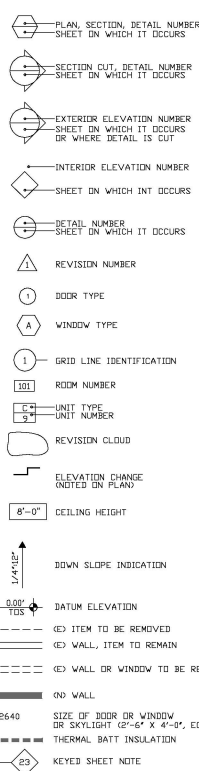


@	AT
#	NUMBER
X < Y	"X" IS LESS THAN "Y"
A > B	"A" IS GREATER THAN "B"

	B	AT	HC	HANDICAP	HOLLOW CORE, OR
		AS		HIDE	HIDE
X	Y	"X" IS LESS THAN "Y"		HIDE CABINET	
A	B	"A" IS GREATER THAN "B"		HEAD	
			HDW	HARDWARE	
A9		ANCHOR BOLT	HT	HEIGHT	
ACC		AIR CONDITIONER	HW	HOLLOW METAL	
ACD		ACCESSIBLE	HP	HEAT PUMP	
ADUS		ADJUSTABLE	HERIZ	HORIZONTAL	
ADJ		ADJUSTABLE OR ADJACENT	HR	HOUR	
ALUM		ALUMINUM			
AND		AND/USED	ID	INSIDE DIAMETER	
APPROX		APPROXIMATE	INSUL	INSULATION	
AS		ABOVE SUBFLOOR	INT	INTERIOR	
AS		ABOVE SLAB	JT	JANITOR	
AMSL		ABOVE MEAN SEA LEVEL	JT	JOINT OR JOINT TRENCH	
BD		BOARD	L	LINEN CLOSET	
BI		BUILT IN	L	LABORATORY	
BLDG		BUILDING	LAM	LAMINATE	
BLK		BLACK	LAB	LAVATORY	
BLKG		BLOCKING	LG	LIGHT	
BLM		BLIND	L	LG	LIGHT WEIGHT
BT		BOTTOM			
BUR		BUILT-UP ROOF			
			M	MICROWAVE	
			MAX	MAXIMUM	
C		CONTRACT CAR PARKING SPACE	MC	MEDICINE CABINET	
CAB		CABINET	MECH	MECHANICAL	
CATCH		CATCH BASIN	MEMB	MEMBRANE	
CER		CERAMIC	MFR	MANUFACTURER	
CFCI		CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	MH	MANHOLE	
CFUI		CONTRACTOR FURNISHED, OWNER INSTALLED	MN	MINIMUM	
CL		CLEARANCE	MESC	MISCELLANEOUS	
CLG		CEILING	MGG	MOLDING	
CLGK		CEILING	MO	MASONRY OPENING	
CLG		CEILING	MO	MOUNTED	
CMU		CONCRETE MASONRY UNIT	MTL	METAL	
CN		CLEAN OUT	MLL	MULLION	
COL		COLUMN			
CON		CONCRETE	N	NORTH	
CONT		CONTINUOUS	NO	NOT APPLICABLE	
CT		CODKTOP OR CERAMIC TILE	NA	NOT AVAILABLE	
			NIC	NOT IN CONTRACT	
			NOM	NOMINAL	
			NR	NON-RATED	
			NSF	NET SQUARE FEET	
			NTS	NOT TO SCALE	
D		DRYER	O	OVEN	
DBL		DOUBLE	DA	OVERALL	
DEPT		DEPARTMENT	DN	DOWN	
DG		DEGREE	DD	OUTSIDE DIAMETER OR	
DH		DOOR HEADER	DD	OVERFLOW DRAIN	
DR		DRINKING FOUNTAIN OR	DF	OVERFLOW	
DR		DOUGLAS FIR	DF	OWNER FURNISHED, CONTRACTOR INSTALLED	
DIA		DIAMETER	DF	OWNER FURNISHED, OWNER INSTALLED	
DIM		DIMENSION	DF	OFFICE	
DISP		DISPENSER	DLF	OCCUPANT LOAD	
DIS		DOUBLE OVEN	DLP	OCCUPANT LOAD FACTOR	
DR		DRAIN	DLP	OPENING	
DR		DRAIN	DH	OVERHANG	
DS		DOWNSPOUT	DH	OVERHEAD	
DS		DRY STAND PIPE	DPP	DEPOSIT	
DW		DWELLING UNIT	DPP	OPERABLE	
DW		DISHWASHER			
DWG		DRAWING			
DWR		DRAWER			
(E)		EXISTING	P	POLE OR PANTRY	
EA		EACH	P & S	POLE & S	
EF		EXHAUST FAN	PB	PARTICLE BOARD	
EFC		EXHAUSTION JOINT	P	PROPERTY LINE	
EFC		ELECTRICAL METER	PL	PLASTIC LAMINATE	
EV		ELEVATION	PLWD	PLYWOOD	
EMER		EMERGENCY	PL	PAIR	
EMER		EMERGENCY	PT	POINT, PRESSURE	
ENG		ENGINEER	PTD	TREATED OR POST TENSIONED	
EP		ELECTRICAL PANEL	PT	PAPER TOWEL DISPENSER	
EQ		EQUAL	PTN	PARTITION	
EQPT		EQUIPMENT	PU	PUBLIC UTILITIES EASEMENT	
EXP		ELECTRIC WATER COOLER	PN	PLUMBING WALL	
EXT		EXTERIOR	QT	QUARRY TILE	
			R	RISER	
F		FURNACE	RG	REMODEL OR REPLACEMENT	
FAU		FORCED AIR UNIT	RA	RADIUS	
F		FLOOR AREA RATIO	RG	RETURN AIR GRILLE	
F		FLOOR DRAIN	RD	ROOF DRAIN	
F		FIRE DEPARTMENT CONNECTION	REF	REFRIGERATOR	
FIN		FOUNDATION	R/RT	REFRIGERATOR/REEZER	
FEC		FIRE EXTINGUISHER	REIN	REINFORCEMENT	
FEC		FIRE EXTINGUISHER CABINET	REV	REQUIRED	
F		FISHED FLOOR	RESIL	RESILIENT	
FHC		FIRE KIOSK CABINET	REV	REVISION	
FIN		FINISH	RFL	RESILIENT FLOORING	
FL		FLOOR	RFB	ROOFING OPENING	
FLUOR		FLUORESCENT	RT	RIGHT OF WAY	
FLC		FLOOR OF CONCRETE	RWL	RAIN WATER LEADER	
FD		FACE OF FINISH			
FS		FACE OF STUD			
F		FIRE			
F		FIREPLACE			
F		FRIDGE			
FRF		FROST-PROOF			
FT		FOOT OR FEET	S	SOUTH OR SHELVE	
FTG		FOOTING	S & P	SHELF AND POLE	
			SB	SASH BLIND	
			SC	SOLID CORE	
			SCD	SEE CIVIL DRAWINGS	
			SCHED	SCHEDULE	
G		GAS	SD	SMOKE DETECTOR	
GALV		GALVANIZED	SR	OR SOAP DISPENSER	
GC		GENERAL CONTRACTOR	SH	SQUARE FEET OR FOOT	
GD		GARAGE DISPOSAL	SHR	SHAP HOOKER	
GIE		GIOULE EARTH	SH	SHOWER	
GL		GLASS	SHT	SHEET	
GM		GAS METER	SHG	SHEATHING	
GR		GRADE	SH	SIMILAR	
OSM		GALVANIZED SHEET METAL	SL	SLIDING	
DYP BD		GYPSUM BOARD	SND	SANITARY NAPKIN	
			DISPENSER		
			SUB	SUBCONTRACTOR	
			SUBFL	SUBFLOOR	

PLAN, SECTION, DET.

SHEET ON WHICH IT



PROJECT COMMON ADDRESS:
1621 CUNNINGHAM

PROJECT COMMON ADDRESS
1621 DUNNINGHAM
SANTA CLARA, CA
APN 264-17-026

ZONING R1-6L, SINGLE FAMILY RES.
VR. BUILD 1991

LOT = 66' X 95' = 6270 SF
MAX. COVERAGE = 4 X LOT = 2508 SF
FRONT SETBACK = 20 FT.
SIDE SETBACK = 11 FT.
REAR SETBACK = 20 FT.
MAX. WLT. = 25 FT.
(C) PARKING & GARAGE SPACES, SIDE-BY-SIDE

EXISTING FLOOR AREAS:

LIVING = 1373 SF (ORIGINALLY PERMITTED)
GARAGE = 2608 SF
REAR ROOM = 287 SF (UNPERMITTED, TO BE REMOVED)
SUN ROOM / POOL = 212 SF (UNPERMITTED, UNCONDITIONED, TO BE REMOVED)

OTHER:

FRONT PORCH TO REMAIN = 125 SF (FULL OVERHANG, COUNTS TOWARDS COVERAGE)

EXISTING FLOOR AREAS:

LIVING = 1373 SF (ORIGINALLY PERMITTED)

PROPOSED FLOOR AREAS (STAIR COUNTED INCE):

GARAGE TAKE-AWAY = 11 SF
1ST FLOOR REAR ADDITION = 638 SF
2ND STORY = 280 SF

TOTAL NEW CONDITIONED LIVING = 1218 SF

FINAL PRODUCT FLOOR AREAS:

1ST FLOOR LIVING = 1373 + 11 + 638 = 2022 SF
2ND FLOOR LIVING = 280 SF
GARAGE = 267 SF

TOTAL LIVING = 2060 SF
TOTAL RESIDENCE = 2959 SF

PROPOSED LOT COVERAGE = 11 + 357 + 1373 + 638 + 125 = 2504 SF < 2508, OK



PROJECT DIRECTORY		
OWNERSHIP	LARRY TSAI	T: 408.828.8430
DESIGNER/BUILDER	SOD	DREN DAGAN, CEO MIKA KODHAVI, DESIGNER T: 800.401.3220 (DREN?)
ARCHITECT OF RECORD	BAUKUNST	MARK BUCCIARELLI, AIA (C 2315) T: 650.455.3207 E: baukunst2000@yahoo.com YouTube: baukunst2000
STRUCTURAL	NY ENGINEERING	NILGUN VOLPE, PE T: 415.568.1270 E: nyengineering@nbcglobal.net
TITLE 24 (ENERGY)	CARSTAIRS ENERGY	TIM CARSTAIRS ONLINE

OCCUPANCY: R-3/U (GARAGE)
CONSTRUCTION TYPE: V-B
DLF = 200

NEW NFPA 13D
BY SC FIRE

NEW NFPA 13D FIRE SPRINKLERS IF REQD
BY SC FIRE

(4) BEDROOMS - NATURAL
(1) BEDROOM RETREAT ADJACENT TO BED 1
(1) OFFICE AT 2ND FLOOR

(4) BEDROOMS - NATURAL
(1) BEDROOM RETREAT ADJACENT TO BED 1
(1) OFFICE AT 2ND FLOOR
6 TOTAL ROOMS COUNTED AS BEDROOMS

EXISTING GARAGE IS 18'X18' NOMINAL.
PARKING EXCEPTION REQUESTED W/
IN LIEU FEE AS REQUIRED BY CITY AS

EXISTING GARAGE IS 18'X18' NOMINAL.
PARKING EXCEPTION REQUESTED W/
IN LIEU FEE AS REQUIRED BY CITY AS
PART OF D.R. PROCESS.

SINCE NEW AREA EXCEEDS 500 SF,
SCHOOL FEES REQUIRED

SINCE NEW AREA EXCEEDS 500 SF,
SCHOOL FEES REQUIRED

a. Applications for which no permit is issued within 180 days following the date of application shall automatically expire, per CRC R105.3.2.

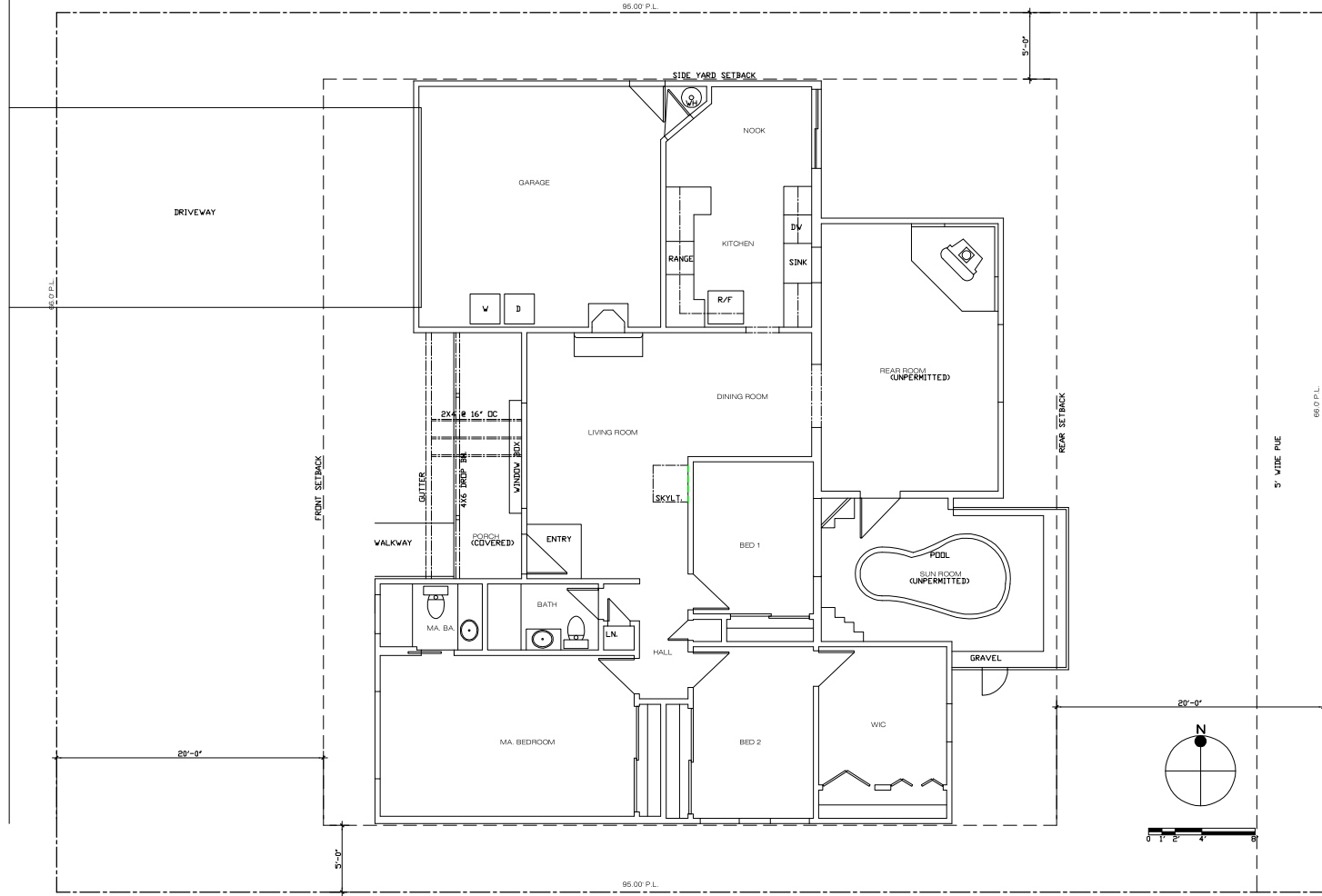
a. Applications for which no permit is issued within 180 days following the date of application shall automatically expire, per CRC R105.32.

b. Every permit issued shall become invalid unless work authorized is commenced within 180 days of the date of issuance or the permit is abandoned for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an affidavit of the permittee is received by the Department of Environmental Protection Official. No more than 180 days extension may be granted. Permits which have expired shall be subject to reactive fees. The reactive fee shall be the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reactive fee shall be \$1000 per 1000 gallons of storage capacity. CRC R105.32.

5/20/21 ISSUED TO SOD FOR OWNER REVIEW PRIOR
TO SUBMISSION TO CITY FOR DESIGN REVIEW
PROCESS

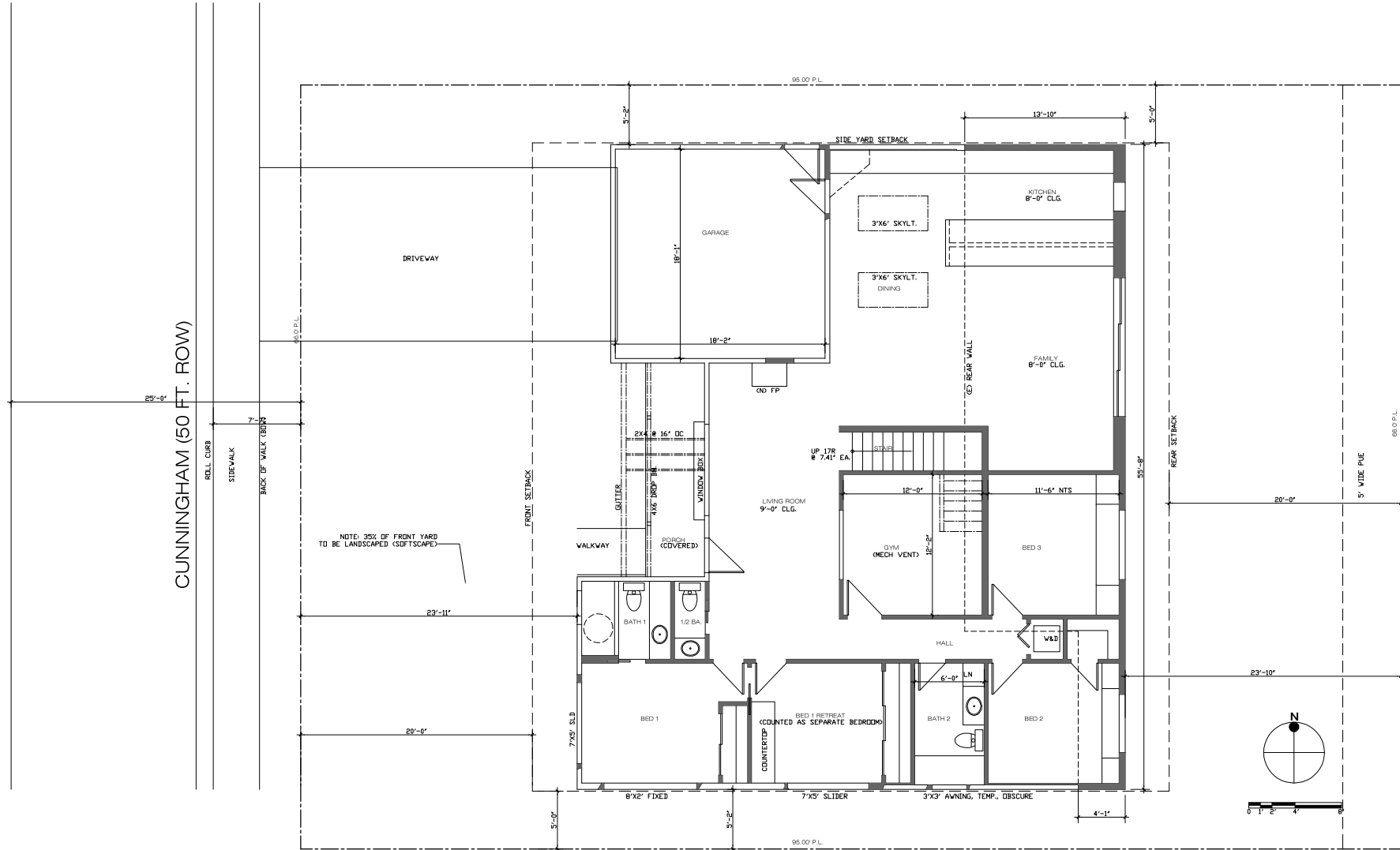
5/20/21	ISSUED TO SOD FOR OWNER REVIEW PRIOR TO SUBMISSION TO CITY FOR DESIGN REVIEW PROCESS
7/15/21	PLANNING D.R. SUBMITTAL
9/27/21	PLANNING SUB. FOR 10/20 OR 11/3 HEARING
10/6/21	PLANNING SUB. FOR 11/3 HEARING

CUNNINGHAM (50 FT. ROW)



(E) / DEMO FLOOR / SITE PLAN

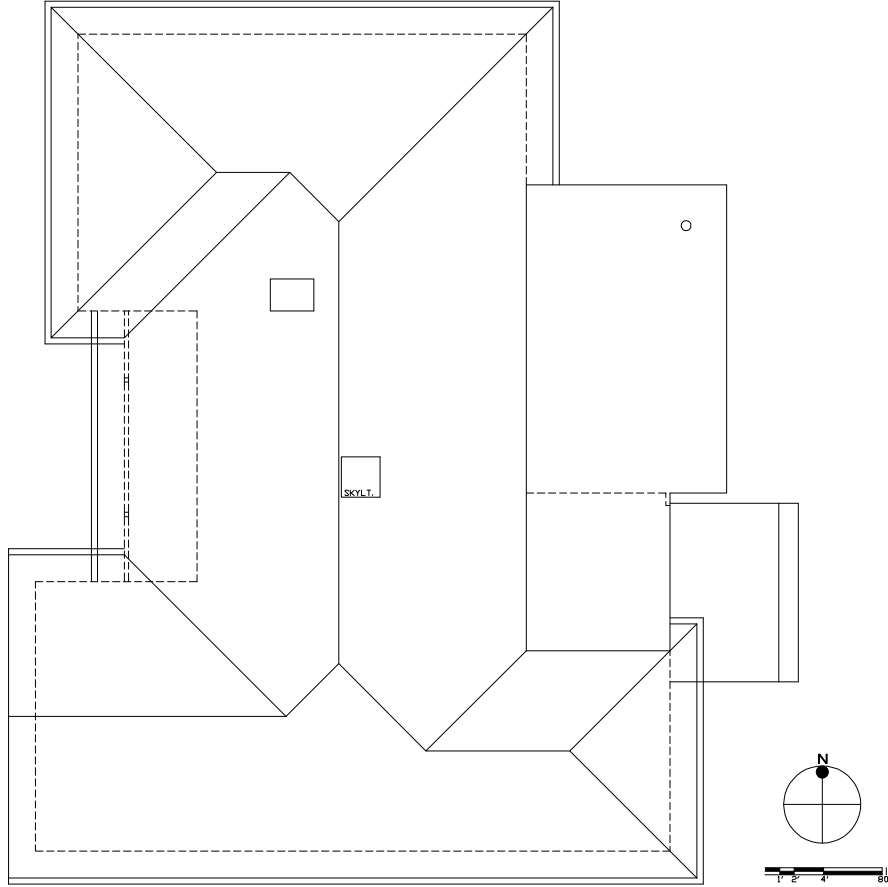
DATE	
DESIGNED FOR	
REGISTERED ARCHITECT BAUKUNST No. C-23159 3/31/23 Renewal Date	
STATE OF CALIFORNIA	
COPYRIGHT 2000 - Baukunst This drawing is the sole property of the architect and may not be reproduced or used in whole or in part without the written consent of the architect. All project information is derived exclusively from the specific project owner.	
1621 CUNNINGHAM SANTA CLARA, CA	
A2.1	



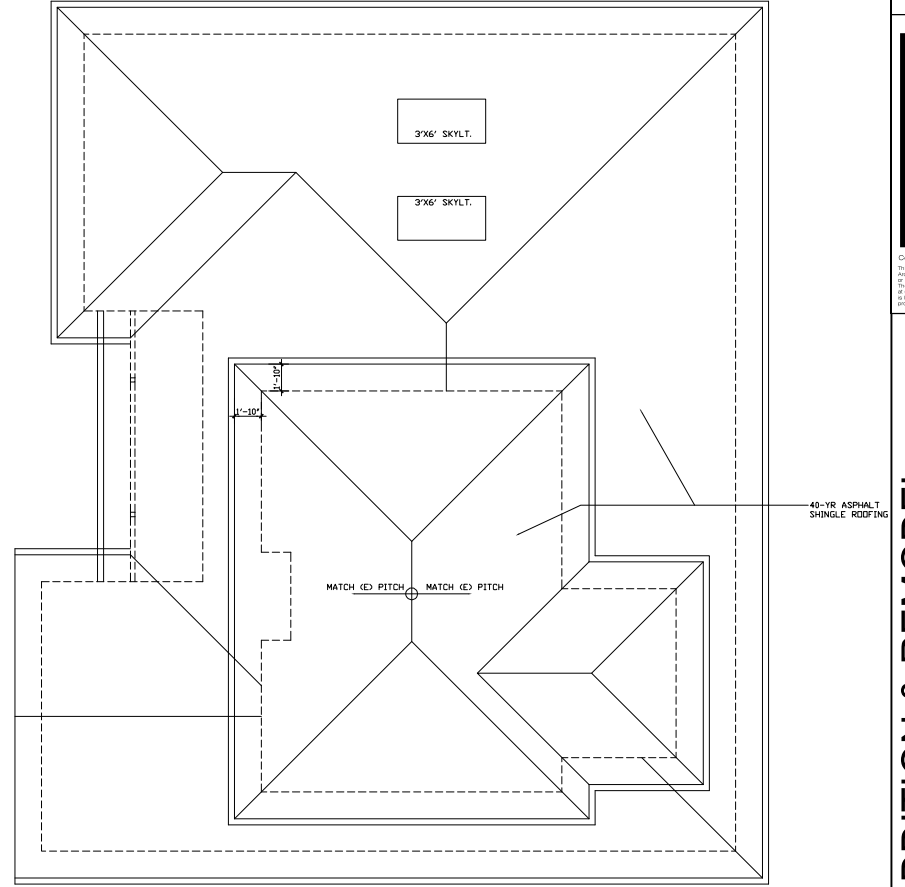
PROPOSED 1ST FLOOR / SITE PLAN

ADDITION & REMODEL 1621 CUNNINGHAM SANTA CLARA, CA		DATE DESIGNED FOR APPROVED ARCHITECT BAUKNST Copyright 2000 - Baukunst This drawing is the sole property of the architect and may not be reproduced, copied, or used in any manner without the written consent of the architect. All rights reserved. All project additions from this drawing are deemed proprietary to the architect.
A2.2	1/4" = 1'-0"	50' Fullerton Avenue, Daly City, CA 94015 T: 650.455.1307 F: 650.455.1308 E: baukunst@baungkst.com You Tube: baukunst2000





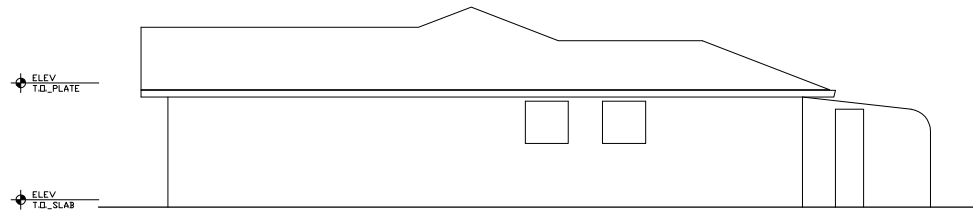
(E) / DEMO ROOF PLAN



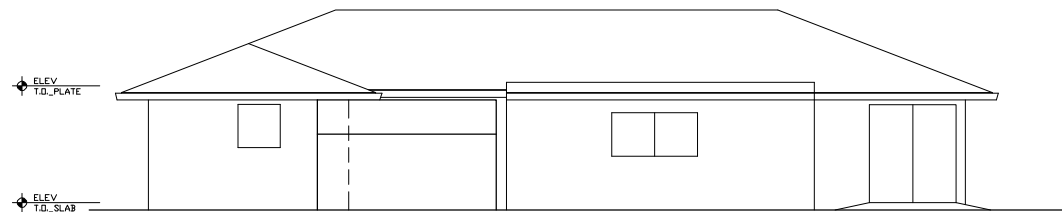
PROPOSED ROOF PLAN

DATE	
DESIGNED FOR	
BAUKUNST 557 Fairview Avenue, Daly City, CA 94015 T: 650.455.1307 E: baukunst@baukunst.com YouTube: baukunst2020	
Copyright 2020 - Baukunst This drawing is the sole property of the architect and may not be reproduced or used in whole or in part without the written consent of the architect. All project details are the property of the architect and are not to be used for any other project without the written consent of the architect.	
ADDITION & REMODEL 1621 CUNNINGHAM SANTA CLARA, CA	
+	+
+	5/8" = 1'-0"
A2.4	

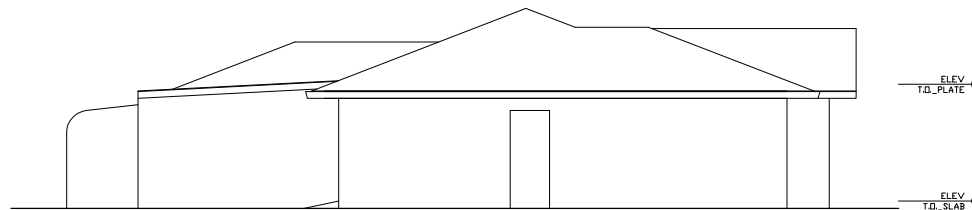
Note: If this sheet is 1/2" x 1/2" scale it is not 1/2" x 1/2"



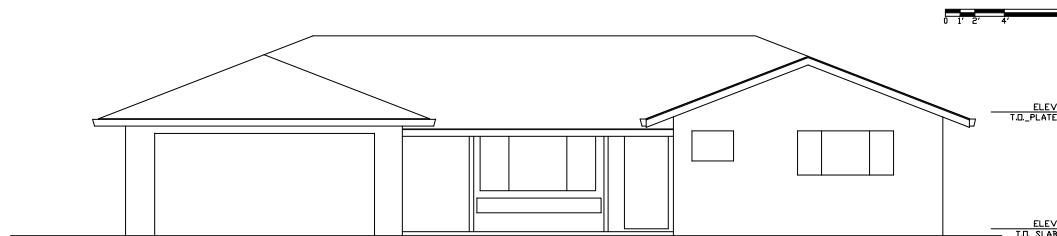
(E) / DEMO RIGHT SIDE ELEVATION



(E) / DEMO REAR ELEVATION



(E) / DEMO LEFT SIDE ELEVATION



(E) / DEMO FRONT ELEVATION

DATE

DESIGNED FOR

REGISTERED ARCHITECT

BAUKUNST

501 Fairview Avenue, Daly City, CA 94015
T: 650.455.1307
© BaukunstArchitects.com YouTube: baukunst2000

Copyright 2000 - Baukunst
This drawing is the sole property of the Architect and may not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.

ADDITION & REMODEL

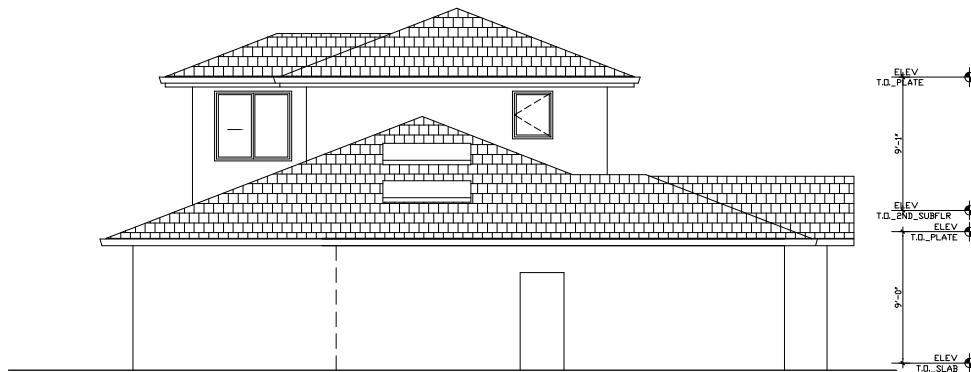
1621 CUNNINGHAM

SANTA CLARA, CA

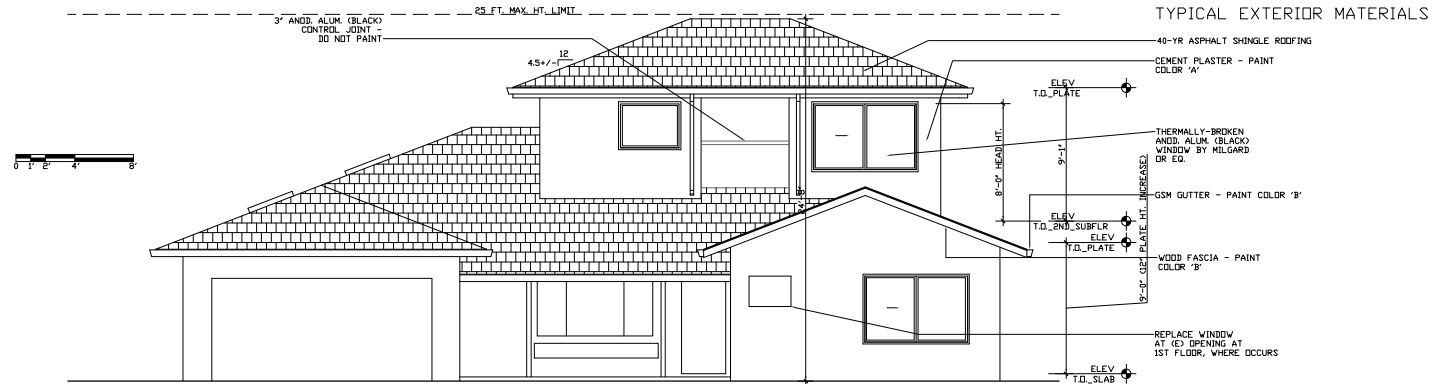
-	-	-	-
-	-	1/4" = 1'-0"	-

A3.1

Note: If this sheet is 1/2" x 12" scale it will read:



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

DATE

DESIGNED FOR
PROJECT NO.

BAUKUNST

551 Fullerton Avenue, Day City, CA 94015
 T: 855.455.1307
 E: baukunst@baungkunst.com YouTube: baukunst2020

Copyright 2020 - Baukunst

This drawing is the sole property of the architect and may not be reproduced, copied, or used in any manner without the written consent of the architect. All rights reserved. All project information from this plan is to be used exclusively for the specific project shown.

ADDITION & REMODEL

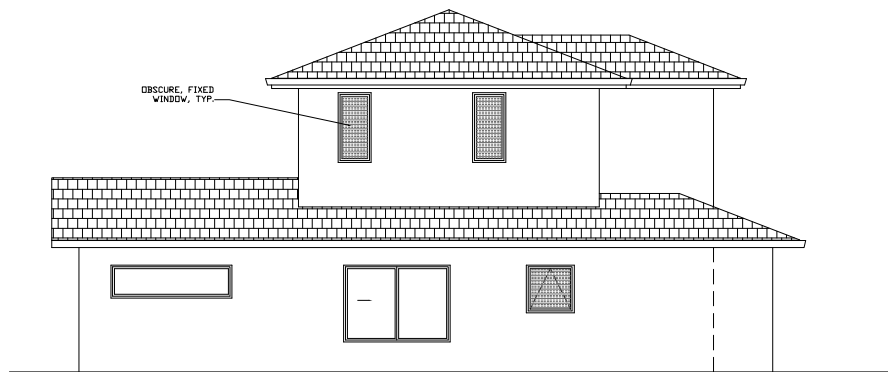
1621 CUNNINGHAM

SANTA CLARA, CA

Sheet
Scale

A3.2

Note: If this sheet is 1/2" x 12" scale it will read:

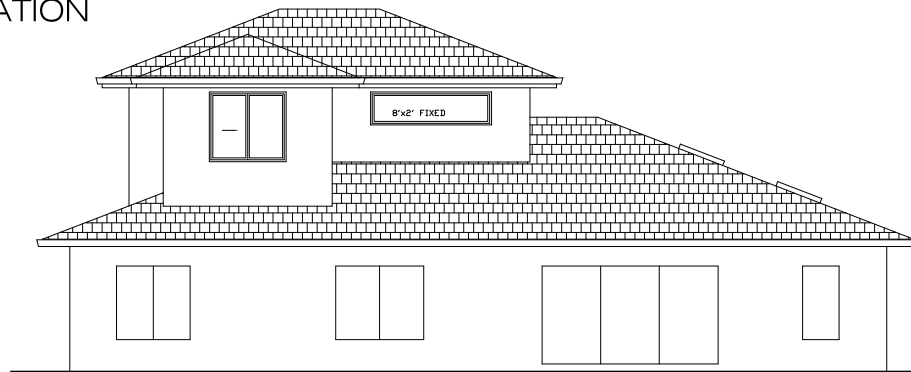


PROPOSED RIGHT SIDE ELEVATION

ELEV
T.O._PLATE

ELEV
T.O._END_SUBFLR
ELEV
T.O._PLATE

ELEV
T.O._SLAB



PROPOSED REAR ELEVATION

ELEV
T.O._PLATE

ELEV
T.O._END_SUBFLR
ELEV
T.O._PLATE

ELEV
T.O._SLAB

DATE	
DESIGNED FOR	
BAUKUNST 597 Fairview Avenue, Daly City, CA 94015 T: 650.455.1307 E: baukunst@baukunst.com YouTube: baukunst2020	
Copyright 2020 - Baukunst This drawing is the sole property of the architect and may not be reproduced or used in whole or in part without the written consent of the architect. All project details are the property of the architect and are not to be used for any other project without the written consent of the architect.	
ADDITION & REMODEL 1621 CUNNINGHAM SANTA CLARA, CA	
-	-
-	5/8" = 1'-0"
A3.3	

Note: If this sheet is 1/2" x 12" scale is 1/2" = 1'-0"