO REMOVE DIRT FROM CORNERS. WIPE SURFACES CLEAN. REMOVE EXCESS

MOISTURE PROTECTION

1. ASPHALT SHINGLES:
INSTALL NEW 3 TAB SINGLE LAYER ASPHALT SHINGLES AT NEW CONSTRUCTION TO MATCH EXISTING. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S APPLICATION INSTRUCTIONS OVER ONE LAYER OF 15lb ASPHALT SATURATED FELT.

2. CEDAR SHINGLE WALLS:
INSTALL NEW NUMBER ONE GRADE CEDAR SHINGLES AT NEW CONSTRUCTION TO MATCH EXISTING. INSTALL IN STRICT ACCORDANCE WITH THE APPLICATION INSTRUCTIONS OF THE RED CEDAR AND SHINGLE SHAKE BUREAU.

3. WATERPROOF MEMBRANES:
INSTALL WATERPROOF MEMBRANE AT NEW SHOWER PAN AND SEAT. MATERIAL SHALL BE GHEORALLOY 240, 40 mil. CHLORINATED POLYETHYLENE SHEET, AS MANUFACTURED BY THE NOBLE CO. INSPECT ALL SURFACES BEFORE INSTALLING AND CONFIRM THAT THERE IS ADEQUATE SLOPE TO DRAIN. INSTALL WITHOUT CUTS PER MANUFACTURER'S INSTRUCTIONS. TURN MEMBRANE UP WALL A MINIMUM OF 6" ABOVE SHOWER PAN. COVER CURB WITH SAME MATERIAL. FLOOD TEST AFTER DRAIN FITTING IS INSTALLED.

4. BUILDING PAPER:
INSTALL 15lb ASPHALT SATURATED BUILDING PAPER UNDER ALL NEW SHINGLES AND SIDING. FASTEN AND LAP IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

5. THERMAL INSULATION:
INSTALL PAPER FACED R-13 FIBERGLASS BATTS IN ALL NEW EXTERIOR WALLS AND IN NEW WALLS BETWEEN HEATED AND UNHEATED SPACES. INSTALL THE SAME MATERIAL IN SIMILAR EXISTING WALLS WHICH HAVE BEEN OPENED UP DUE TO NEW CONSTRUCTION.

6. INSULATION:
INSTALL PAPER FACED R-30 FIBERGLASS BATTS ABOVE ALL NEW CEILINGS. INSURE A MINIMUM OF 3" CLEARANCE BETWEEN CEESSED LIGHT FIXTURES AND THE INSULATION. INSTALL UNFACED R-19 FIBERGLASS BATTS IN THE JOIST SPACE OF ALL NEW FLOORS OCCURRING OVER UNHEATED SPACES. IN-STALL LINE WIRES OR INSULATION NETTING AT THE BOTTOM OF THE JOISTS TO HOLD INSULATION SECURELY IN PLACE.

7. INSTALL PAPER FACED R-11 FIBERGLASS BATTS IN THE FLOOR BELOW THE MASTER BATH AND LAVATORY FOR ACOUSTICAL CONTROL.

8. INSTALL INSULATION SO THAT THE FACING WILL BE IN SUB-STANTIAL CONTACT WITH THE GYPSUM BOARD WHEN IT IS INSTALLED. FIT INSULATION TIGHTLY AROUND ALL PENETRATIONS AND ALL FRAMING MEMBERS. INSURE FREE AIR PASSAGE AT EAVE VENTS.

9. PROVIDE CERTIFICATION THAT INSULATION HAS BEEN INSTALLED IN ACCORDANCE WITH CALIFORNIA ENERGY REGULATIONS.

6. SHEET METAL:
INSTALL 26 GAUGE GALVANIZED STEEL FLASHING TO INSURE WEATHER-TIGHT ENCLOSURE. INSTALL EQUIVALENT ALUMINUM FLASHING WHEN FLASHING COMES IN CONTACT WITH ALUMINUM SECTIONS.

7. INSTALL NEW GUTTERS AND DOWNSPOUTS AT NEW CONSTRUCTION TO MATCH EXISTING UNLESS NOTED OTHERWISE.

1. CAULKING:
APPLY ACRYLIC LATEX BASE CAULKING COMPOUND AT ALL EXTERIOR JOINTS TO THE EXTENT NECESSARY TO PROVIDE A WEATHER-TIGHT ENCLOSURE. REMOVE EXCESS CAULKING FROM FINISH SURFACES PRIOR TO TACKING SET.

2. CAULK ALL JOINTS, HOLES AND GAPS AT SILLS, PLATES AND OPENINGS AS REQUIRED BY THE CALIFORNIA ENERGY REGULATIONS.

3. DOWN CORNING SILICONE SEALANT OR G.E. SILICONE SEALANT TO BE USED OR APPROVED EQUAL.

MECHANICAL

1. CODES:
ALL MECHANICAL WORK SHALL BE INSTALLED TO CONFORM WITH THE LATEST EDITION OF THE CALIFORNIA MECHANICAL CODE AND OTHER LOCAL AND STATE CODES AND ORDINANCES THAT APPLY.

2. DESIGN AND INSTALLATION:
IT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO ASSESS ALL MECHANICAL REQUIREMENTS AS SHOWN ON THE DRAWINGS AND TO DESIGN AND INSTALL THE MECHANICAL SYSTEM, DETERMINING ALL SIZES, CONNECTIONS AND ROUTING OF DUCTWORK AS REQUIRED FOR PROPER OPERATION.

3. COORDINATION:
MECHANICAL CONTRACTOR SHALL COORDINATE INSTALLATION WITH INSTALLATIONS OF OTHER TRADES.

4. BALANCING:
UPON COMPLETION OF INSTALLATION, THE MECHANICAL CONTRACTOR SHALL CONTINUOUSLY RUN ALL HEATING, VENTILATING AND AIR-CONDITIONING SYSTEMS AS REQUIRED TO DEMONSTRATE GOOD WORKING ORDER AND TO PROPERLY BALANCE THE MECHANICAL SYSTEM.

PLUMBING

1. CODES:
ALL PLUMBING SHALL BE INSTALLED TO CONFORM WITH THE LATEST EDITION OF THE CALIFORNIA PLUMBING CODE AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES THAT APPLY.

2. DESIGN AND INSTALLATION:
IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO ASSESS ALL PLUMBING REQUIREMENTS FOR FIXTURES AS SHOWN ON THE DRAWINGS AND TO DESIGN AND INSTALL THE SUPPLY, DRAINAGE AND VENTING SYSTEMS, DETERMINING ALL SIZES, ROUTING CONNECTIONS, VALVES AND CONFIGURATIONS AS REQUIRED FOR PROPER OPERATION OF ALL PLUMBING FIXTURES.

3. COORDINATION:
PLUMBING CONTRACTOR SHALL COORDINATE PLUMBING INSTALLATION WITH INSTALLATIONS OF OTHER TRADES.

FINISHES

1. PLASTER:
DEVELOP PLASTER MIX IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPLY PLASTER IN ACCORDANCE WITH ANSI/ASTM C645 AND MANUFACTURER'S INSTRUCTIONS. INSTALL ANGLE, CORNER AND JOINT REINFORCEMENT. APPLY SINGLE COAT WORK OVER SUBSTRATE TO A THICKNESS OF .392", PLUS OR MINUS .184". FINISH SURFACE AS PER ROOM FINISH SCHEDULE OR OWNER SPECIFICATIONS. BUILDING SUBMITTAL 3-10-2014

2. GYPSUM BOARD:
USE 1/2" OR 5/8" TYPE "X" GYPSUM BOARD AS MANUFACTURED BY U.S. GYPSUM OR EQUAL IN ACCORDANCE WITH ANSI/ASTM C569, WITH TAPERED EDGES AND SQUARE ENDS. INSTALL GYPSUM BOARD IN ACCORDANCE WITH GA-216 AND AS RECOMMENDED BY THE MANUFACTURER, KEEPING END JOINTS TO A MINIMUM. ERECT SINGLE LAYER BOARD IN DIRECTION MOST PRACTICAL AND ECONOMICAL, WITH ENDS AND EDGES OCCURRING OVER FIRM BEARING TAPE, FILL AND SAND FILLED JOINTS, EDGES, CORNERS, OPENINGS AND FIXINGS TO PRODUCE SURFACE READY TO RECEIVE FINISH. FINISH WALLS AND CEILINGS PER ROOM FINISH SCHEDULES OR OWNER SPECIFICATIONS.

3. TILE:
MIX AND PROPORTION PRE-MIX SETTING BED AND GROUT METHODS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. INSTALL CERAMIC COUNTER AND WALL TILE IN ACCORDANCE WITH ANSI 108.1 OVER PORTLAND CEMENT MORTAR BED. SETTING MORTAR SHALL CONSIST OF ONE PART PORTLAND CEMENT, 5 1/2 PARTS CLEAN, DRY SAND AND UP TO 1 1/2 HYDRATED LIME. IN-STALL MEMBRANE AND 16 GAUGE REINFORCED MESH AT MORTAR BED. USE ADMIXTURE FOR WATER RESISTANT MORTAR BED. SET FLOOR TILE IN FULL MORTAR BED TO SUPPORT LOAD OVER FULL BEARING SURFACE AND TO ESTABLISH JOINT DIMENSIONS. MAINTAIN UNIFORM JOINT WIDTHS WHERE ABUTTING VERTICAL SURFACES OR PROTRUSIONS. UPON COMPLETION OF SETTING AND GROUTING, SPONGE AND WASH TILE THOROUGHLY, DIAGONALLY ACROSS JOINTS. FINALLY, POLISH WITH CLEAN, DRY CLOTHS. PROHIBIT TRAFFIC FROM FLOOR TILE FINISH FOR 48 HOURS AFTER INSTALLATION.

4. PAINTING:
NO PAINTING SHALL BE COMMENCED UNTIL SURFACES ARE IN PROPER CONDITION TO RECEIVE PAINT. IF THE PAINTING CONTRACTOR CONSIDERS ANY SURFACE UNSUITABLE FOR THE PROPER FINISH OF HIS/HER WORK, HE/SHE SHALL NOTIFY THE CONTRACTOR OF THIS FACT AND SHALL NOT APPLY ANY MATERIAL UNTIL SUCH SURFACES HAVE BEEN PROPERLY PREPARED FOR PAINTING.

5. ALL KNOTS OR SAFFY SPOTS SHALL BE TOUCHED UP WITH A KNOT SEALER OR SELLACK PRIOR TO PAINTING.

6. ALL NECESSARY PUTTYING OF NAIL HOLES, CRACKS AND BLEMISHES SHALL ONLY BE DONE AFTER PRIMING COAT HAS BECOME DRY AND HARD. ON STAIN WORK, NAIL HOLES SHALL BE PUTTIED TO MATCH FINISH COLOR.

7. FINE UNDERCOATS TO THE APPROXIMATE SHADE OF THE FINISH COAT. APPLY ALL COATINGS SMOOTHLY AND EVENLY, FREE FROM RUNS, SAGS OR OTHER DEFECTS. ALLOW EACH COAT TO DRY THOROUGHLY BEFORE APPLYING FOLLOWING COAT. FINISH ALL EDGES, TOPS AND BOTTOMS OF ALL DOORS AND ALL INSIDE SURFACES OF ALL CABINETS WHICH ARE NOT MELAMINE FACED. PROTECT ALL SURFACES NOT TO BE PAINTED FROM DAMAGE. REMOVE EXISTING FINISH HARDWARE AND ELECTRICAL PLATES ON EXISTING SURFACES TO BE REPAINTED. REPLACE AFTER COMPLETION OF PAINTING.

8. ALL COLORS SHALL BE AS SELECTED BY OWNER OR INTERIOR DESIGNER. THE PAINTING CONTRACTOR SHALL PROVIDE PAINT COLOR SAMPLES UPON REQUEST.

ELECTRICAL

1. CODES:
ALL ELECTRICAL WORK SHALL BE INSTALLED TO CONFORM WITH THE LATEST EDITION OF THE CALIFORNIA ELECTRICAL CODE AND ALL OTHER LOCAL AND STATE ORDINANCES THAT APPLY.

2. DESIGN AND INSTALLATION:
IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ASSESS AND IDENTIFY ALL ELECTRICAL LOADS NECESSARY FOR PROPER OPERATION OF ALL ELECTRICAL APPLIANCES, OUTLETS, FIXTURES, ETC., AND TO DESIGN AND INSTALL THE ELECTRICAL SYSTEM FOR PROPER DISTRIBUTION OF LOADS SO AS TO PREVENT OVERLOADING OF THE SYSTEM.

3. AVOID CUTTING AND BORING HOLES THROUGH STRUCTURE OR STRUCTURAL MEMBERS WHEREVER POSSIBLE. OBTAIN PRIOR APPROVAL OF ENGINEER AND/OR DESIGNER AND CONFORM TO ALL STRUCTURAL REQUIREMENTS WHEN CUTTING OR BORING THE STRUCTURE IS NECESSARY AND FURNISHED.

3. COORDINATION:
ELECTRICAL CONTRACTOR SHALL COORDINATE ELECTRICAL INSTALLATION WITH INSTALLATIONS OF OTHER TRADES.

4. LIGHTING FIXTURES:
FURNISH AND INSTALL ALL FIXTURES COMPLETE AND READY FOR SERVICE, INCLUDING LAMPS.

5. POWER SUPPORTS AND MOUNTING ACCESSORIES, SUCH AS HANGERS, STEMS, YOKES, PLASTER FRAMES, ETC., SHALL BE PROVIDED AS REQUIRED BY TYPE OF CEILING INSTALLED.

NOTE:
RESTRICTIONS: THE INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF THE CLIENT. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE CLIENT AGREES TO HOLD THE ENGINEER AND/OR DESIGNER HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THEM BY ANY THIRD PARTY AS A RESULT OF THE CLIENT'S USE OF THIS INFORMATION. THE CLIENT'S USE OF THIS INFORMATION SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE PROJECT DESCRIPTION. ANY OTHER USE OF THIS INFORMATION SHALL BE AT THE CLIENT'S SOLE RISK AND WITHOUT LIABILITY TO THE ENGINEER AND/OR DESIGNER. THE CLIENT'S USE OF THIS INFORMATION SHALL BE LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE PROJECT DESCRIPTION. ANY OTHER USE OF THIS INFORMATION SHALL BE AT THE CLIENT'S SOLE RISK AND WITHOUT LIABILITY TO THE ENGINEER AND/OR DESIGNER.

1. Planning Schedule: 11/16/2020
2. PLANS: RESUBMITTAL: 12/15/2021

NO REVISIONS/ISSUE DATE

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SYMBOL	SIZE	MANUFACTURER & MODEL #	DESCRIPTION	GLAZING	FRAME	QTY	REMARKS
		MILGARD DUAL GLAZED VINYL WINDOWS			6" HEADER HT. FROM FIN. FLOOR		
1	9' x 3'		SLIDING	TEMP. GLASS		1	SARASE
2	6' x 5'		SLIDING	EGRESS TEMP. GLASS		1	BEDROOM#1
3	6' x 2 1/2'		SLIDING	EGRESS TEMP. GLASS		2	BEDROOM#2
4	2' x 6'		FIXED	TEMP. GLASS		3	FAMILY ROOM
5	4' x 8'		SLIDING	TEMP. GLASS		1	KITCHEN
6	5' x 4'		SLIDING	TEMP. GLASS		1	DINING ROOM
7	2' x 5'		FIXED	TEMP. GLASS		1	BEDROOM#3
8	2' x 2'		SLIDING	TEMP. GLASS	80" HEADER HT. FROM FIN. FLOOR	1	LAUNDRY/CL. BATH
9	6' x 2'		SLIDING	TEMP. GLASS		1	H.BATH
10	2' x 2'		SLIDING	TEMP. GLASS		1	BATH#1
11	2' x 5'		FIXED	TEMP. GLASS		3	BEDROOM#4&5&6 H. BEDROOM
12	6' x 4'		SLIDING	EGRESS TEMP. GLASS		1	BEDROOM#5
13	3' x 2'		SLIDING	TEMP. GLASS		1	BATH#2
14	4' x 6'		SLIDING	TEMP. GLASS		1	HALL
15					80" HEADER HT. FROM FIN. FLOOR		

SYMBOL	SIZE	MANUFACTURER & MODEL #	DESCRIPTION	HARDWARE	QTY.	REMARKS
		PER OWNER SPECIFICATIONS	PER OWNER			
1	8' x 7'		EXTERIOR TYPE SWING DOOR		1	MAIN ENTRANCE
2	2' x 7'	MIN. 1-3/4" SOLID CORE DOOR, FIRE RATED SELF CLOSING	INTERIOR TYPE SWING DOOR		1	GARAGE
3	2' x 7'		EXTERIOR TYPE SWING DOOR		1	GARAGE
4	18" x 8'		GARAGE ROLL UP DOOR		1	GARAGE
5	2' x 7'		INTERIOR TYPE SWING DOOR		4	BEDROOM #1, BEDROOM #2, BATH #1
6	2' x 7'		INTERIOR TYPE SWING DOOR		4	BATH #2, PANTRY, BEDROOM, STAIRS CLOSET
7	2' x 7'		CLOSET SLIDING DOOR		2	BEDROOM #2
8	3' x 7'		CLOSET SLIDING DOOR		2	BEDROOM #1
9	2' x 7'		CLOSET BIFOLD DOOR		2	PORCH
10	7' x 7'		SLIDING GLASS DOOR	TEMP. GLASS	1	FAMILY ROOM
11	10' x 7'		SLIDING GLASS DOOR	TEMP. GLASS	1	LIVING ROOM
12	2' x 8'		INTERIOR TYPE SWING DOOR		8	KITCHEN, UTG., BATH #2, CLOSET, BATH
13	3' x 8'		INTERIOR TYPE SWING DOOR		9	W. BEDROOM, BEDROOM #2, BATH
14	3' x 8'		CLOSET BIFOLD DOOR		2	LAUNDRY
15	10' x 8'		SLIDING GLASS DOOR	TEMP. GLASS	1	W. BEDROOM
16	9' x 8'		SLIDING GLASS DOOR	TEMP. GLASS	1	BEDROOM #3
17	7' x 8'		SLIDING GLASS DOOR	TEMP. GLASS	1	HALL

SIZE	DESCRIPTION & LOCATION	FRAME	REMOVE	
			YES	NO
8' x 5'	H BEDROOM	8'-0" HEADER 1'-0" SILL	X	
8' x 8'	H BEDROOM H BATH-BATH#2	8'-0" HEADER 3'-0" SILL	X	
7'-0" x 9'	LIVING ROOM	8'-0" HEADER 1'-0" SILL	X	
8' x 3'	RECREATION ROOM	8'-0" HEADER 3'-0" SILL	X	
8' x 3'	RECREATION ROOM	8'-0" HEADER 3'-0" SILL	X	
8' x 3'	KITCHEN	8'-0" HEADER 3'-0" SILL	X	
8' x 8'	H BEDROOM BEDRM#2 AS	8'-0" HEADER 3'-0" SILL	X	
8' x 8'	H BEDROOM BEDRM#2 AS	8'-0" HEADER 3'-0" SILL	X	
8' x 8'	H BEDROOM	7'-0" HEADER	X	
8' x 9'	H BEDROOM	7'-0" HEADER	X	

SIZE	DESCRIPTION	LOCATION	REMOVE	
			YES	NO
3' x 6'	EXTERIOR TYPE SPRING DOOR	MAIN ENTRANCE	X	
2' x 6'	INTERIOR TYPE SPRING DOOR	BATH#2, H.BATH	X	
2' x 6'	INTERIOR TYPE SPRING DOOR	KITCHEN, W.BEDRM	X	
2' x 6'	INTERIOR TYPE SPRING DOOR	BEDROOM#2,3	X	
1' x 6'	INTERIOR TYPE SPRING DOOR	LINEN CLOSET	X	
2' x 6'	INTERIOR TYPE SPRING DOOR	LAUNDRY	X	
2' x 6'	POCKET DOOR	KITCHEN	X	
3' x 6'	SLIDING GLASS DOOR	LIVING ROOM, DINING ROOM		X
2' x 6'	CLOSET SLIDING DOORS	CLOSET#6	X	
1'11" x 6'	CLOSET SLIDING DOORS	PURNAE	X	
3' x 6'	CLOSET SLIDING DOORS	H.CLOSET		X
2'10" x 6'	CLOSET SLIDING DOORS	CLOSET#4		X
2'1" x 6'	CLOSET SLIDING DOORS	CLOSET#2	X	

SIZE	DESCRIPTION & LOCATION	FRAME	

NEW/FITTURE	LOCATION	MANUFACTURER & MODEL #	COLOR	QTY.	FAUCET/FITTING
		OWNER TO SELECT, CONTRACTOR TO PROVIDE ALLOWANCE AND INSTALL	PER OWNER		PER OWNER
KITCHEN SINK					
VEGETABLE SINK					
BAR SINK					
LAUNDRY SINK					
SINK					
BATHROOM SINK					
BATHROOM SINK					
BATHROOM SINK					
BATHROOM SINK					
BATHTUB					
BATHTUB					
TUB/SHOWER					
TUB/SHOWER					
SHOWER					
SHOWER					
WATER CLOSET					
WATER CLOSET					
WATER CLOSET					

DESCRIPTION	LOCATION	MANUFACTURER & MODEL #	LAMP TYPE	QTY.	FAUSETTS/FITTINGS
SWITCHES		OWNER TO SELECT, CONTRACTOR TO PROVIDE ALLOWANCE AND INSTALL.			
SWITCHES					
PLUGS					
PLUGS					
RECESSED FIXTURE					
RECESSED FIXTURE					
RECESSED FIXTURE					
RECESSED FLUORESCENT					
FLUORESCENT FIXTURE					
TRACK LIGHT					
FLOOD LIGHT					
HEAT LAMP					
HEAT FAN					
EXHAUST FAN					
ALARM SYSTEM					
INTERCOM SYSTEM					

[illegible]

1	Placing submitter 11/16/2020
2	PLACING RESUBMITAL 4/1/2021

[illegible]

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07/26/2021	SHEET
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