



City of Santa Clara

Meeting Agenda

Historical & Landmarks Commission

Thursday, May 2, 2024

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

The City of Santa Clara is conducting the Historical and Landmarks Commission meeting in a hybrid manner (in-person and methods for the public to participate remotely)

• Via Zoom:

o <https://santaclaraca.zoom.us/j/97233262035> or

o Phone: 1 (669) 900-6833

Webinar ID: 972 3326 2035

Public Comments prior to meeting may be submitted via email to PlanningPublicComment@santaclaraca.gov no later than noon on the day of the meeting. Clearly indicate the project address, meeting body, and meeting date in the email.

PUBLIC PARTICIPATION IN ZOOM WEBINAR:

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- The meeting will be recorded so you must choose 'continue' to accept and stay in the meeting.
- If there is an option to change the phone number to your name when you enter the meeting, please do so as your name will be visible online and will be used to notify you that it is your turn to speak.
- Mute all other audio before speaking. Using multiple devices can cause an audio feedback.
- Use the raise your hand feature in Zoom when you would like to speak on an item and lower when finished speaking. Press *9 to raise your hand if you are calling in by phone only.
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CALL TO ORDER AND ROLL CALL

CONSENT CALENDAR

1. 24-454 [Historical and Landmarks Commission Meeting Minutes of April 4, 2024](#)

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of the April 4, 2024 Meeting.

PUBLIC PRESENTATIONS

[This item is reserved for persons to address the body on any matter not on the agenda that is within the subject matter jurisdiction of the body. The law does not permit action on, or extended discussion of, any item not on the agenda except under special circumstances. The governing body, or staff, may briefly respond to statements made or questions posed, and appropriate body may request staff to report back at a subsequent meeting.]

GENERAL BUSINESS

2. 24-370 [PUBLIC HEARING: Consideration of a Significant Property Alteration Permit \(PLN24-00062\) for a 266 Square-Foot Addition to a Historic Resource Inventory Property at 1176 Lincoln Street](#)

Recommendation: Staff recommends that the Historical and Landmarks Commission recommend approval of the Significant Property Alteration (SPA) Permit to the Director of Community Development for the proposed addition to the historic resource, subject to conditions of approval.

3. 24-385 [Update on 2024 Mills Act Audit](#)
4. 24-373 [HLC Workplan Fiscal Year 2024/2025](#)

Recommendation: There is no staff recommendation.

STAFF REPORT

1. Berryessa Adobe Maintenance
2. May 28, 2024 Council Meeting - Special Order of Business May Preservation Month
3. Budget Update

TRAVEL AND TRAINING REQUESTS

1. Update on California Preservation Foundation Annual Conference, May 29 - June 1, 2024

COMMISSIONERS REPORT

Subcommittee Reporting - 20 minutes

Board/Committee

Lead/Alternate

Santa Clara Arts and Historic Consortium
Historic Preservation Society of Santa Clara
Old Quad Residents Association
Development Review Hearing
BART/ High Speed Rail/ VTA BRT Committee
El Camino Real Specific Plan Community Advisory Committee
Downtown Precise Plan
Santa Clara Station Area Task Force
Park Court Neighborhood

Vargas-Smith / Romano
Vargas-Smith / Leung
Leung
Romano /Vargas-Smith
Vargas-Smith/ Leung
Leung
Vargas-Smith/Stocks
Leung/Stocks

Banner Program - update from Chair Vargas-Smith

ADJOURNMENT

The next regular scheduled meeting is June 6, 2024

MEETING DISCLOSURES

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City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

24-454

Agenda Date: 5/2/2024

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Historical and Landmarks Commission Meeting Minutes of April 4, 2024

RECOMMENDATION

Approve the Historical and Landmarks Commission Meeting Minutes of the April 4, 2024 Meeting.



City of Santa Clara

Meeting Minutes

Historical & Landmarks Commission

04/04/2024

6:00 PM

Hybrid Meeting
City Hall Council
Chambers/Virtual
1500 Warburton Avenue
Santa Clara, CA 95050

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CALL TO ORDER AND ROLL CALL

Chair Vargas-Smith called the meeting to order at 6:01 p.m.

Commissioner Kirby arrived at 6:02 p.m.

Present 6 - Commissioner Michael Celso , Commissioner Amy Kirby,
Commissioner Patricia Leung, Commissioner Ed Stocks, Chair Ana
Vargas-Smith , and Commissioner Yvonne Inciarte

Absent 1 - Vice Chair Kathleen Romano

**A motion was made by Commissioner Leung, seconded by
Commissioner Inciarte to excuse Commissioner Romano.**

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung,
Commissioner Stocks, Chair Vargas-Smith, and Commissioner
Inciarte

Absent: 1 - Vice Chair Romano

CONSENT CALENDAR

1. [24-335](#) Historical and Landmarks Commission Meeting Minutes of March 7, 2024

Recommendation: Approve the Historical and Landmarks Commission Meeting Minutes of
the March 7, 2024 Meeting.

**A motion was made by Commissioner Leung, seconded by
Commissioner Inciarte to approve Staff Recommendation.**

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung,
Commissioner Stocks, Chair Vargas-Smith, and Commissioner
Inciarte

Excused: 1 - Vice Chair Romano

PUBLIC PRESENTATIONS

None.

GENERAL BUSINESS

2. [24-312](#) Consideration of a Historical Preservation Agreement (Mills Act Contract) for 1059 Madison Street (Continued from the March 7, 2024 HLC Meeting)

Recommendation: Staff recommends that the Historical and Landmarks Commission determine the project to be exempt from CEQA pursuant to CEQA Section 1561(b)(3) and find that the Mills Act Application and associated 10-Year Plan for restoration and maintenance accomplish the intent of preserving and maintaining the historical significance of the property; and therefore, recommend City Council approval of a Mills Act Contract, and the adoption of a 10-Year Restoration and Maintenance Plan associated with the Historical Preservation Agreement for the property located at 1059 Madison Street.

Associate Planner Daniel Sobczak presented the item and answered questions by the Commissioners.

Public Speakers:

Homeowners Adalbert Wysocki and Lin Koh

A motion was made by Commissioner Leung, seconded by Commissioner Inciarte to close public hearing.

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, Chair Vargas-Smith, and Commissioner Inciarte

Excused: 1 - Vice Chair Romano

A motion was made by Commissioner Leung, seconded by Commissioner Kirby to recommend approval to Council and to approve a plaque for property.

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, Chair Vargas-Smith, and Commissioner Inciarte

Excused: 1 - Vice Chair Romano

3. [24-323](#) Action on the Request for Proposed Historic District Designation for Park Court Neighborhood

Recommendation: Recommend that the Commission hear testimony, discuss, and take action to demonstrate support of the neighborhood's request.

Public Speakers:

Mark Hoag

Mark Kelsey

A motion was made by Commissioner Leung, seconded by Commissioner Inciarte, to close public hearing.

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, Chair Vargas-Smith, and Commissioner Inciarte

Excused: 1 - Vice Chair Romano

A motion was made by Commissioner Leung, seconded by Commissioner Inciarte to create subcommittee to draft memo to support effort to establish historic district.

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, Chair Vargas-Smith, and Commissioner Inciarte

Excused: 1 - Vice Chair Romano

4. [24-351](#) Historical Preservation Month Banners Project Funding

Recommendation: There is no staff recommendation.

Chair Vargas-Smith provided updates on the banner project and that an alternate printer was necessary to complete the project. The approved budget included design, printing and installation for a total of \$2,300. The preferred printer would increase the cost of the banner project by \$389 to a total of \$2,689.

A motion was made by Commissioner Leung to increase the budget for the banner project to \$2,689, seconded by Commissioner Kirby.

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, Chair Vargas-Smith, and Commissioner Inciarte

Excused: 1 - Vice Chair Romano

STAFF REPORT

Berryessa Adobe Maintenance

No staff update provided.

Budget Update

Staff provided budget updates.

TRAVEL AND TRAINING REQUESTS

Update on California Preservation Foundation Annual Conference, May 29 - June 1, 2024

Chair Vargas-Smith informed commissioners attending CPF conference that certain events are not included in the registration. Staff described the daily events, emphasizing that the paid registration covered events for two days, while the other two days had events that were not included in the registration. Commissioners will update staff regarding travel plans.

COMMISSIONERS REPORT

Subcommittee Reporting - 20 minutes

Commissioners provided updates on various items, meetings, and groups that they are involved with.

Board/Committee**Lead/Alternate**

Santa Clara Arts and Historic Consortium
Historic Preservation Society of Santa Clara
Old Quad Residents Association
Development Review Hearing
BART/ High Speed Rail/ VTA BRT Committee
El Camino Real Specific Plan Community Advisory Committee
Downtown Precise Plan
Santa Clara Station Area Task Force

Announcements and other items

Vargas-Smith / Romano
Vargas-Smith / Leung
Leung
Romano /Vargas-Smith
Vargas-Smith/ Leung
Leung
Vargas-Smith/Stocks
Leung/Stocks

No announcements.

ADJOURNMENT

The meeting adjourned at 7:46 p.m.

Motion to adjourn was made by Commissioner Leung, seconded by Commissioner Inciarte.

Aye: 6 - Commissioner Celso, Commissioner Kirby, Commissioner Leung, Commissioner Stocks, Chair Vargas-Smith, and Commissioner Inciarte

Excused: 1 - Vice Chair Romano

The next regular scheduled meeting is Thursday, May 2, 2024 at 6 p.m.

MEETING DISCLOSURES

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Agenda Report

24-370

Agenda Date: 5/2/2024

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

PUBLIC HEARING: Consideration of a Significant Property Alteration Permit (PLN24-00062) for a 266 Square-Foot Addition to a Historic Resource Inventory Property at 1176 Lincoln Street

BACKGROUND

The 6,260 square-foot subject property is located on the southwest corner of Fremont Street and Lincoln Street and includes a 786 square-foot two-bedroom, one and a half-bathroom one-story residence constructed in 1923 in the California Bungalow architectural style. The property has a 218 square foot detached one-car garage that appears to have been constructed concurrent with the house. The subject property was added as a historic resource to the City's Historic Resource Inventory (HRI) and entered into a Mills Act Contract in 2020.

In accordance with Chapter 18.130.050 of the Santa Clara City Code, the project is before the Historical and Landmarks Commission (HLC) for a recommendation to the Director of Community Development for the proposed Major Significant Property Alteration (SPA) Permit to add habitable square footage to the rear of the existing two-bedroom, one and a half-bathroom main residence resulting in a three-bedroom, two-bathroom one-story single-family residence.

DISCUSSION

The applicant proposes a single-story addition to the rear of the historic main residence. The rear wall of the existing residence will be modified for the expanded functions that are associated with the addition. The proposed addition continues the box-shaped layout of the original house with walls and roof aligned to the existing. The proposed addition will provide a slight differentiation from the historic residence using siding of a different dimension, either five-inch or six-inch exposure as opposed to the existing four-inch exposure for the redwood siding. Composition roofing over the addition will also have a different shade of color to provide differentiation from the existing roof. The proposed window treatment matches that of the existing house.

As the historic property is under a Mills Act Contract, the owners have completed some of the work in accordance with their ten-year restoration plan. This work includes replacing the flooring inside the entire residence, improving electrical and plumbing service in multiple rooms, landscaping the front yard with drought tolerant plants, repairing the drainage spouts, and repairing several windows. The next tasks the owners plan to complete are fixing the dry rot, painting the exterior walls, and replacing the existing driveway.

Whenever additions are proposed to HRI properties required findings are necessary for approval of the SPA. Pursuant to SCCC Section 18.130.050(D), a decision to approve, approve with changes, and/or conditions, or deny the application for the SPA Permit shall be based upon the following findings:

- 1) The alterations shall be designed to the essential character, features, and defining elements that make the HRI property significant;
- 2) The project proposal shall not have a significant adverse effect on the integrity of the HRI property;
- 3) The alterations must be compatible with the existing structure or district; and
- 4) The alterations must be consistent with the Secretary of the Interior's Treatment Standards.

Conclusion

The proposed addition to the HRI property meets the finding that the alterations are consistent with the Secretary of Interior's Treatment Standards (Attachment 2). A Secretary of the Interior's Standards Review was prepared by Marvin Bamburg of MBA Architects to analyze the proposed project. The report concludes, and staff concurs, that the proposed additions to the main residence adhere to the Secretary of the Interior's Standards for Rehabilitation in that the addition will not destroy historic materials, features, and spatial relationships that characterize the property. The proposed addition is to the rear of the property and does not change the existing front façade. The proposed alterations would be compatible with the historic materials, features, size, scale, proportion, and massing to the protect the integrity of the property and its environment.

ENVIRONMENTAL REVIEW

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15301 - Existing Facilities, in that the project is limited to an addition to a historic single-family residence.

PUBLIC CONTACT

Public contact was made by posting the Historical Development Review Hearing agenda on the City's official-notice bulletin board outside City Hall Council Chambers. A complete agenda packet is available on the City's website and in the City Clerk's Office. A hard copy of any agenda report may be requested by contacting the City Clerk's Office at (408) 615-2220, email clerk@santaclaraca.gov or at the public information desk at any City of Santa Clara public library.

A public hearing notice was mailed to property owners within a 300-foot radius of the project site on April 18, 2024. As of the writing of this report, planning staff has not received public comments for this application.

RECOMMENDATION

Staff recommends that the Historical and Landmarks Commission recommend approval of the Significant Property Alteration (SPA) Permit to the Director of Community Development for the proposed addition to the historic resource, subject to conditions of approval.

Prepared by: Tiffany Vien, Associate Planner

Reviewed by: Sheldon Ah Sing, Development Review Officer

Approved by: Lesley Xavier, Planning Manager

ATTACHMENTS

1. Development Plans
2. Secretary of the Interior's Standards Review

- 3. Ten-Year Restoration Plan
- 4. Historic Survey
- 5. Conditions of Approval

SANTA CLARA, CA 95050

| | |
|---------------------------|---|
| ASSESSOR'S PARCEL NUMBER: | 269-12-041 |
| PROJECT TYPE: | ADDITION AND REMODEL |
| PROJECT LOCATION: | 1176 LINCOLN ST, SANTA CLARA, CA 95050 |
| ZONING: | RESIDENTIAL R-36SD |
| OCCUPANCY GROUP: | R-3IU |
| CONSTRUCTION TYPE: | V - B |
| NUMBER OF FLOORS: | 1 |
| FIRE PROTECTION: | NO FIRE SPRINKLER |
| BEDROOM: | 3 TOTAL |
| BATHROOM: | 2 FULL BATH |
| GARAGE: | DETACHED |
| LOT AREA: | 6260 SQ.FT |

| | |
|---|--------------|
| A. CALIFORNIA RESIDENTIAL | 2022 EDITION |
| B. CALIFORNIA BUILDING | 2022 EDITION |
| C. CALIFORNIA GREEN BUILDING | 2022 EDITION |
| D. CALIFORNIA MECHANICAL | 2022 EDITION |
| E. CALIFORNIA PLUMBING | 2022 EDITION |
| F. CALIFORNIA ELECTRICAL | 2022 EDITION |
| G. CALIFORNIA ENERGY | 2022 EDITION |
| H. CALIFORNIA FIRE | 2022 EDITION |
| ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS. | 2022 EDITION |
| I. CITY OF SANTA CLARA MUNICIPAL CODE: | 2022 EDITION |

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY REFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

| | |
|-------------|--|
| OWNER: | -- 1176 LINCOLN ST. SANTA CLARA, CA 95050 TEL |
| DESIGNER: | RAMIN ZOHOOR DONE RIGHT HOME REMODELING 1625 DE LA CRUZ BLVD. #206 SANTA CLARA, CA 95050 TEL (408) 497-5071 EMAIL: ZHOORRAMIN@GMAIL.COM LIC. 1002689 |
| STRUCTURAL: | JOSE C. FERNANDEZ 8839 N CEDAR AVE. #27 FRESNO, CA 93730 TEL (408) 650-8500 EMAIL: JFPLANS@GMAIL.COM |
| BUILDER: | DONE RIGHT HOME REMODELING 1625 DE LA CRUZ BLVD. #203 SANTA CLARA, CA 95050 (408) 497-5071 LIC. 1002689 EMAIL: Donerightremodeling1@gmail.com |

| ARCHITECTURAL PLAN: | |
|---------------------|-----------------------------------|
| A-00.01: | COVER SHEET |
| A-S1: | SITE PLAN CONDITIONS |
| A-01: | FLOOR PLAN CONDITIONS |
| A-02: | ROOF PLAN CONDITIONS |
| | |
| A-03: | SCHEDULES |
| A-04: | ARCH NOTES / DETAILS |
| A-05: | ELECTRICAL PLAN SET |
| A-06: | EXISTING ELEVATIONS |
| A-07: | PROPOSED ELEVATIONS |
| A-08: | CAL GREEN CHECKLIST (SANTA CLARA) |

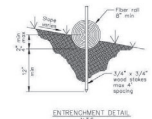
| | | |
|---------------------|-----|-----------------|
| EXISTING CONDITION: | | |
| "E" LIVING SPACE: | 786 | SQF |
| "E" GARAGE: | 218 | SQF |
| "E" FRONT PORCH: | 79 | SQF |
| NEW ADDITION | | |
| "N" ADDITION: | 266 | SQF (HABITABLE) |

- a. Applications for which no permit is issued with 180 days following the date of application shall automatically expire, per CRC R105.3.2.
- b. Every permit issued shall become invalid unless work authorized is commenced within 180 days or if the work authorized is suspended or abandoned for a period of 180 days. A successful inspection must be obtained within 180 days. A permit may be extended if a written request stating justification for extension and an extension fee is received prior to expiration of the permit and granted by the Building Official. No more than ONE extension may be granted. The extension fee shall be equal to the full permit reaction fee of approximately 50% of the original permit fee amount when the permit has been expired for up to 6 months. When a permit has been expired for a period in excess of 1 year, the reaction fee shall be approximately 100% of the original permit fee, per CRC R105.5.

OWNERSHIP:

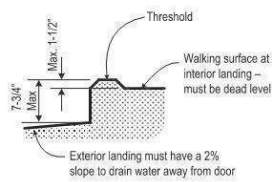
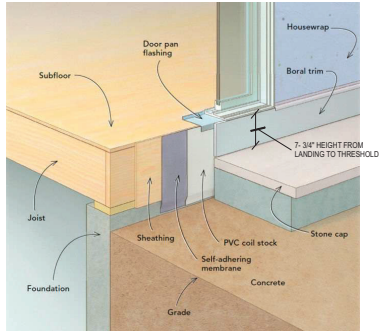
1. CONTACT PUBLIC WORKS, FOR DRAINAGE AND FINAL GRADE INSPECTION, WHICH INCLUDES DRAIN LINES AND ROOF DRAIN/DOWN SPOUTS.
2. ALL PUBLIC IMPROVEMENTS MUST BE COMPLETED PRIOR TO OCCUPANCY.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
4. THE CONTRACTOR SHALL REVIEW STD. DETAIL #4 ON TREE PROTECTION PRIOR TO ACCOMPLISHING ANY WORK OR REMOVING ANY TREES.
5. UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
6. ALL NEW ELECTRICAL SERVICE (POWER, PHONE, AND OR CABLE) SHALL BE UNDER GROUND.
7. TO INITIATE RELEASE OF BONDS, CONTACT THE PUBLIC WORKS INSPECTOR FOR FINAL INSPECTION.
8. ALL DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATIONS AND DIRECTED TO LANDSCAPE AREAS.
9. PRIOR TO BEGINNING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, THE CONTRACTOR WILL BE RESPONSIBLE FOR PULLING AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
10. PROVIDE MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE WALL, WITH EXCEPTION:
 - a. IF BUILDING SITE DOES NOT ALLOW 10 FEET OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
 - b. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MIN 2% AWAY FROM THE BUILDING.
11. (E) DRAINAGE SHALL REMAIN THROUGHOUT CONSTRUCTION.

1. A PLOT PLAN SHALL BE PREPARED DESCRIBING THE RELATIONSHIP OF PROPOSED GRADING AND UTILITY TRENCHING TO THE TREES DESIGNATED FOR PRESERVATION. CONSTRUCTION AND GRADING SHOULD NOT SIGNIFICANTLY RAISE OR LOWER THE GROUND LEVEL BENEATH TREE DRIP LINES. IF THE GROUND LEVEL IS PROPOSED FOR MODIFICATION BENEATH THE DRIP LINE, THE ARCHITECT/ARBORIST SHALL ADDRESS AND MITIGATE THE IMPACT TO THE TREES).
2. ALL TREES TO BE PRESERVED ON THE PROPERTY AND ALL TREES ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT-HIGH FENCE AROUND THE DRIP LINE, AND ARMOR AS NEEDED. THE EXTENT OF FENCING AND ARMORING SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT. THE FENCING SHALL PRECLUDE THE CUTTING OF ROOTS PRIOR TO INITIATING ANY TRENCHING WITHIN THE BARRIER APPROVAL BY STAFF WITH CONSULTATION OF AN ARBORIST SHALL BE COMPLETED.
3. TREES WHICH REQUIRE ANY DEGREE OF FILL AROUND THE NATURAL GRADE SHALL BE GUARDED BY RECOGNIZED STANDARDS OF TREE PROTECTION AND DESIGN OF TREE WELLS.
4. THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
5. FIRES FOR ANY REASON SHALL NOT BE MADE WITHIN FIFTY FEET OF ANY TREE SELECTED TO REMAIN AND SHALL BE LIMITED IN SIZE AND KEPT UNDER CONSTANT SURVEILLANCE.
6. THE GENERAL CONTRACTOR SHALL USE A TREE SERVICE LICENSE, AS DEFINED BY THE CALIFORNIA TREE SERVICE AND PROFESSIONAL CODE, TO PRUNE AND CUT OFF THE BRANCHES THAT MUST BE REMOVED DURING THE LANDSCAPE ARCHITECT/ARBORIST WITH APPROVAL OF STAFF.
7. ANY DAMAGE TO EXISTING TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY BY AN APPROVED TREE SURGEON.
8. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.
9. TREE PROTECTION REGULATIONS SHALL BE POSTED ON PROTECTIVE FENCING AROUND TREES TO BE PROTECTED.



D2

OWNERSHIP:



TYPICAL AT ALL LANDINGS: (DETAIL D1)
AT EACH LANDING FOR EXTERIOR DOOR: MINIMUM 36 INCH DEEP LANDING AND NOT MORE THAN 7-3/4 INCHES LOWER THAN THRESHOLD FOR IN-SWINGING DOOR AND NOT MORE THAN 1 1/2\"/>

ALL BATHROOMS TYP. NOTES:

* SHOWER WITH CURB

1. PROPOSED SHOWER HEAD AND CONTROL VALVE LOCATION
2. SHOWER DOOR MUST BE SIZED AND OPEN SO AS TO MAINTAIN NOT LESS THAN 22 INCHES UNOBSTRUCTED OPENING. GLASS DOORS MUST BE TEMPERED.
3. SHOWERS AND TUBS/SHOWERS ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS.
4. SHOWER AND TUBS/SHOWERS WALLS HAVE A SMOOTH, HARD, NON ABSORBENT SURFACE (E.G.) CERAMIC TILE OVER AN APPROVED MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET.
5. A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ.FT. INCHES.
6. CAPABLE OF ENCOMPASSING 30-INCH CIRCLE.
7. THE FINISHED FLOOR OF THE RECEPTOR MUST SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4\"/>

SHOWER TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE CPC A08.3

NOTE:

Salvage the existing siding from the rear elevation for reuse in patching the existing

LEGEND:

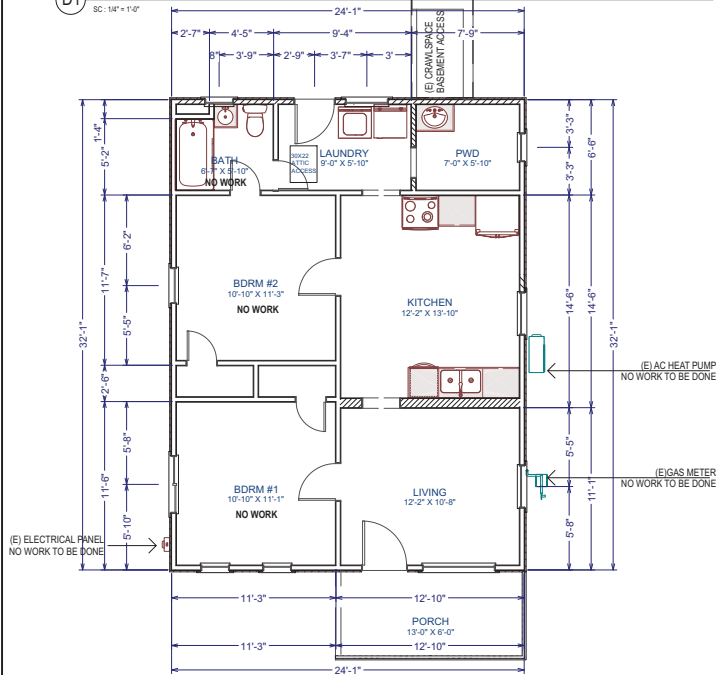
- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION WALL

GRAPHIC SCALE: 1/4\"/>



D1 DETAIL AT WALL WITH (N) LANDING TYP. ALL AROUND

SC: 1/4\"/>



HOUSE NUMBER NOTES:

EXISTING HOUSE NUMBER : APPROVED ADDRESS NUMBER SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTERS SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)

1 EXISTING FLOOR PLAN - MAIN LEVEL

SC: 1/4\"/>

MECHANICAL NOTES:

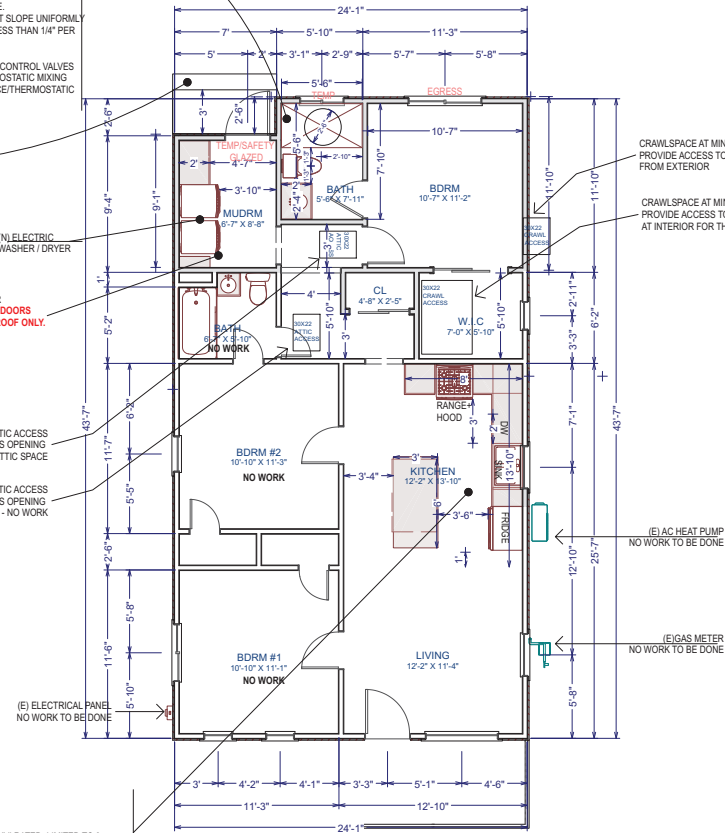
KITCHEN RANGE HOOD MUST BE HVI RATED, LIMITED TO 3 SONE, AND WITH A MINIMUM AIRFLOW AS SPECIFIED IN ASHRAE 62.2. PER ROOM 4.6.4.7, VENTED RANGE HOODS INCLUDING PER TABLE 150.0-G DWELLING UNIT WITH FLOOR AREA OF GREATER THAN 1500 AND HOOD OVER NATURAL GAS RANGE WITH 180 CFM OR 70% CE REQUIRED.

KITCHEN HOOD:
PER TABLE 150.0-G DWELLING UNIT WITH FLOOR AREA OF GREATER THAN 1500 AND HOOD OVER NATURAL GAS RANGE WITH 180 CFM OR 70% CE REQUIRED.

* VENT 3 FT AWAY FROM ANY OPENINGS

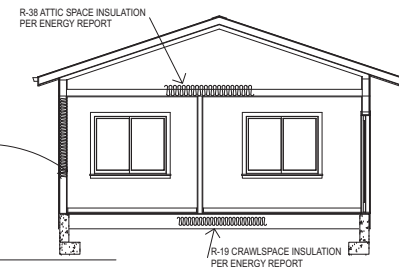
2 PROPOSED FLOOR PLAN - MAIN LEVEL

SC: 1/4\"/>



D2 ADDITION INSULATION NOTE

R-15 Wall INSULATION
PER ENERGY REPORT
TO BE INSTALLED FROM THE
INTERIOR FACE OF THE HOUSE
NO SIDING TO BE REMOVED



REMODELING FOR:

LINCOLN ST, RESIDENCE

1176 LINCOLN ST,
SANTA CLARA, CA 95050

REVISION TABLE:

| NO. | DESCRIPTION |
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DONE RIGHT HOME REMODELING

DESIGNER:
RAMIN ZOHOOOR
DONE RIGHT HOME REMODELING
1825 DE LA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408-487-5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

EXISTING FLOOR PLAN CONDITIONS

PROJECT ID :

DATE: NOV 2023

SCALE: DRAWN BY: DONE RIGHT HOME REMODEL (R2)

SHEET NUMBER:

A-01

OWNER:

Eave vents shall not be located underside of roof eave is required to be fire resistance rated.

NEW AREA CALCULATION

ATTIC VENTILATION

NEW LIVING SPACE : 266 SQ.FT (HABITABLE SPACE)

266 * 1/150 = 1.77 * 144 = 255 SQ.IN REQUIRED

(1) ROUND GABLE END VENT (19"WX19"H) - FREE NET AREA = 283

Model # GVPRO14X1401FUN

VENT MODEL : GAF MASTER FLOW (MODEL#SSB960AWFBL)

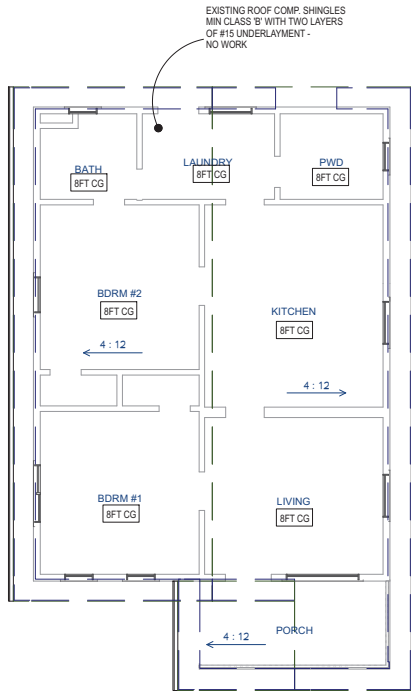
CRAWLSPACE VENTILATION

NEW LIVING SPACE : 266 SQ.FT (HABITABLE SPACE)

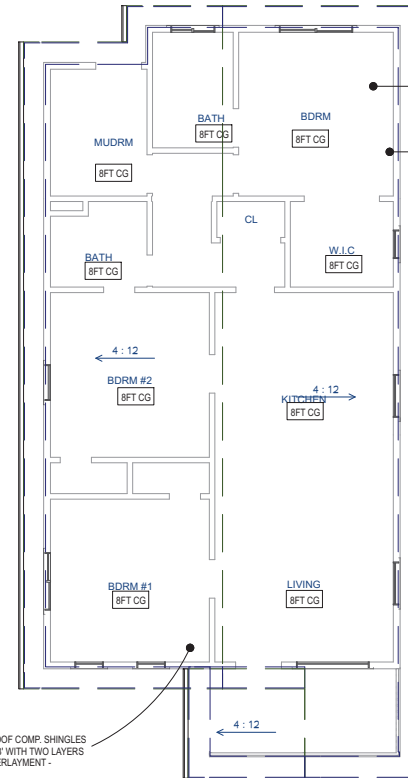
266 * 1/150 = 1.77 * 144 = 255 SQ.IN REQUIRED

FLOOR VENTS : 6X16 = 51 SQ.IN NET FREE VENT * (6) =306 SQ.IN OK

VENT MODEL : GIBRALTAR BUILDING PRODUCTS (MODEL#VD616G)



1 EXISTING ROOF PLAN - 4:12 ROOF PITCH NO CHANGE
SC : 1/4" = 1'-0"



2 PROPOSED ROOF PLAN - 4:12 ROOF PITCH TO MATCH (E)
SC : 1/4" = 1'-0"

LEGEND:

WALLS

GRAPHIC SCALE : 1/4" = 1'-0"



NORTH

REMODELING FOR:

LINCOLN ST, RESIDENCE

1176 LINCOLN ST,
SANTA CLARA, CA 95050

REVISION TABLE:

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DONE RIGHT HOME REMODELING

DESIGNER:
RAMIN ZOHOOOR
DONE RIGHT HOME REMODELING
1825 DE LA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408-487-5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

ROOF PLAN CONDITIONS

PROJECT ID : NOV 2023

DATE : NOV 2023

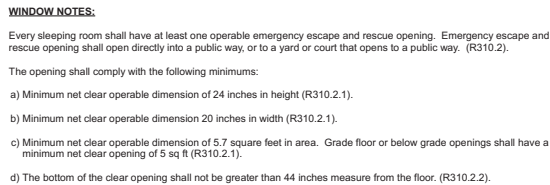
SCALE : 1/4" = 1'-0"

DRAWN BY : DONE RIGHT HOME REMODEL (RZ)

SHEET NUMBER:

A-02

OWNER'S:



PROPOSED OPENING SCHEDULES

SC : 1/4" = 1'-0"

| Window Schedule | | | | | | | | | |
|-----------------|----------|-----|---------|---------|--------|----------|---------------|----------|----------|
| Number | Label | Qty | Width | Height | Egress | Tempered | Description | Bottom | Comments |
| W01 | 111210SH | 1 | 23 1/4" | 34 1/4" | | | Single Hung | 45 3/4" | EXISTING |
| W02 | 11145SH | 2 | 23 1/4" | 53" | | | Single Hung | 27" | EXISTING |
| W03 | 211210SH | 1 | 35" | 34 1/4" | | | Single Hung | 45 3/4" | NEW |
| W04 | 21145SH | 1 | 35" | 52 3/4" | | | Single Hung | 27 1/4" | EXISTING |
| W05 | 2545SH | 1 | 29 1/4" | 53" | | | Single Hung | 27" | EXISTING |
| W06 | 3020LS | 1 | 36" | 24" | | | Left Sliding | 56" | NEW |
| W07 | 31115RS | 4 | 16" | 16 1/2" | | | Right Sliding | 66 1/2" | EXISTING |
| W08 | 5040LS | 1 | 60" | 48" | Yes | | Left Sliding | 32" | NEW |
| W09 | 5044FX | 1 | 59 1/2" | 51 1/2" | | | Fixed Glass | 28 1/2" | EXISTING |
| W10 | 1220 | 1 | 24" | 24" | | | Louvered-cd | 16 7/16" | |
| W11 | 2020 | 1 | 24" | 24" | | | Louvered | 17 3/4" | |

FLASHING WINDOW TO WALL PER MANUFACTURER

- ADHESION TO OSB CAN BE A PROBLEM IF IT IS EVEN SLIGHTLY DAMP OR DUSTY - PRIME OSB OR PLYWOOD SHEETING TO OSB WITH AN ADHESIVE IS THE BEST SOLUTION
- SHEETS TO BE INSTALLED WITH #100 VAPOR BARRIER BY PROTECTO-WRAP, SEE PROTECTO-WRAP SPECIFICATIONS
- SAMSOL SELF-ADHESING FLASHING STRIP- #100 100/400 VAPOR BARRIER, PROTECTO-WRAP, SEE PROTECTO-WRAP SPECIFICATIONS
- USE ROLLER AT ALL THRESHOLD JOINTS TO INSURE FULL ADHESION
- SILL PANEL SHALL BE COPPER OR STAINLESS STEEL AND PROVIDE SLOPE TO DRAIN TO EXTERIOR OF STRUCTURE
- SEALANTS, PERMANENT OR WITH STITCH BY SCOTCH - MORTAR, CANE THE METAL FLASHING OF OSB OR HARDWOOD
- SEALANTS -SEALANTS-SOMES SHALL BE MADE OF HIPS, POLYURETHANE, ELASTIC OR HARDWOOD
- ALL MATERIALS SUCH, BUT NOT LIMITED TO, COATINGS, FLASHING AND SEALANTS
- THAT COME INTO CONTACT WITH EACH OTHER SHALL EXHIBIT CHEMICAL COMPATIBILITY
- AND ADHESION FOR THE INTENDED PURPOSE
- ON THE INTERIOR SIDE, APPLY BACKER ROD AND A CONTINUOUS INTERIOR PERIMETER BEAD OF SEALANT OR AEROSOL, FILL SEALANT WITHOUT BACKER ROD THE JOINT
- APPLY SEALANT BACK TO FACE FROM THE CENTER OF THE JOINT
- AFTER INSTALLATION, REMOVE THE SEAL BETWEEN THE SILL OF THE WINDOW AND THE UPRIGHTS LEAD OF THE SILL PANEL AND RESEAL AS REQUIRED
- SEAL THE WINDOW SIDE AND TOP FROM THE CENTER OF THE EDGE EVERY OTHER INCH ON LARGER WINDOWS, AND A SINGLE NAIL AT THE CENTER OF THE EDGE FINISH WITH A SEALANT GRIFF AT THE BACK OF THE JOINT
- C.B.C. HOUS. CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER
- WHICH MEANS WEATHER PROOF
- FLASHING TECHNIQUES SHOWN HERE ARE RECOMMENDED, USE "WINDSTOP" FLASHING BY INTERCO, WHICH CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS
- BACK OF THE WINDOW FRAMES BEFORE SETTING, USE WINDOWS THAT ARE WATERPROOF
- CALLS FOR FLASHING AS SHOWN IN OTHER DETAILS
- INSTALLATION BY SHEET METAL CONTRACTOR
- THE WIRE, WHEN USED AS BACKING TO SUPPORT WATER - RESISTANT FLASHING PAPER OR FELT - BENEFIT LATH FOR STUCCO SHOULD BE INSTALLED ACCORDING TO NATIONAL STANDARDS ARE PRACTICE
- NO ATTACHMENT CLIPS NOR THE WIRE BACKING SHOULD COVER OR INTERFERE FLASHING MATERIAL
- PERMANENT FLASHING AT EXTERIOR

FLASHING AT WINDOW OPENINGS

1. CUT OUT FLAP & TEMPORARILY SECURE FLASHING PAPER WITH TAPE
2. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL FIRST FOLDING STRIP IN HALF
3. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF
4. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF
5. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF
6. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF
7. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF
8. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF
9. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF
10. APPLY ADHESIVE FLASHING STRIP (PERIMETER OR EQUAL) TO EXTERIOR WINDOW SILL AT WALL THRESHOLD FIRST FOLDING STRIP IN HALF

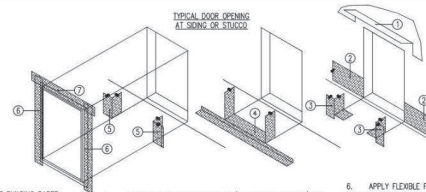
GENERAL GUIDELINES WHEN FLASHING OPENINGS

- FOR ALL FLASHING MATERIALS, FLASHING MINIMUM 3 INCHES (WHERE POSSIBLE) ALL FLAPS SHOULD BE SEAMED TOGETHER
- ADHESIVE SHOULD BE APPLIED OVER BOTTOM LAYERS ETC., MECHANICALLY FASTEN STRIPS AS NECESSARY AT JOINTS
- VERIFY MANUFACTURER LISTED COMPATIBILITY OF FLASHING STRIPS WITH THEIRS RESISTIVE BARBERS (SHIELDING PAPER, ROOFING FELT, AND ALL CALLINGS AND SEALANTS MATERIALS)


STEPS SHOWN AT TYPICAL

FLASHING AT WINDOW OPENINGS

SEALANT/N/A



1. CUT FLOOR UP TO TEMPORARILY SECURE BUSHING OR HOUSEHOLD OR FILL (AS OCCURS)
2. APPLY FLEXIBLE FLASHING STRIPS TO EXTERIOR WALL AS SHOWN. (SIZE STRIP TO RUN ENTIRE LENGTH OF DECK/ SLAB (AS OCCURS))
3. APPLY FLEXIBLE FLASHING STRIPS (BUSHING OR EQUAL) AT BOTTOM OF JAMB OPENINGS BY FIRST FLOORING STRIPS IN HALF BUSHING STRIPS, THEN GLUE STRIPS UP TO HORIZONTAL FLOOR (BUSH STRIPS). ALLOW FOR A 6" MIN. EXTENSION FROM BOTTOM OF THRESHOLD. (E) APPLY STRIP AT INSIDE OF JAMBS FIRST, THEN EXTERIOR AND AROUND AS SHOWN
4. APPLY FLEXIBLE FLASHING STRIPS (BUSHING OR EQUAL) TO THRESHOLD BY FIRST FLOORING STRIP INTO THRESHOLD AT STRIP TO THRESHOLD BY FIRST FLOORING STRIP INTO THRESHOLD (TO MATCH STEP) AT INSIDE, NEXT, STEP STRIP AT UPPER FLOOR (ALLOW FOR A MINIMUM 4" OVER LAP STEP ALREADY APPLIED AT THRESHOLD) STEP STRIP TO RUN ENTIRE LENGTH OF DECK/ SLAB (AS OCCURS).
5. APPLY FLEXIBLE FLASHING STRIPS (BUSHING OR EQUAL) TO INSIDE JAMBS AS SHOWN. (ALLOW FOR A 3" MIN. LAP STEP ALREADY APPLIED AT JAMBS)
6. APPLY FLEXIBLE FLASHING STRIPS (BUSHING OR EQUAL) TO EXTERIOR WINDOW HEAD OR EXTERIOR HEAD AS SHOWN. (IN SOME SIZING STRIPS, THERE MAY BE AN OVER LAP OF 6" MIN. OVER LAP STRIP UNFOLD BUSHING, HOUSEHOLD OR FELT (AS OCCURS) OVER FLASHING AND TAPE EDGES.
7. APPLY FLEXIBLE FLASHING STRIP (BUSHING OR EQUAL) TO EXTERIOR WINDOW HEAD OR EXTERIOR HEAD AS SHOWN. (IN SOME SIZING STRIPS, THERE MAY BE AN OVER LAP OF 6" MIN. OVER LAP STRIP UNFOLD BUSHING, HOUSEHOLD OR FELT (AS OCCURS) OVER FLASHING AND TAPE EDGES.

SEE GENERAL GUIDELINES WHEN FLASHING OPENINGS PER 

— FLASHING AT DOOR OPENINGS
SCALE: N/A

OWNERSHIP:

LIGHTING;

Electrical – Lighting:

- All installed lighting shall be high efficacy. [CNC 150.0(X)(A)]
- Under-cabinet lighting must be switched separately from other lighting. [CNC 150.0(X)(G)]

KITCHENS

Electrical – Lighting:

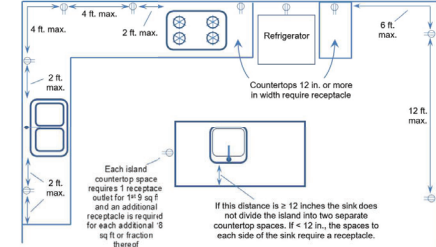
- All installed lighting shall be high efficacy. [CNC 150.0(X)(A)]
- must be switched separately from other lighting. [CNC 150.0(X)(G)]

Electrical – Branch Circuits:

- A minimum of two 20-amp small appliance branch circuits are required to serve countertop unwall receptacles in the kitchen, pantry and dining room [CEC 210.11(C)(1)]. No built-in appliances are allowed on these circuits (except an electric clock or the ignition of a gas range).
- Individual (dedicated) circuits are required for garbage disposals, microwaves, compactors, and dishwashers. [CEC210.19(A)(1)(D)]
- AFCI (arc-fault circuit-interrupter) protection is required for all 120V 15- & 20-amp branch circuits supplying kitchen outlets or devices. [CEC 210.13(A)]

Electrical – Receptacles:

- Receptacles shall be installed at each countertop space ≥ 12 in. in width. Receptacles shall be installed so that no point along the wall line is more than 24 inches horizontally from an outlet in that space [CEC 210.52(C)(1)]. The maximum spacing between receptacles, measured on the wall-countertop line, is 48 inches.



- All receptacles serving kitchen countertop surfaces shall have GFCI protection [CEC 210.8(A)(6)].
- Countertop receptacles shall not be installed in a face up position [CEC 406.5(E)]. Listed "pop-up" receptacles are allowed [CEC 210.52(C)(5)]. Receptacles or strip outlets can be installed on the underside of the cabinet above the countertop 1' within 20 inches of the countertop.
- Dishwashers require GFCI protection, including 240-volt dishwashers. [CEC 210.8(A)(7), 422.5(A)(7)]
- All GFCI device controls must be in readily accessible locations. Outlets behind a dishwasher are not readily accessible. GFCI protection can be provided by using a GFCI circuit breaker.
- All general purpose and countertop receptacles must be tamper resistant. [CEC 406.12(A)]

Page 2 of 6

- All 125-volt through 250-volt receptacles installed in kitchen countertops and within 6 ft of sink shall have ground-fault circuit-interrupter protection for personnel. [CEC210.8(A)]
- At least one receptacle required within 7 ft of the outer end of peninsula. A peninsula countertop shall be measured from the connected perpendicular wall. [CEC 210.52 (C)(2)(b)]
- Receptacles shall not be installed in a face-up position in the area below a sink [CEC 406.5(G)(2)]
- Corner sinks separate the space on each side where the distance between the corner and the sink is < 18 inches. If ≥ 18 in., the 2 ft./4 ft. rule continues behind the sink [CEC 210.52(C)(1)].



- On islands and peninsulas only, receptacles are allowed on the side of the cabinet, not more than 12 inches below the countertop and with no overlying countertop greater than 6 inches [CEC 210.52(C)(5)(a)].
- An island or peninsula is considered divided into separate countertop spaces when a sink or range is installed and does not have 12 inches of space behind it. See the diagram on page 2.
- Back-type counters are considered wall space. Wallspaces ≥ 2 ft. require receptacles so that no portion of the wall is more than 4 ft. from a receptacle outlet, measured at the floorwall line [CEC 210.52(A)(1) & (2)].
- A range hood / microwave combination can be cord-and-plug connected if the circuit is an individual (dedicated) branch circuit. The receptacle outlet shall be a single type, not a duplex receptacle but would accept two plugs [CEC 422.16(B)(4)].

Kitchen Plumbing:

- Dishwashers shall be connected with an approved drainage air gap devices located above the flood level rim of the sink [CPC 807.3].
- Newly installed kitchen faucets shall not exceed 1.8 gallons per minute [GRN 4.303.1.4.4]. All existing plumbing fixtures not included in the scope of new work shall be replaced if necessary to comply with new or existing Plumbing Fixtures Replacement requirements – See Water Conservation/Certification Form.
- A gas test is required on all piping modifications of at least 10 PSI for 15 minutes. A maximum 15 PSI gauge is required for the gas test. [CPC 1213.3].
- Gas lines that run under a slab shall run through an approved, vented, gas tight conduit. [CPC 1210.1.6]
- An accessible shut-off valve shall be installed outside each appliance and ahead of the union connected thereto and in addition to any valve on the appliance. [CPC 1212.6]
- Appliance gas flexible connectors shall be list and of minimum length but not to exceed 6 feet. [CPC 1212.3]
- All hot water pipes require insulation to be at least the thickness of the pipe diameter [CPC 605.12, 609.12.2]

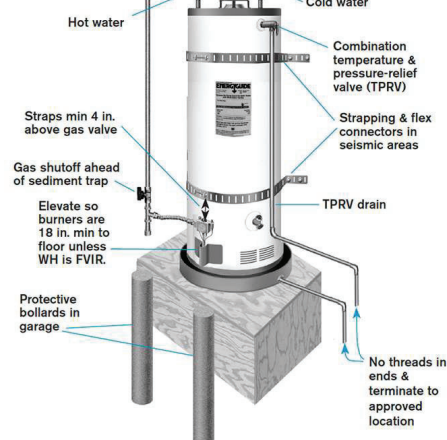
Kitchen Mechanical:

- A mechanical permit is required to replace a kitchen exhaust hood that includes an outside air vent. The vent must terminate on the building exterior at least 3 ft. from other openings into the building [CMC502.2.1].
- A mechanical exhaust directly to the outdoors shall be provided in each kitchen. Range hoods exhaust rate shall be at least 100 CFM. Mechanical exhaust fans including downdraft appliances shall have exhaust rate at least 300 CFM. [CEC 405.4, 405.4.1]
- A ducted residential exhaust hood is required and shall be constructed of metal with a smooth interior surface. Flexible (corrugated) ducting is not allowed for exhaust hoods. Provide back draft protection. [CMC 504.1.1, 504.3]
- Minimum 30" vertical clearance above cooktop surface to combustibles or metal cabinets. [CMC 922.3]

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Code Check

Water Heater in Garage



D1 - (E) WATER HEATER STRAPPING

Laundry Rooms

Electrical:

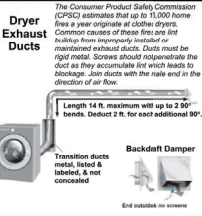
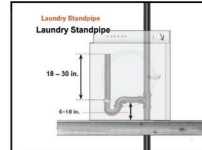
- All new or altered lighting shall be high efficacy. [CNC 150.0(X)(A)]
- At least one light shall be controlled by a vacancy sensor (a manual-on, automatic-off occupancy sensor). [CNC 150.0(X)(A)]
- All 125-volt through 250-volt receptacles in laundry areas require GFCI protection, including but not limited to the clothes washer and dryer receptacle. [CEC 210.8(A)(10)].
- All non-locking type 125-volt, 15- and 20-ampere outlets shall be listed tamper-resistant, except those with dedicated space for an appliance not easily moved from one place to another (behind clothes washer). [CEC 406.12(A)]
- A separate 20-amp circuit is required for the laundry equipment. The lights and other receptacles in the room cannot be on that circuit [CEC 210(C)(8)].
- All circuits supplying outlets or devices in the laundry area (including laundry areas in garages) must be AFCI protected [CEC210.12(A)]

Plumbing:

- Clothes washer standpipes must be 2-inch diameter. The weir of the trap must be toughed in 6 inches above the floor; the standpipe must be a minimum of 18 inches and a maximum of 30 inches above the trap [CPC 504.1].

Mechanical:

- Clothes dryers in closets require a minimum of 100 sq. in. of opening for makeup air which can be supplied by louvers or underlatching door [CMC 504.4.1].
- Dryer ducts must be smooth-walled rigid metal at least 4-inch diameter and not more than 14 feet in length. Two 90° bends are allowed within the 14 ft. run; for 90° bend in excess of two deduct 2 ft. for each 90° bend. Deduct 2 ft. for each additional bend [CMC 504.4.2.1].
- Ducts may not pass through plenums or be shared with other systems or vents. They cannot be connected with screws that penetrate duct interior [CMC 504.4].
- Dryer ducts must terminate on the building exterior in a backdraft damper. Screens or louvers cannot be installed [CMC 504.4].
- Flexible transition ducts (connectors) between the dryer and the metal ducts allowed in lengths up to 6 feet and cannot be concealed within construction [CMC 504.4.2.2 exception]. They must be UL listed and labeled (UL) as dry transition ducts, and cannot be plastic.

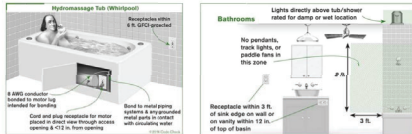


Page 6 of 6

BATHROOMS

Bath Electrical:

- All installed lighting shall be high efficacy. [CNC 150.0(X)(A)]
- At least one light shall be controlled by a vacancy sensor (a manual-on, automatic-off occupancy sensor). [CNC 150.0(X)(A)]
- Exhaust fans must be switched separate from lighting, with the exception that lighting integral to an exhaust fan can be on the same switch if the fan is controlled by a humidistat that continues its operation after the light is off.
- All receptacle outlets in bathrooms shall be GFCI protected [CEC 210.8(A)(1)].
- All receptacle outlets in bathrooms shall be tamper resistant [CEC 406.12(A)].
- When a bathtub or shower stall is in an area not technically considered a bathroom (by the definitions in the electrical code), receptacles within 5 ft. of the tub/shower stall must be GFCI-protected. [CEC210.8(A)(9)].
- A receptacle outlet is required within 3 feet of each wash basin location. It may be on the wall, or an adjacent partition, or on the face or side of the cabinet not more than 12 inches below the top of the basin [CEC 210.52(D)].
- Receptacles cannot be race-up in a vanity surface; instead pop-up receptacles are allowed [CPL 406.5(E) & 210.52(D)].
- A minimum of one 120-volt, 20-amp circuit is required for the receptacle outlet(s) within 3 ft of the outside edge of the sink basin in the bathroom(s). This circuit can share multiple bathroom receptacles within 3 ft of edge of sink basin or countertops and similar work surfaces but can have no other outlets, including lights [CEC 210.11(C)(3), 210.52(D)]. However, if a 20-amp circuit serves only one
- Bathroom lights and fans can be on the same circuit with the receptacles in that bathroom [CEC 210.11(C)(3) exception].
- Hydro-massage tubs require an individual (dedicated) branch circuit and readily accessible GFCI protection [CEC 680.71]. An access door is required and must be large enough to remove the motor and pump. Connected equipment must have the receptacle facing the opening and be no more than one foot behind the access hatch [CEC 680.73].



- Recessed light fixtures in shower enclosures must be listed for a damp or wet location [CEC 410.10(A)].
- Pendant light fixtures, track lights, and jade fans shall not be installed lower than 8 feet above the flood-level rim of a tub, including the area 3 feet past the edge of the tub [CEC 410.10(D)].
- Electrical panels shall not be installed in bathrooms [CEC 240.24(E)].
- All 125-volt through 250-volt receptacles installed in bathrooms, within 5 ft of bathtub or shower enclosures, within 6 ft of any sink, and indoor damp locations shall have ground-fault circuit-interrupter protection for personnel [CEC210.8(A)]
- Switches and receptacles are not allowed in bathtub or shower spaces. Receptacles shall not be installed within a zone measured 3 ft horizontally and 8 ft vertically from the top of the bathtub rim or shower stall threshold. This zone includes the space directly over the tub or shower stall. [CEC 404.4(A) & 406.9(C)].

Page 4 of 6

BATHROOMS (Continued)

Bathroom Plumbing, General:

- All hot water pipes require insulation thickness to be at least equal to the pipe diameter [CPC 609.12, 609.12.2]
- Newly installed plumbing fixtures shall be water-conserving in compliance with the California Plumbing Code and Green Building Standards.
 - Water closets shall not exceed 1.28 gallons per flush [CPC 411.2, CGBSC 4.303.1.1]
 - Showerheads shall not exceed 1.8 GPM at 80 psi [CPC 408.2.1, CGBSC 4.303.1.3]
 - Lavatory faucets shall not exceed 1.2 GPM at 60 PSI. [CPC 407.2.2]
 - All Existing plumbing fixtures not included in the scope of new work shall be replaced if necessary to comply with SBA07 Plumbing Fixtures Replacement requirements – See Water Conservation Certification Form.

Bathroom Plumbing, Shower:

- Shower stalls require a minimum of 1024 sq. inches and a 30" circle must fit from the back of the finished shower pan to the front of the stall [CPC 408.2.1, CGBSC 4.303.1.1].
- Safety glass (tempered or laminated) is required for all glass shower doors and partitions and for windows in walls facing the tub or shower and located less than 60 inches above the standing surface of the tub/shower and within 60 inches horizontally [CPC R308.4.1 (Y)(6)].
- Showers require a minimum 2 inch drain and trap [CPC Table 702.1].

Bathroom Plumbing, Toilets & Bidets:

- Toilets and bidets require a minimum 15 inches of clearance from the center line of the bowl to each side, and 24 inches of clearance from the front edge of the bowl [CPC 402.5].
- Lavatory sinks require a minimum of 24 inches front clearance [CPC 402.5].
- The maximum water temperature to a shower or tub/shower combination is 120°F. The water heater thermostat cannot be used as the control for this temperature. Valves shall provide scald and thermal shock protection, and be pressure-balanced, thermostatic, or combination pressure-balanced/thermostatic mixing in accordance with ASSE 1010 or ASSE A112.18.1 (CSA B125.1, [CPC 408.3.2]).

Mechanical:

- Mechanical ventilation is required in all bathrooms with tubs or showers. Operable window is not an accepted way of providing bathroom exhaust [CNC 405.3, CGBSC 4.306.1, CPC 303.3.1] The fan must move minimum 70 CFM of air and be negatively exhausted from the lighting. Fans that operate continuously can be 20 CFM. [CEC 405.3, 405.3.1] The duct must be rigid metal and less than 3 feet from openings into the building, 3 ft from a property line or 10 ft from a forced air inlet. [CMC 502.2.1]
- Bathrooms with no tub or shower (half baths) do not require mechanical ventilation if they are provided with an exhaust fan at least 3 sq. ft. half of which is operable [CPC R303.3].

Tile & Backing:

- Water-resistant gypsum board (purple board) can be used as a tile backer board in areas that are not subject to direct exposure to water or high humidity [CPC R702.3.7.1]. Examples would be a wall behind a toilet or above a vanity countertop. Purple board cannot be used in a shower for direct application of tile. It can be used in showers behind a water-resistant membrane with mortar bed and tile. Other acceptable materials for application of tile in showers include cement board, fiber-cement or glass mat gypsum backings [CPC R702.3.2].
- Bathing and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a non-slip surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. [CPC R702.2]
- See CPC 408.7 for information on lining for shower and receptors.

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REMODELING FOR:

LINCOLN ST,
RESIDENCE

1176 LINCOLN ST,
SANTA CLARA, CA 95050

REVISION TABLE:

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DONE RIGHT HOME REMODELING

DESIGNER:
RAMIN ZOHOR
DONE RIGHT HOME REMODELING
1825 DE LA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408-687-5071
EMAIL: ZHOOR@RAMIN@GMAIL.COM

SHEET TITLE:

ARCH NOTES/
DETAILS

PROJECT ID :
DATE : NOV 2023
SCALE : 1/8" = 1'
DRAWN BY : DONE RIGHT HOME REMODELING

SHEET NUMBER:

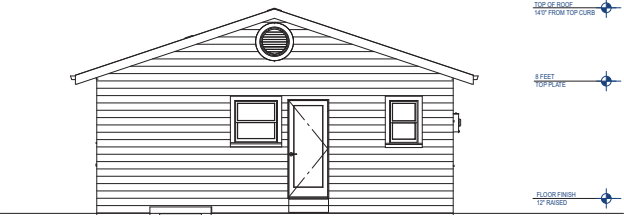
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OWNER:

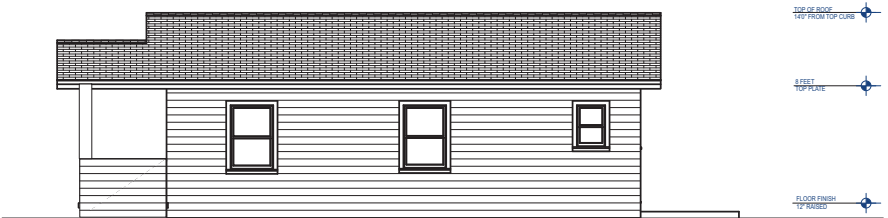
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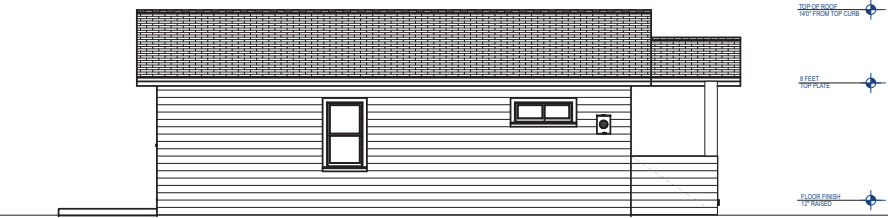
EXISTING REAR ELEVATION



EXISTING RIGHT ELEVATION



EXISTING LEFT ELEVATION



REMODELING FOR:

**LINCOLN ST,
RESIDENCE**

1176 LINCOLN ST,
SANTA CLARA, CA 95050

REVISION TABLE:

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DONE RIGHT HOME REMODELING

DESIGNER:
RAMIN ZOHOOOR
DONE RIGHT HOME REMODELING
1825 DE LA CRUZ BLVD, #206
SANTA CLARA, CA 95050
TEL: 408-487-5071
EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

**EXISTING
ELEVATION**

PROJECT ID :
DATE : NOV 2023
SCALE :
DRAWN BY : DONE RIGHT HOME REMODELING (RZ)

SHEET NUMBER:

A-06

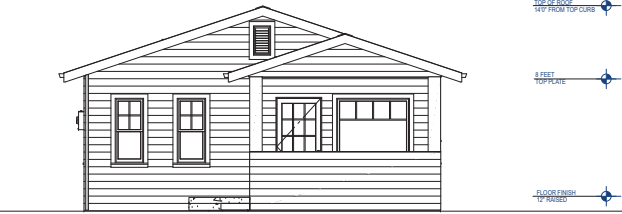
OWNERSHIP:

NEW AREA CALCULATION
ATTIC VENTILATION
NEW LIVING SPACE : 266 SQ.FT (HABITABLE SPACE)
 $266' \times 1/150 = 1.77' \times 144 = 255 \text{ SQ.IN REQUIRED}$
(1) ROUING GABLE END VENT (19"WX19"H) - FREE NET AREA = 283
Model # GVPRO14X1401FUN

VENT MODEL : GAF MASTER FLOW (MODEL#SSB960AWFBL)

CRAWLSPACE VENTILATION
NEW LIVING SPACE : 266 SQ.FT (HABITABLE SPACE)
 $266' \times 1/150 = 1.77' \times 144 = 255 \text{ SQ.IN REQUIRED}$
FLOOR VENTS : 6X16 = 51 SQ.IN NET FREE VENT * (6) = 306 SQ.IN OK

VENT MODEL : GIBRALTAR BUILDING PRODUCTS (MODEL#VD616G)



PROPOSED FRONT ELEVATION

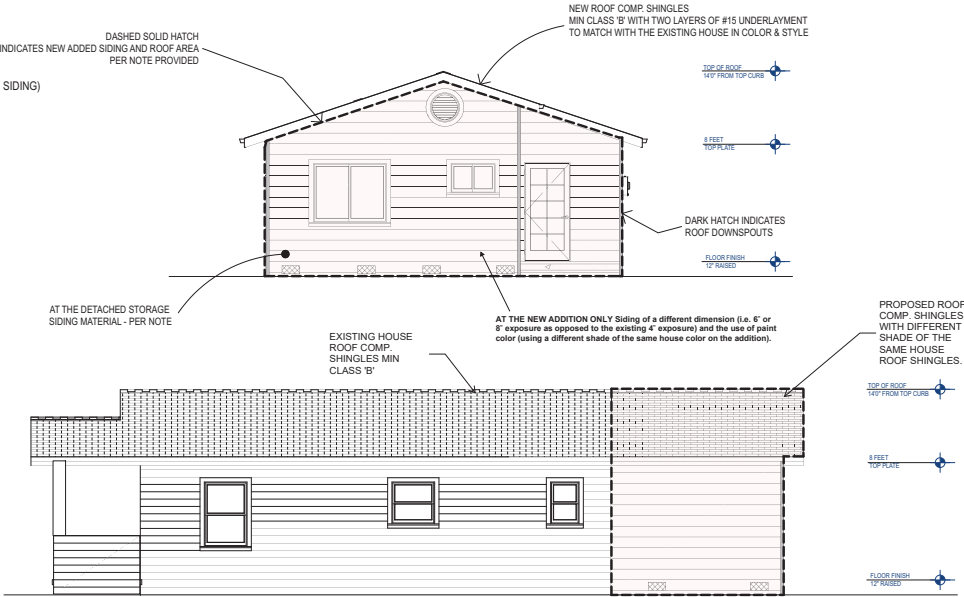
SC : 1/4" = 1'-0"

EXTERIOR WALL WATER-RESISTIVE BARRIER NOTE: (ONLY AT THE ADDITION OR REPLACED SIDING)

ONE LAYER OF NO.15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D226 FOR TYPE 1 SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. SUCH FELT OR MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2 INCHES. WHERE JOINTS OCCUR, FELT SHALL BE LAPPED NOT THAN 6 INCHES. THE FELT OR OTHER APPROVED MATERIAL SHALL BE CONTINUOUS TO THE TOP OF WALLS AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES IN MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVELOPE AS DESCRIBED IN SECTION R703.1

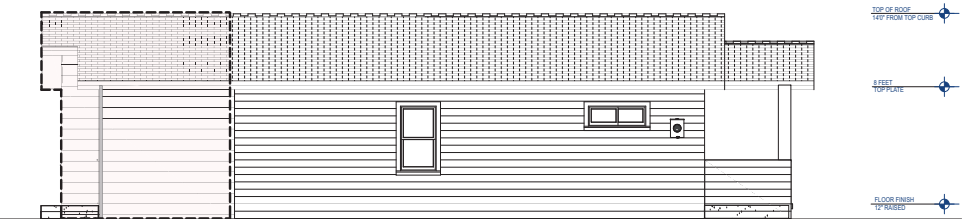
PROPOSED REAR ELEVATION

SC : 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

SC : 1/4" = 1'-0"



PROPOSED LEFT ELEVATION

SC : 1/4" = 1'-0"

REMODELING FOR:

LINCOLN ST,
RESIDENCE

1176 LINCOLN ST,
SANTA CLARA, CA 95050

REVISION TABLE:

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DONE RIGHT HOME REMODELING

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EMAIL: ZOHOOOR.RAMIN@GMAIL.COM

SHEET TITLE:

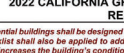
PROPOSED
ELEVATION

PROJECT ID :
DATE : NOV 2023
SCALE :
DRAWN BY : DONE RIGHT HOME REMODEL (RZ)

SHEET NUMBER:

A-07

OWNERSHIP:

| | |
|--|---|
|  <p style="text-align: center;">City of Santa Clara The Center of What's Possible</p> | <div style="display: flex; justify-content: space-between;"> <div> <p>Building Division: 408-615-2440 Email: Building@sanclara.gov</p> <p>Permit Center: 408-615-2420 Email: PermitCenter@sanclara.gov</p> <p>Automated Inspection Scheduling System: 408-615-2400</p> </div> <div style="border: 1px solid black; padding: 5px;"> <p>PROJECT INFORMATION</p> <p>PROJECT NAME: _____</p> <p>PROJECT ADDRESS: _____</p> <p>PROJECT TYPE: _____</p> </div> </div> |
| <p>2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CGC) RESIDENTIAL CHECKLIST</p> | |
| <p><i>New residential buildings shall be designed to include the green building mandatory measures specified in this checklist. This checklist shall be applied to buildings with existing residential buildings where the addition or alteration increases the building's conditional area, volume, or size. The requirements shall apply only to the specified portion of the addition or alteration.</i></p> | |
| <p>BUILDING PERMIT NO.: <u>BLD2</u></p> <p>ADDRESS: <u>1176 LINCOLN ST</u></p> | |
| <p>Feature or Measure</p> <p>SITE DEVELOPMENT (CGC 4.106)</p> | |
| <p>Storm water drainage and retention during construction. A plan shall be developed and shall be implemented to manage storm water drainage during construction for existing residential buildings where the addition or alteration increases the building's conditional area, volume, or size.</p> | |
| <p>Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings (CGC 4.106.3).</p> | |
| <p>Electric vehicle (EV) charging for new one- and two-family dwellings and town-houses with attached parking garages and other parking spaces not assigned to a dwelling unit, and ADU/ADU+ with attached parking but with electrical panel upgrades or new panels. Provisions for electric vehicle charging with minimum required Level 1 EV Ready, Level 2 EV Ready, and Level 2 EV Ready as specified in CGC 4.106.4.1 as amended by CGC 2023 Residential Code 15.38.400 (CGC 2023 Residential Code) section 15.38.401.</p> | |
| <p>Identification. The roadway termination location shall be permanently and visibly marked as "Level 2 EV Ready" in CGC 4.106.4.1.1 as amended by CGC 2023 Residential Code section 15.38.401.</p> | |
| <p>Electric vehicle (EV) charging for new multifamily dwellings, affordable housing, hotels, and new residential parking facilities. Provide electric vehicle infrastructure and capacity for electric vehicle charging with minimum Level 2 EV Ready as specified in CGC 4.106.4.2 and 2022 California Green Code 15.38.401. EV Capable as specified in CGC 2023 Residential Code section 15.38.401 and 2022 California Green Code section 4.106.4.2, whichever is more stringent.</p> | |
| <p>Bicycle parking at Bicycle Rack. At multifamily residential developments shall include secured bicycle parking with 11th electrical outlets per CGC 2023 Residential Code section 15.38.401.</p> | |
| <p>Location: EVCS shall be located adjacent to an accessible parking space, and/or on an accessible route, per CGC 4.106.4.2.1.</p> | |
| <p>Dimension: Each EV Ready space or EVCS shallbe minimum 18 ft long and 9 ft wide. One in every 25 parking spaces, but not less than one, shall have an 8 ft wide aisle width. A 5 ft wide minimum aisle shall be permitted between the maximum width of the EVCS is 8 ft. Surface slope for the EV space and the aisle shall not exceed 2.083% slope in any direction, per CGC 4.106.2.2.1.2.</p> | |
| <p>Accessibility: EV Ready and EVCS spaces shall comply with the accessibility requirements for EV Charging spaces with California Title 24, Part 9, Division 1301 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s), per CGC 4.106.2.2.1.</p> | |
| <p>Automatic load management system (ALMS) may be used to increase the number of EV chargers or the number of EV charging stalls per hour (the minimum number of EV charging stalls per hour for less than less electrical panel capacity than would be required without ALMS, per CGC 4.106.2.2.2 as amended by CGC 2023 Residential Code section 15.38.401.</p> | |

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| | |
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| <p>Electric vehicle (EV) charging for additions or alterations of parking facilities requiring installing multiple buildings. When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered and the work requires a building permit, minimum 10% of total adderessed parking spaces shall be electric vehicle parking spaces capable of supporting future Level 2 electric vehicle supply equipment (EVSE) per CEC 4.106.4.3.</p> | <input type="checkbox"/> |
| <p align="center">ENERGY EFFICIENCY (CGC 4.301)</p> | |
| <p>California Energy Code. The building construction shall meet or exceed the requirements of the 2022 California Building Energy Efficiency Standards per CGC 4.301.1.</p> | |
| <p align="center">WATER EFFICIENCY AND CONSERVATION</p> | |
| <p align="center">INDOOR WATER USE (CGC 4.303)</p> | |
| <p>Water conservation plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets, showerheads, pre-rinse spray nozzles) shall comply with the prescriptive requirements of Section 4.303.1.1, through 4.303.1.4.5.</p> | |
| <p>Water closets: The effective flush volume of all water closets shall not exceed 1.28 gallons per flush (CGC 4.303.1.1).</p> | |
| <p>Urinals: The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush, and all other urinals shall not exceed 0.5 gallons per flush (CGC 4.303.1.2).</p> | |
| <p>Showerheads: The flow rate for single showerheads and multiple showerheads serving one shower shall not exceed 1.8 gallons per minute at 80 psi and shall be certified to the performance criteria of the U.S. EPA WaterSense specification (CGC 4.303.1.3).</p> | |
| <p>Residential lavatory faucets. The flow rate shall not be more than 1.2 gallons per minute at 60 psi, and no less than 0.8 gallons per minute at 20 psi (CGC 4.303.1.4.1).</p> | |
| <p>Lavatory faucets in common and public use areas. The flow rate shall not exceed 0.5 gallons per minute (60 psi) (CGC 4.303.1.4.2).</p> | |
| <p>Kitchen faucets. The flow rate shall not deliver more than 0.2 gallons per minute (CGC 4.303.1.4.3).</p> | |
| <p>Kitchen Faucets. The flow rate shall not exceed 1.8 gallons per minute at 60 psi (CGC 4.303.1.4.4).</p> | |
| <p>Pre-rinse Spray Valves. When installed, shall meet the requirements of Title 20 of the California Code of Regulations, and shall be equipped with an integral automatic shutoff (CGC 4.303.1.4.5).</p> | |
| <p>Submitters for multifamily buildings and dwelling units in mixed-use residential-commercial buildings. Submitters shall be installed to measure the individual use of individual retail dwelling units in accordance with the California Plumbing Code per CIBC 4.303.2.</p> | |
| <p>Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall meet the applicable standards referenced in Table 1701.1.1 of the California Plumbing Code.</p> | |
| <p align="center">OUTDOOR WATER USE (CGC 4.304)</p> | |
| <p>Outdoor potable water use in landscape areas. Residential developments shall comply with the City's Water Service and Use Rules and Regulations, Item No. 24, as adopted by Santa Clara City Council Section 15.15.160, or the California Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, per CGC 4.304.1.</p> | |
| <p align="center">ENHANCED DURABILITY AND REDUCED MAINTENANCE (CGC 4.406)</p> | |
| <p>Rodent proofing. All interior spaces around pipes, electric cables, conduits, or other openings in solid/bottom plates at exterior walls shall be rodent proofed by closing such openings with cement mortar, concrete masonry, or similar method acceptable to the City per CGC 4.406.1.</p> | |
| <p>CONSTRUCTION WASTE REDUCTION, DISPOSAL, AND RECYCLING (CGC 4.408)</p> | |
| <p>Construction waste management. Project architect/savager for reuse a minimum of 60% of nonhazardous construction and demolition waste in accordance with Sections 4.408.2, 4.408.3, or 4.408.4, or make a more stringent local construction and demolition waste management plan in accordance with CGC 4.408-1.1.</p> | |
| <p align="center">BUILDING MAINTENANCE AND OPERATION (CGC 4.410)</p> | |
| <p>An operation and maintenance manual shall be provided to the building occupant or owner per CGC 4.410.1.</p> | |

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BLD Permit No. _____

Recycling by occupants. Where 5 or more multi-family dwelling units are constructed on building site, provide readily accessible areas that serve all buildings on site and are identified for depositing, storage and collection of nonhazardous materials for recycling per Part 22.02.

ENVIRONMENTAL QUALITY (CGC 4.503)

Gas fireplace. Any installed gas fireplaces shall be a direct-vent sealed-combustion type per CGC 4.503.1.

Woodstoves. Any installed woodstove or pelletstove shall comply with U.S. EPA New Source Performance Standards (NSPS) emissions limits and shall have a permanent label indicating they are certified to meet the emissions limits per CGC 4.503.1. Woodstoves and pellet stoves shall also comply with Santa Clara County Part 36.1556.

POLLUTANT CONTROL (CGC 4.504)

Covering of dust openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilation and other mechanical systems, all openings and equipment shall be covered with tape, plastic, sheenmetal, or other materials acceptable to the City to reduce the amount of water, dust or debris, which may enter the building per CGC 4.504.1.

Adhesives, sealants and caulks shall meet the VOC or other toxic compound limits per CGC 4.504.2.1.

Paints, stains and other coatings shall comply with VOC limits for ROC and for R2C.

Aerosol paints and coatings shall meet the product-weighted MIR limits for AOC and other requirements per CGC 4.504.2.3.

Verification. Documentation shall be provided, at the request of the Building Division, to verify that compliant VOC-limit finish materials have been used per CGC 4.504.2.4.

Carpet systems. All carpet installed in the building interior must meet the testing and product requirements of CGC 4.504.3.

Resilient flooring systems. Where resilient flooring is installed, at least 80% of the floor area receiving resilient flooring shall comply with the requirements of CGC 4.504.4.

Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products installed on the interior or exterior of the building shall comply with formaldehyde emissions standards and requirements per CGC 4.504.5.

INTERIOR MOISTURE CONTROL (CGC 4.506)

Concrete slab foundations. Vapor retarder and/or polyurethane break shall be installed at a slab-on-ground foundation system. The use of a 6 mil thick break or 10 mil vapor retarder shall be used. 15mil vapor retarder with joints taped not less than 6" shall be provided per CGC 4.505.2, CGC 4.506.2.2, CGC 4.506.2.3 and CB Section 505.05.

Moisture control of building material. Building materials with visible signs of water damage shall not be installed. Wall and floor framing material shall not be enclosed when the framing members exceed 18% moisture content. Moisture control shall be checked prior to final material placement per CGC 4.506.3.

INDOOR AIR QUALITY AND EXHAUST (CGC 4.506.3)

Bathroom exhaust fans. Each bathroom shall be mechanically ventilated using ENERGY STAR compliant and ducted to the exterior and exhaust per CGC 4.506.3.1.

ENVIRONMENTAL COMFORT (CGC 4.507)

Heating and air-conditioning system shall be sized, designed and have the equipment selected using the following:

Heating and air-conditioning system shall be sized, designed and have the equipment selected using the following:

1. Heat Loss/Gain Heat values in accordance with ANSI/ASHRAE 2 Manual J-2016, ASHRAE handbook or equivalent.
2. Duct systems are sized according to ANSI/ASHRAE 1 Manual D-2016, ASHRAE handbook or equivalent.
3. Select heating and cooling equipment in accordance with ANSI/ASHRAE 3 Manual S-2014 or equivalent.

INSTALLER AND SPECIAL INSULATION CERTIFICATION (CGC 4.508)

Installer training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including duct design and equipment a recognized training or certification program per CGC 702.2.1.

Special inspection. Special inspectors employed by the City must be qualified and able to demonstrate competency in the discipline they are inspecting.

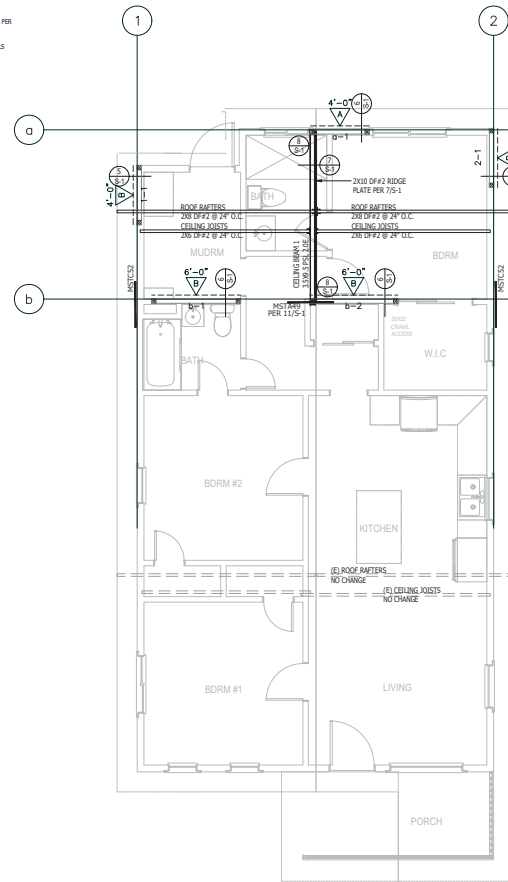
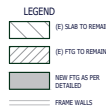
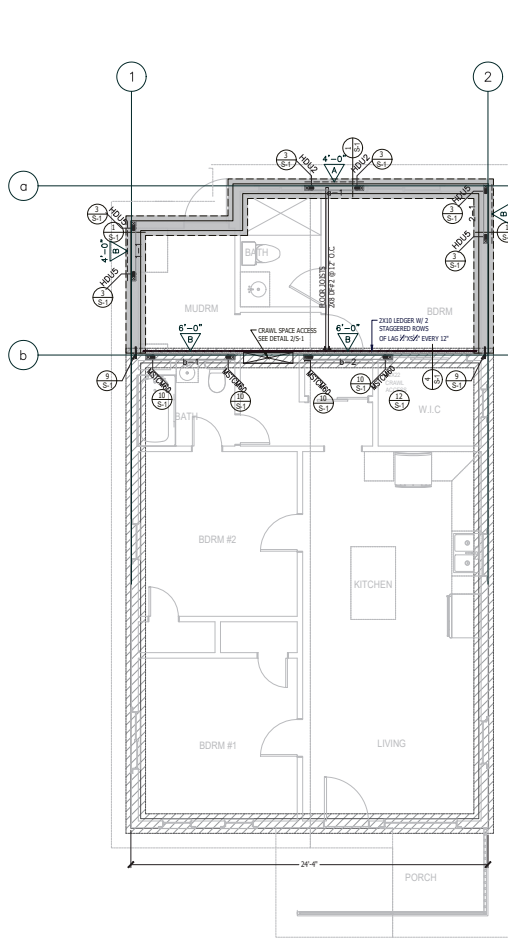
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Page 3

| VERIFICATION (CGC 703) | |
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| <p>Documentation. Upon request, verification of compliance with this code may include construction documents, data, specifications, builder or installer certification, inspection reports, or other methods acceptable to the building department that will show substantial compliance with CGC 703.1.</p> | |
| <p>Responsible Designer's Declaration Statement</p> <p>I hereby certify that this project has been designed to the requirements of the 2022 California Green Building Standards Code.</p> <p>Name: <u>RAMIN ZHOOR</u></p> <p>Signature: <u><i>(Signature)</i></u></p> <p>Date: <u>05.01.2023</u></p> <p>Company: <u>DONE RIGHT HOME REMODEL</u></p> <p>Address: <u>1825 DE LA CRUZ BLVD #206</u></p> <p>City: <u>SANTA CLARA,</u> State: <u>CA</u> Zip: <u>95050</u></p> | <p>Contractor Declaration Statement</p> <p>I hereby certify, as the builder or installer under the permit listed herein, that the project will be constructed to meet the requirements of the California Green Building Standards Code.</p> <p>Name: <u>RAMIN ZHOOR</u></p> <p>Signature: <u><i>(Signature)</i></u></p> <p>Date: <u>05.01.2023</u></p> <p>License: <u>10002889</u></p> <p>Address: <u>1825 DE LA CRUZ BLVD #206</u></p> <p>City: <u>SANTA CLARA,</u> State: <u>CA</u> Zip: <u>95050</u></p> |

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PARTIAL FOUNDATION NOTES:

1. CONCRETE:
 - a. Concrete shall be of normal weight and $f'_c = 2500$ psi minimum at 28 days.
 - * Cement to be Portland cement ASTM C-150 Type I or II. Type I may be required, see General Notes for additional requirements.
 - * Aggregate per ASTM C-33.
 - * Water to be clean and potable.
 - * High alumina cement must not be used in concrete because of high sulfate contents.
 - * No admixtures containing calcium chlorides or other chlorides shall be added to the concrete.
 - b. Unless shown otherwise on plans, cold joints are not allowed.
 - c. Concrete placement shall be in one continuous operation, uniformly placed and must be vibrated and well consolidated.
 - d. Concrete shall be cured per ACI 318-18 section 5.11 and ACI "Standard Practice for Curing Concrete".
2. REBAR:
 - a. Reinforcing steel may be ASTM A615 Grade 40 or Grade 60.
 - b. Reinforcing bars to be welded shall be ASTM A705.
 - c. Lap all reinforcing splices a minimum 48 bar diameters but in no cases less than 24".
3. HOLDOWN NOTES:
 - a. Holdown rods/straps shall be set in place prior to foundation inspection and concrete placement.
 - b. At the strap holdowns, a #4 rebar by 48" long must be centered and wired over the holddown return hook.
 - c. Simpson "SSTP" bolts shall be used if so specified on plans or details. Where not specified, holdown rods may be standard "J" or "L" bolts, or threaded rod with double nut and washer at bottom.
 - d. Through bolts for HSA/HO Holdowns shall be ASTM A307 Grade A machine bolts. All threaded rods shall not be used in place of machine bolts or specified on plan.
4. POST BASE: U.O.N., individual isolated posts bearing on concrete shall be secured by Simpson PB connectors (PES at exterior locations) placed in the concrete.
5. ANCHOR BOLTS:
 - a. Unless noted otherwise on the foundation plans, all plates for all the exterior walls, interior bearing walls and interior shearwalls shall be anchored to the foundation with 5/8" Ø anchor bolts at a maximum spacing of 6 feet on center.
 - b. Each anchor bolt shall be mounted on a mud/sill plate with an iron plate washer of 3"x7"x1/2".
6. SUB-BASE:
 - a. SUB-BASE preparation, see soils report or plan for sub-base and vapor barrier requirements.
 - b. Where no soils report, place slab over a 2" sand fill over a 6 MIL Polyethylene-vapor barrier, lapped and taped at joints.
 - c. Foundations shall be founded on native soil and/or Engineered fill. See soils report for required specifications for Engineered fill.
7. FRAMING ISSUES:
 - a. Unless specified otherwise, all holdowns (strap and rod) shall be attached to a 4x post which receives shear wall edge raling along full height.
 - b. Where multiple studs are approved as a holdown post, the multiple pieces shall be interlaced together with a minimum of 16d at 6" o.c.
 - c. ICC-ES approved powder driven anchor pins (shot pins) may be used at all interior non-Shear Wall locations. Shot pins shall be used in conjunction with plate washers and shall be spaced no more than 36" o.c. (See Detail "B").

PARTIAL ROOF FRAMING NOTES:

1. HEADERS: The following Header Schedule shall be used where header size is not specified on the plans. Unless noted otherwise, all headers shall be DF-Larch #2 or better.

| Supporting ROOF Load only: | 2x4 Wall | 2x6 Wall |
|----------------------------|----------|----------|
| up to 4' span | 4x6 | 6x6 |
| 4' to 5' span | 4x8 | 6x8 |
| 5' to 6' span | 4x10 | 6x10 |
2. Trusses should not be cut or modified in any way without prior approval of structural engineer or truss manufacturer.
3. Roof sheathing may be CDX or OSB and shall be the following:
 - * 1/2" with 16" O.C. span rating (TABLE 2304.8(3))
 - * 5/8" with 24" O.C. span rating (TABLE 2304.8(3))
 - * 3/4" with 36" O.C. span rating (TABLE 2304.8(3))
4. Roof edge-nailing of 8d at 6" o.c. shall be applied along the full length of the collector trusses and collector rafters.
5. CALIFORNIA FRAMING: All California Framing shall have roof sheathing covering both the upper and the lower roofs. Rafter spans for the California Framing area shall meet the following schedule.
 - * 2x4 at 24" o.c. for a minimum span of 6'-6"
 - * 2x6 at 24" o.c. for a minimum span of 10'-0"
 - * 2x6 at 24" o.c. for a minimum span of 12'-0"
 - * 2x4 at 16" o.c. for a minimum span of 7'-9"
 - * 2x6 at 16" o.c. for a minimum span of 11'-0"
 - * 2x6 at 16" o.c. for a minimum span of 14'-0"
6. STUDS:
 - a. Exterior Walls & Interior Bearing/Shear Walls
 - * When supporting 2 stories above, regardless the height, use 2x6 DF-Larch #2 or better at 16" o.c.
 - * Up to 10' Tall: 2x4 studs at 16" o.c. may be DF-Larch of 3rd Grade or better.
 - * More than 10' Tall: 2x6 studs shall be DF-Larch #2 or better unless called out differently on plans.
 - b. Interior Non-Bearing Walls:
 - * Up to 14' Tall: 2x4 studs May be DF-Larch of 3rd Grade or better spaced 16" or 24" o.c.
 - * More than 14' Tall: 2x4 studs shall be 2x6 DF-Larch #2 grade or better spaced at 16" o.c. unless called out differently on plans.
7. PLATES:
 - a. All exterior walls and interior structural bearing/shear walls shall have double top plates and be spliced for continuity.
 - b. Top & sole plates shall be DF-Larch 3rd grade or better.



| REVISION | BY | DATE |
|----------|----|------|
| | | |
| | | |
| | | |

LINCOLN STREET ADDITION
1176 Lincoln St.,
Santa Clara, CA 95050

FOUNDATION AND FRAMING PLANS

SHEET TITLE:

JF Design & Engineering
8839 N. Cedar Ave. #27
Fresno, CA 93720
408.512.8400
jffplans@gmail.com



DATE: 12.04.2023

SCALE: As Noted

JOB NO: 23120101

REVIEWED BY: JCF



S-2

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Lincoln Street Addition
Calculation Date/Time: 2023-11-29T09:45:55-08:00
Calculation Description: Title 24 Analysis

CF1R-PHF-01E
(Page 1 of 11)

| GENERAL INFORMATION | | | | | |
|---------------------|---|----------------------------|----|-------------------|------|
| 01 | Project Name | Lincoln Street Addition | | | |
| 02 | Run Title | Title 24 Analysis | | | |
| 03 | Project Location | 1176 Lincoln Street | | | |
| 04 | City | Santa Clara | | | |
| 05 | Zip code | 95050 | | | |
| 06 | Climate Zone | 4 | 08 | Standards Version | 2022 |
| 07 | Building Type | Single Family | | | |
| 08 | Project Scope | Addition and/or Alteration | | | |
| 09 | Addition Cond. Floor Area (ft²) | 295 | | | |
| 10 | Existing Cond. Floor Area (ft²) | 795 | | | |
| 11 | Total Cond. Floor Area (ft²) | 1092 | | | |
| 12 | Attic Insulation Cond. (R-value) | n/a | | | |
| 13 | Fuel Type | Natural gas | | | |
| 14 | Number of Stories | 1 | | | |
| 15 | Number of Bedrooms | 3 | | | |
| 16 | Glazing Percentage (%) | 1.36% | | | |
| 17 | APD Conditioned Floor Area (ft²) | n/a | | | |
| 18 | No. Overhanging Units | 0 | | | |
| 19 | Compliance Method | HERS | | | |
| 20 | Compliance Margin | 0.5 | | | |
| 21 | Compliance Margin (Energy) | 0.5 | | | |
| 22 | Compliance Margin (Water) | 0.5 | | | |
| 23 | Compliance Margin (Indoor Air Quality) | 0.5 | | | |
| 24 | Compliance Margin (Thermal Comfort) | 0.5 | | | |
| 25 | Compliance Margin (Acoustic Performance) | 0.5 | | | |
| COMPLIANCE RESULTS | | | | | |
| 01 | Building Complies with Compliance Method | n/a | | | |
| 02 | Building does not require field testing or HERS certification | n/a | | | |
| 03 | This building incorporates one or more Special Features shown below | n/a | | | |

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
Registration Date/Time: Report Version: 2022.0.000
HERS Provider: Report Generated: 2023-11-29 09:46:28

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Lincoln Street Addition
Calculation Date/Time: 2023-11-29T09:45:55-08:00
Calculation Description: Title 24 Analysis

CF1R-PHF-01E
(Page 2 of 11)

| ENERGY USE SUMMARY | | | | | | | | | |
|--------------------------------------|---|--|---|--|-------------------------|----------------------------|--|--|--|
| Energy Use | Standard Design Source Energy (kBtu/ft²·yr) | Standard Design TDW Energy (kBtu/ft²·yr) | Proposed Design Source Energy (kBtu/ft²·yr) | Proposed Design TDW Energy (kBtu/ft²·yr) | Compliance Margin (TDW) | Compliance Margin (Energy) | | | |
| Space Heating | 0 | 30.06 | 0 | 31.18 | 0 | 0.08 | | | |
| Space Cooling | 0 | 62.39 | 0 | 62.77 | 0 | -0.38 | | | |
| Hot Water Heating | 0 | 0 | 0 | 0 | 0 | 0 | | | |
| Water Heating | 0 | 34.64 | 0 | 34.64 | 0 | 0 | | | |
| Solar Utilization/Feasibility Credit | | | | | | | | | |
| Efficiency Compliance Factor | 0 | 152.09 | 0 | 152.09 | 0 | 0.5 | | | |
| Photovoltaics | | | | | | | | | |
| Battery | | | | | | | | | |
| Flexibility | | | | | | | | | |
| Indoor Lighting | 0 | 6.27 | 0 | 6.27 | | | | | |
| Appl. & Cooking | 0 | 34.74 | 0 | 34.75 | | | | | |
| Plug Loads | 0 | 10.88 | 0 | 10.88 | | | | | |
| Outdoor Lighting | 0 | 1.8 | 0 | 1.8 | | | | | |
| TOTAL COMPLIANCE | 0 | 251.78 | 0 | 251.29 | | | | | |

Registration Number: CA Building Energy Efficiency Standards - 2022 Residential Compliance
Registration Date/Time: Report Version: 2022.0.000
HERS Provider: Report Generated: 2023-11-29 09:46:28

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Lincoln Street Addition
Calculation Date/Time: 2023-11-29T09:45:55-08:00
Calculation Description: Title 24 Analysis

CF1R-PHF-01E
(Page 3 of 11)

| WATER USE INTENSITY | | | | | | |
|--|--|--|--|------------------------|---------------------------------------|---------------------------------|
| | Standard Design (liters/m ² · yr) | Proposed Design (liters/m ² · yr) | Compliance Margin (liters/m ² · yr) | Margin Percentage | | |
| Gross Use ¹ | 38.87 | 38.82 | 0.05 | 0.14 | | |
| Net Use ² | 38.87 | 38.82 | 0.05 | 0.14 | | |
| Notes: | | | | | | |
| 1. Gross Use = Energy (Use Total including PV) / Total Building Area. | | | | | | |
| 2. Net Use = Energy Use Total (excluding PV) / Total Building Area. | | | | | | |
| REQUIRED SPECIAL FEATURES | | | | | | |
| The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis. | | | | | | |
| • Cool roof | | | | | | |
| • New HVAC equipment is less than 25% in length | | | | | | |
| HEDS FEATURE SUMMARY | | | | | | |
| The following is a summary of the features that must be field verified in a certified NREB later as a condition for meeting the modeled energy performance for this computer analysis. Additional details provided in the Building Addendum. Registered ODRs and OPRs are required to be completed in the NREB Registry. | | | | | | |
| BUILDING - FEATURES INFORMATION | | | | | | |
| Project Name | G2 | G3 | G4 | G5 | G6 | G7 |
| Conditioned Floor Area (ft ²) | | Number of Dwelling Units | Number of Bedrooms | Number of Zones | Number of Ventilation Control Systems | Number of Water Heating Systems |
| Cooling System Addict | 1652 | 1 | 3 | 2 | 0 | 1 |
| ZONE INFORMATION | | | | | | |
| Zone Name | G2 | G3 | G4 | G5 | G6 | G7 |
| Zone Type | HVAC System Name | Zone Floor Area (ft ²) | Avg. Ceiling Height | Water Heating System 1 | Status | |
| Existing (Living Area) | Conditioned | HVAC System1 | 765 | 8 | DRP Sys 1 | Existing (unoccupied) |
| New (Living Area) | Conditioned | HVAC System2 | 288 | 8 | DRP Sys 1 | New |

| CERTIFICATE OF COMPLIANCE - RESIDE - PERFORMANCE COMPLIANCE METHOD | | | | | | | | | | CIRB PRF 01 | | | |
|--|-------------------------|--------------------|-----------------------------|-------------------|-----------------------------|------------------------|-------------------------|-------------------------|--------------------------------|---------------------------------------|---------------------------------|--|--|
| Project Name: Lincoln Street Upgrade | | | | | | | | | | Page 9 of 13 | | | |
| Calculation Date/Time: 2023-11-23 23:09:45+08:00 | | | | | | | | | | | | | |
| Input Name: Lincoln Street Analysis [176] (06/23) | | | | | | | | | | | | | |
| HSAC - HEAT PUMPS | | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | | |
| Name | System Type | Number of Units | Monthly Energy Demand (kWh) | HSAC HP #1-1000 | Cap 47 | Cap 17 | Gasline Efficiency (%) | SEER/EER | EXETER Efficiency | Factory Certified | Compressor Type | | |
| Heat Pump System 1 | Central split heat pump | 1 | 1000 | 0.0 | 60000 | 50000 | 85.00000 | 13 | 12.2 | No/Noted | Single Stage | | |
| | | | | | | | | | | Heat Pump System 1 is a Heat Recovery | | | |
| HSAC HEAT PUMP - HEIRS VERIFICATION | | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | | |
| Name | Verified Airflow | Airflow Tz (m³/s) | Verified EXETER/DOE | Verified EER/SEER | Verified Refrigerant Charge | Verified HSAC HP#1/HP2 | Verified Heating Cap 17 | Verified Heating Cap 17 | Verified Heating Cap 17 | | | | |
| | | | | | | | | | | | | | |
| HSAC - DISTRIBUTION SYSTEMS | | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | | |
| Name | Design Type | Design Flow (m³/s) | Design Location | Surface Area (m²) | Supply Ratio | Return Ratio | Regress Short | Design Length | HSAC Verification | Status | Verification Existing Condition | | |
| As Distributed System 1 | Uncollected and Mixed | Heat-Verified | 2-6 | 6.0 | 0.0 | 0.0 | N/A | N/A | As Distributed (3-6 hrs delay) | Existing + New | No | | |
| | | | | | | | | | | Existing Condition | | | |
| HSAC - FAN SYSTEMS | | | | | | | | | | | | | |
| 01 | 02 | 03 | 04 | 05 | 06 | 07 | 08 | 09 | 10 | 11 | 12 | | |
| Name | System Type | Design Flow (m³/s) | Design Location | Surface Area (m²) | Supply Ratio | Return Ratio | Regress Short | Design Length | HSAC Verification | Status | Verification Existing Condition | | |
| HSAC Fan 1 | HSAC Fan | | | | | | | | FAN Power (Watts/CFM) | | | | |
| | | | | | | | | | | HSAC Fan 1 is a Fan | | | |

| | | | |
|--|--------------------------|--|--|
| CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | CF19-PH-0 | |
| Project Name: Lincoln Street Addition | | Calculation Date/Time: 2023-11-29T09:41:55-08:00 | |
| Calculation Description: Title 24 Analysis | | Input File Name: Lincoln Street Addition (178).phx22a | |
| PHSIC Fan SYSTEMS - HEERS VERIFICATION | | | |
| G1 | G2 | G3 | |
| None | Certified Fan Speed Crow | Required Fan Efficiency (Watts/CFM) | |
| PHSIC Fan 3-bow Box | Not Required | 0 | |

| | | | |
|--|--|---|--|
| CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD | | C318-01 (Page 11 of 13) | |
| Project Name: Lincoln Street Addition | | Calculation Date/Time: 2023-11-29T09:48:55-08:00 | |
| Calculation Description: Title 24 Analysis | | Input File Name: Lincoln Street Addition (176).rvt22x | |
| DISCLAIMER STATEMENT | | | |
| 1. I warrant that this Certificate of Compliance documentation is accurate and complete. | | | |
| Documentation Author Name: Timothy Cantars, CEAs, HERS, QPPE Cantars Energy Inc. Address: 2738 Bayview Heights Drive Suite E Chula Vista, CA 92002 | | Documentation Author Signature:  Signature Date: 11/29/2023 City/State/Zip: R116-001161 Phone: 805 904 0048 | |
| DISCLAIMER: PERFORMER DECLARATION STATEMENT | | | |
| I certify the following information of projects, under the laws of the State of California: | | | |
| 1. I am the owner and/or the Designer and/or the Designer's Representative for the Building project identified as the Certificate of Compliance. 2. I warrant that the energy loads and performance calculations identified on the Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations, and that the project complies with the energy design measures identified on the Certificate of Compliance. 3. I warrant that the information provided on this form, and the documents provided as attachments (plans, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application). | | | |
| Responsible Designer Name: | | Responsible Designer Signature: | |
| Company: | | Date Signed: | |
| Address: | | Version: | |
| City/State/Zip: | | Phone: | |

[illegible]

**EVALUATION OF
PROPOSED ADDITION**
to the residence at
1 1 7 6 Lincoln Street
Santa Clara, CA

21 March 2024

Prepared for
DONE RIGHT BUILDERS & REMODELING
1825 De La Cruz Blvd #203
Santa Clara, CA 95050
1-800-816-0000

ARCHITECTS

MBA

WWW.MBA-ARCHITECTS.NET

MARVIN BAMBURG ASSOCIATES INC. 1176 LINCOLN AVE. SAN JOSE, CA 95125 408/297-0288 FAX 408/297-0384

QUALIFICATIONS

MBA ARCHITECTS is a full service architectural firm located in San Jose's Willow Glen district. The firm has been practicing for over 55 years doing a wide variety of projects that include residential (remodeling, new homes, tract houses, multifamily apartments & condos, hotel-motels, prisons), commercial (shopping centers and tenant improvements) and institutional work (government projects, non-profits and corporations). Historic preservation is also an expertise at MBA; both Associate Architect, Maia Gendreau, AIA, and Principal, Marvin Bamberg, AIA, are listed by the State of California as **historic architects** in the California Historic Resources Information System – CHRIS.

DOCUMENTS REVIEWED

For this analysis and review, the following documents, provided by the client, were considered:

- Historic Property Preservation Agreement dated 16 DEC 2016 and recorded on 30 DEC 2020 (Mills Act Agreement).
- DPR23 form dated 24 July 2020 by Laurie Garcia.
- Proposed construction plans by DONE RIGHT HOME and REMODELING dated NOV 2023 and revised 21 MAR 2024 (revisions to plans are undated), 12 sheets including structural plans by J.F. DESIGN & ENGINEERING of Fresno, CA.
- Secretary of the Interior Standards for Preservation from the National Park Service.

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1176 LINCOLN STREET, Santa Clara

2412

The historic single-family residence at 1176 Lincoln Street in Santa Clara, CA is located within a residential neighborhood of mostly single-story older homes. The building is listed on the City's inventory of historic buildings and has a very detailed DPR on file. The property was given a MILLS ACT contract in 2020.

The house is box-shaped with a gabled roof and a small gabled porch offset in front. Windows are wood double-hung with quad panes in the upper sash. The clapboard siding is painted. The roofing appears to be asphalt shingles with a solar array on the south-facing slope. The garage is detached and similarly gabled.



The proposed remodeling is

SECRETARY OF THE INTERIOR STANDARDS FOR PRESERVATION (“the Standards”) are listed below.

ANALYSIS

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.

The residential use will continue.

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2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

The proposed addition continues the box-shaped layout of the original house with walls and roof aligned to the existing. The proposed exterior siding, roofing and window treatment matches that of the existing house.

3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.

From the street the house will appear as it always has, since the addition is totally at the rear. The rear wall of the existing building will be modified for the expanded functions that are associated with the addition.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

From all existing documentation there are no such changes identified.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

There are no distinctive features, etc.

6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.

Deterioration is not an issue here. The addition is for greater livability inside the dwelling.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

This does not apply.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Significant excavation is not contemplated – only shallow foundations will be installed. It is unlikely that any archeological resources will be encountered.

RECOMMENDATION

This is a modest addition to a very modest house, nonetheless the addition is new, not historic. That fact should be readily apparent to the observer. The addition should be treated in such a manner that it does not appear to be part of the original building. This is easily accomplished by the use of siding of a different dimension (i.e. 6" or 8" exposure as opposed to the existing 4" exposure) and the use of paint color (using a different shade of the same house color on the addition). The proposed roofing may be consistent with the existing and windows and doors should be of wood but may vary slightly in design at the owner's discretion.

ARCHITECTS



Several items of concern that are not detailed on the plans are as follows:

- *The new siding material and exposure should be specified on the plans. We have assumed that it is redwood or cedar beveled siding similar to the existing.*
- *The connection of the exterior walls between the new and old siding should be detailed. It will probably be offset by ½" which should be covered by a notched wood trim.*
- *The installation of any under-siding structural sheathing for the new construction as it affects the wall thickness (relates to the items above).*

The structural plans indicate installation of StrongWall panels for lateral resistance. Those panels are 4" thick which exceeds the wall stud thickness of 3.5" and must be accommodated somehow (not now shown on the plans). The proper SW footings are also not properly shown. If any of these issues affect the exterior appearance of the building, another historic review should be done.

A handwritten signature in blue ink, appearing to read 'Marvin Bamburg', is written over a light blue circular stamp.

Marvin Bamburg, AIA, CHRIS Historic Architect

ARCHITECTS

MBA

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| Mills Act Workplan - 1176 Lincoln Street | |
|---|---|
| Year | Proposed Project |
| Year 1 | It will be a large project to repair dry rot on the home and paint the exterior of the house so we believe it will be a three-year project. Begin the repair and paint project. |
| Year 2 | Continue with project to repair dry rot on the home and paint the exterior of the house. |
| Year 3 | Finish project to repair dry rot on the home and paint the exterior of the house. |
| Year 4 | We will repair front porch by repairing chipping paint and repair drain spouts that have significant damage. |
| Year 5 | We will repair original double-hung windows and paint them. |
| Year 6 | We will remove the old garage roof and replace it with new roof to match main structure roof. |
| Year 7 | We will rehabilitate the exterior of garage and paint to match the house. |
| Year 8 | We will landscape the front yard area, including a drought tolerant native plant area. |
| Year 9 | We will repave the driveway with either interlocking pavers, concrete or asphalt. |
| Year 10 | We will complete interior improvements such as refinishing or refurbishing the floors and upgrades to electrical and plumbing systems. |

Exhibit B: Proposal

27

State of California — The Resources Agency DEPARTMENT OF PARKS AND RECREATION PRIMARY RECORD

Primary# _____
HRI# _____
Trinomial _____
NRHP Status Code _____

Other Listings _____

Review Code _____

Reviewer _____

Date _____

Page 1 of 22

*Resource Name or #: (Assigned by recorder) *Jose Salgado House*

P1. Other Identifier: *1176 Lincoln St., Santa Clara. CA.*

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Santa Clara and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad San Jose West Date 1980 photo revised T 7S; R 1W; unsectioned; Mt. Diablo B.M.

c. Address 1176 Lincoln Street City Santa Clara Zip 95054

d. UTM: (Give more than one for large and/or linear resources) Zone _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Assessor's Parcel Number: 269-12-041

West side of Lincoln Street between Benton and Fremont Streets

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The property at 1176 Lincoln Street is located in the urban setting of a small, historic subdivision that was primarily developed between 1912 and 1925. The majority of the lots are 42' x 156.50,' and the homes have similar setbacks from the street with urban sized front yards. Although there are some recent infill buildings in the area, the majority of the homes are original, similar in age, style and scale. This results in a pleasant streetscape that evokes the sense of an early twentieth century working-man's neighborhood.

The primary building on the site is a 735 sq. ft., one-story house, which was constructed circa 1923 in the California Bungalow architectural style, popular at the time.

(Continued on page 2, form 523L)

*P3b. Resource Attributes: (List attributes and codes) *HP2 Single – Family Property*

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P5b. Description of Photo: (view, date, accession #)

Front façade (Camera pointing SW) Photo No: 100_2593, 07/2020

*P6. Date Constructed/Age and Source:

☒ Historic ☐ Prehistoric ☐ Both

ca, 1923

Assessor's Records, City Directories

*P7. Owner and Address:

*Anthony Carnesecca and Elizabeth McMahon
1176 Lincoln Street
Santa Clara, CA 95050*

*P8. Recorded by: (Name, affiliation, and address)

*Lorie Garcia
Beyond Buildings
P.O. Box 121
Santa Clara, California 95052*

*P9. Date Recorded: *July 24, 2020*

*P10. Survey Type: (Describe) *Intensive*

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") *None.*

*Attachments: ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary #
HRI #
Trinomial

Page 2 of 22

*Resource Name or # (Assigned by recorder) Jose Salgado House

Recorded by: Lorie Garcia

*Date 07/24/2020

☒ Continuation ☐ Update

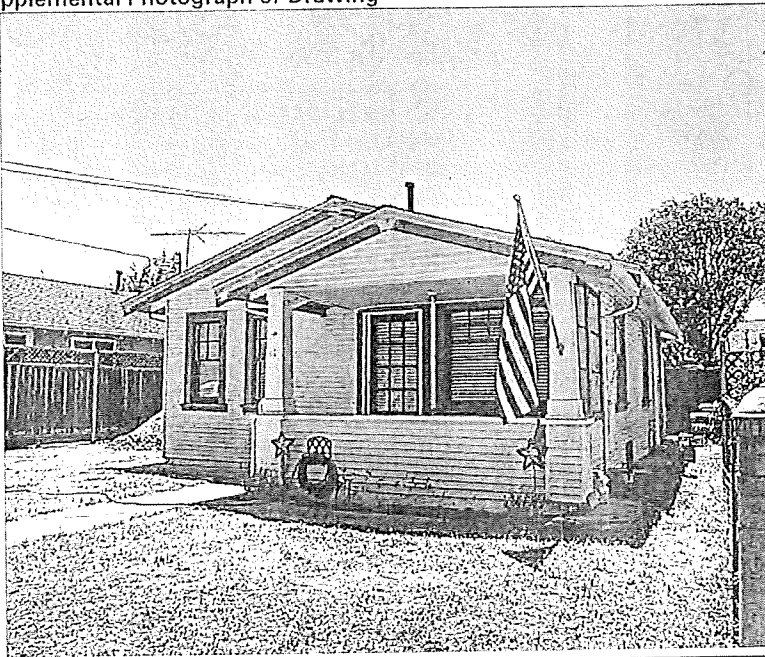
(Continued from page 1, Form 523A, P3a. Description)

The house fronts roughly east onto Lincoln Street and is set back from the street, towards the front of a 44.71' x 140.' 6,259.4 sq. ft. lot, allowing for a modest lawn area and a narrow planting bed. A straight, concrete walkway leads from the Lincoln Street sidewalk to the front entry porch. A medium-sized street tree, set in the parking strip between the walkway and driveway provides a visual barrier from the street. A wide driveway paved with deteriorated asphalt, which is located on the south side of the house and opens on to Lincoln Street, leads to a detached wood-framed garage. Concrete walkways surround the house with an open side yard area between the walkway and the north property line. Fencing, consisting mainly of wood with some chain link sections, defines the southern, western and northern property lines. A high wooden fence with a gate between the rear south-west corner of the house and the front north-east corner of the garage, along with a similar fence and gate that runs from the north-west corner of the house to the north property line, secures access to the rear yard. The extensive rear yard includes a concrete patio adjacent to the house, a large open area with raised planting beds and large trees

The plan of this wooden single-family residence is rectangular. It is set over a full unfinished basement that elevates the main body of the house approximately 18" above the ground. The front gabled roof is low-pitched (a character-defining feature). The eaves of the main body of the house are medium-width and unenclosed (a character-defining feature). The rake eaves of the main body of the house, both front and rear, have wide, plain bargeboards (a character-defining feature). A decorative 5-sided cap covers their junction at the apex. Projecting from the front-facing gable end is a partial-width front porch with a low-pitched front gabled roof (a character-defining feature). The porch's eaves are identical to those of the house (a character-defining feature). Unique to the California Bungalow architectural style, a pair of sloping (battered) columns that rest on squared piers, which extend to the ground, (original) support the porch roof. A solid balustrade encloses the porch (a character defining feature). A pair of fixed windows, each with 3 large horizontal panes separated by muntins, fills the space between the front column and house at the closed end of the porch.

The house is sheathed in narrow, horizontal, wood siding (original and a character defining feature) and is trimmed with narrow flat boards. A large, horizontal, louvered attic vent (original) is set under the apex of the main body's front gable. Two evenly spaced, wood framed, ground-level openings set into each side elevation, provide ventilation to the basement (original). The roof is clad in composition shingles with flat solar panels (new) on the roof's southern exposure.

Supplemental Photograph or Drawing



The main entrance is on the front (east) façade. It is accessed by 2 (two) wide, steps that lead to the open end of the porch. (Concrete has replaced the original wood of the steps and the porch.) The front (main) door, is wooden with 15 (fifteen) large lights divided by muntins (original and a character defining feature). This entry door is offset on the porch. A secondary entry with a small concrete landing (not original) is located on the rear (west) façade. This secondary entry is wooden with three vertically orientated wood panels set into a wood frame and a rectangular window set into the top third (original). Both entry doors are trimmed with wide wood boards. At the rear of the house, a pair of hinged, wooden doors (original), which are set almost flush with the ground, provides access to the basement.

(Continued on page 3, Form 523L)

Description of Photo: (view, date, accession #)

(Camera pointing SSW) Front façade and partial north side-elevation showing the front porch's pair of sloping (battered) columns that rest on squared piers, a feature unique to the California Bungalow architectural style. Photo No: 100_2535; 072020.

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(Continued from page 2, form 523L)

Another character-defining feature of this home is its windows, which are mainly typical in form to those of the Craftsman and California Bungalow architectural styles. With the exception of the large front facing fixed window, which consists of 10 small panes separated by muntins set over a large single pane, fenestration is simple, rectangular in form, mainly vertically oriented, single double-hung wooden windows. Two, vertically orientated, 4-over-1 double-hung windows are set into the front facade facing Lincoln Street. On the south side-elevation, fenestration consists of a medium-sized, horizontally-orientated, sliding window (not original) placed into the original opening, followed by a large, vertically-orientated, 1-over-1 double-hung window. On the north side-elevation, fenestration consists of two large, vertically orientated, 1-over-1 double-hung windows followed by a medium-sized, vertically orientated, 1-over-1 double-hung window. The rear facade has a medium-sized, square, 1-over-1 double-hung window that abuts the north edge of the rear entry door and a medium-sized, vertically orientated 1-over-1 double hung window on the other side of the door, closer to the south side-elevation. All the windows have projecting sills with an apron and are trimmed with wide flat boards. With the exception of the sliding window on the south side-elevation, all the windows are original.

Set to the rear of the house, adjacent to the south property line and facing Lincoln Street, is a one-car, rectangular, gable-roofed garage, which appears to have been constructed concurrent with the house. This wood building is sheathed in narrow, horizontal siding. A pair of large, wood, hinged doors set into the front facade provides automobile access. The front-gabled roof has unenclosed eaves with exposed rafter tails. Similar to those of the house, the rake eaves have wide, plain bargeboards. It is sheathed in weathered composition shingles. Set into the north side-elevation is a wood framed medium-sized, vertically orientated, 1-over-1 double hung window and a hinged wooden man-door that provides access from the rear yard. A similar window is centered in the garage's rear (west) facade. Both of the windows are trimmed with wide flat boards and have a projecting sill with an apron. The garage exists as originally constructed.

With the exception of the garage, the property is in comparatively good condition. The home itself has been reasonably maintained. It appears to have had minimal exterior change and the character defining materials and workmanship from its time of construction in 1923 have not been impacted.

BUILDING, STRUCTURE, AND OBJECT RECORD

*NRHP Status Code *N/A*

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*Resource Name or # (Assigned by recorder) *Jose Salgado House*

B1. Historic Name: *None*

B2. Common Name: *1176 Lincoln Street*

B3. Original Use: *Single family residential*

B4. Present Use: *Single family residential*

*B5. Architectural Style: *California Bungalow*

*B6. Construction History: (Construction date, alterations, and date of alterations)

The residence was constructed circa 1923. Front steps, porch floor and rear landing altered from wood to concrete, date unknown. Foremost window on south side-elevation replaced with sliding window, date unknown. Solar panels added to roof's southern exposure, pre-2020.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____

*B8. Related Features:

Detached one-car garage.

B9a. Architect: *Not known*

b. Builder: *Believed to be Antonio Farfan.*

*B10. Significance: Theme *Architecture and Shelter* Area *New Park Subdivision - Santa Clara Old Quad*

Period of Significance *1923-1960* Property Type *Residential* Applicable Criteria *none*

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The parcel, upon which the residence located at 1176 Lincoln Street is located, is a portion of two large tracts of land that had been identified as Sub-Lots 21 & 22, on the original survey of the City of Santa Clara. This survey, done July 1866 by J. J. Bowen and recorded on August 22 of that same year, forms the basis for the part of Santa Clara known as the "Old Quad."

According to the list of property owners and their improvements, which accompanied the 1866 survey, Sub-Lot 21 was a 94.70 acre tract containing a frame house, barn, orchard and vineyard and Sub-Lot 22, a 7.75 acre tract containing a frame house and an orchard. The accompanying property owner's list shows that Sub-Lot 21 was owned by J. P. Pierce and Sub-Lot 22, owned by Mr. Lindell. James Pieronnet Pierce had recently purchased Sub-Lot 21 from William Lent, the original owner, for \$48,500. By 1873, J. P. Pierce had also purchased Sub Lot 22, from Mr. Lindell.

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B11. Additional Resource Attributes: (List attributes and codes) *HP2 - Single Family Property*

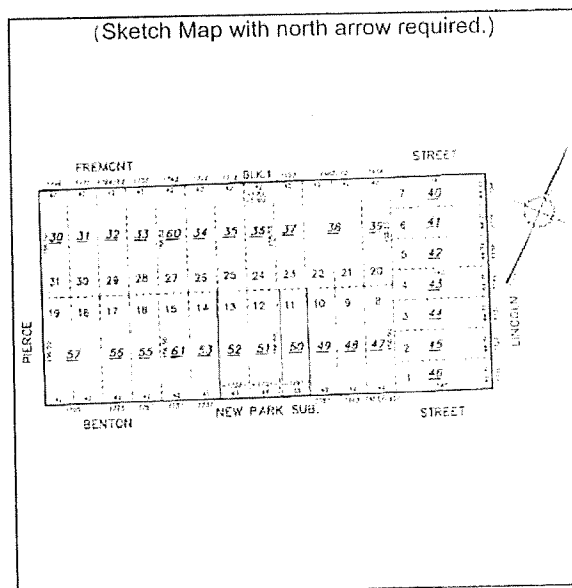
*B12. References: Comstock, William Phillips and Clarence Eaton Schermerhorn, "Bungalows, Camps and Mountain Houses," Reprint, 1990; Garcia, Lorie, "New Park 1853-2011: The history of Sub-Lot 21, a 95 acre parcel of land in Santa Clara, California," 2011; Garcia, Lorie, "Santa Clara: From Mission to Municipality," 1997; Garcia, Lorie, "The New Park Subdivision of 1908," 1999; Garcia Lorie, Geoff Goodfellow and George Giacomini, "A Place of Promise: The City of Santa Clara 1852-2002," 2002; McAlester, Virginia Savage, "A Field Guide to American Houses," Revised ed., 2013; Polk and Husted City Directories, 1915-1972; Santa Clara News 10/20/1908; Sun/Jay Mercury and Herald 02/09/1913; The Evening News 12/08/1908, 04/22/1909, 03/06/1915; United States Census 1910, 1920, 1930, 1940; Wilson, Henry L., "California Bungalows of the Twenties," 1993.

B13. Remarks:

*B14. Evaluator: *Lorie Garcia*

*Date of Evaluation: *July 24, 2020*

(This space reserved for official comments.)



*Required information

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The two parcels combined gave James Pierce ownership of the entire acreage lying between Harrison Street to the north, Lincoln to the east, Lexington Street to the south and Gould Street (today's Scott Boulevard) to the west. James P. Pierce extended the orchard and vineyard Lent had planted and The Plat of Santa Clara, drawn between 1873 and 1875, indicates the northernmost area, part of which would later become the New Park Subdivision, was planted to grapes with orchards covering the southern area. Until the early 1890s, the western third of the Pierce Estate land bordering on the Homestead Road and bounded by Gould Street, where his son Richard lived, was a grain field. In 1892 this portion of the estate was also made into an orchard.

In 1897, following James P. Pierce's death, Judge Hiram H. Bond purchased 34.5 acres of the Pierce estate for \$25,000 from Pierce's children. This included the main house and outbuildings along with the acreage, which would later become the New Park Subdivision. (The remainder of the estate continued to be owned by the James P. Pierce Co.) However, in 1905, Judge Bond ran into financial difficulties and put "New Park" on the market. After various abortive attempts to sell the property he had purchased a decade earlier, in January 1906, The Evening News carried the announcement that Judge Bond had sold his 34.5 acre parcel of New Park, valued at \$60,000, to Mr. Henry E. Brace, a wealthy eastern lumberman. A little over 2 years after the purchase of Judge Bond's property by Henry Brace, the redevelopment of this 34.5-acre portion of the original New Park estate began.

In 1908, Henry Brace's property's northern section, which had previously been "New Park" vineyard acreage, was subdivided, to be developed into residential lots. On October 20, 1908 the front page of the Santa Clara News carried the following announcement:

**Another New Residence
Tract Opened**

Another new residence tract is being opened in Santa Clara. The north section of the beautiful Brace property has been purchased by C. J. Hurrle, of Stockton, who is having it cut into choice building lots to be disposed of on easy payments. Cement walks, curbing and carefully graded streets will beautify the tract, which is ideally located, and will, undoubtedly, be transformed within a very short period of time into one of the handsomest residence parks in the State. It will be known as New Park. The opening of streets is now well under way, and Mr. Hurrle will leave nothing undone to make the new subdivision ideal and perfect in every detail.

Development of the New Park Subdivision was undertaken in October of that year, by C. J. Hurrle, a Justice of the Peace from Stockton, San Joaquin County, Letitia Innes of Santa Clara County and the Garden City Bank and Trust Company. As shown on the Map of the New Park Subdivision in the Town of Santa Clara (filed October 1908), the subdivision was divided into 3 Blocks, with a total of 80 lots that ranged from 5000 sq. ft. to 6500 sq. ft. with portions of Benton, Fremont and Pierce Streets dedicated to the Town of Santa Clara. The subdivision appears to have been improved by F. G. Barrows, a resident of Los Angeles, and while the land was remained owned by C. J. Hurrle and His wife, Jane, it was marketed by Barrows' company, the Chowchilla Colonization Co. Relatively inexpensive to purchase, in December 1908, the first lot was sold and it was located in Block 1. This was quickly followed by the sale of several more Block 1 lots in 1909 and then lots in Block 2 and Block 3, with some of the early purchasers comprised of out-of-town real estate investors or those who already large landowners in Santa Clara. By 1911-12, twenty-one houses had been constructed in the New Park Subdivision. Ten of these were located on Block 1, one of which was on Lincoln Street. By 1915, 40 of the Subdivision's lots (some combined) had houses located on them. In March 1916, C. J. and his wife, Jane E., Hurrle sold Lot 6 on Block 1 of the New Park Subdivision to E. S. Wright. It was on this lot that the subject property, 1176 Lincoln Street, would later be constructed. By 1930, homes occupied all but nine of the Subdivision's lots.

Aimed at working class and immigrant purchasers, these were modest structures. The predominant occupation for many of the first residents was laborer. They were mainly employed as agricultural laborers on farms and in canneries, or worked at the Pacific Manufacturing Company's lumber and cabinet factory as millhands. The United States Census for 1930 showed that the majority of the

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residents were immigrants from Spain, and some from Portugal, most of whom had come via Hawaii. This ethnic identity would remain up to 1980 when a survey showed nearly half the property owners still had Spanish or Portuguese names. The reason for the settlement of the New Park Subdivision by so many Spanish families has its roots in the economic climate in Spain.

By the 1890s Spain's economy was in deep decline as phyloxera invaded the vineyards. The resultant hard living conditions caused thousands of Spaniards to respond to announcements, which had been posted in Spain after the turn of the century, to lure families to Hawaii, with promises of better opportunities and employment. However, life on the Hawaiian sugar-plantations proved difficult and word spread of a better life in California where higher wages could be made. Also came word that California had a climate similar to Spain. By the middle teens, many families decided to immigrate from Hawaii to California; arriving by ship in San Francisco, then moving to Santa Clara where relatives had located earlier.

Although a few Portuguese families had moved into the area, by the 1920s more and more Spanish families were settling in the 3 Blocks of New Park Subdivision, especially on Pierce Street, with several on Fremont Street and some on Harrison Street. While none were rich with money, the great majority of these hard-working frugal people owned their homes, "free and clear." The Spanish culture was prevalent in the close-knit community of Spanish immigrants and here there was abundant mutual support. As the Spanish community grew, this area of Santa Clara would become known as "Spanish Town." One of these immigrant Spanish families was that of Jose Salgado, who lived at 1176 Lincoln Street.

Born in 1880 in Spain, in 1907, two years after they had wed, Jose Salgado and his wife, Clotilda emigrated to Hawaii. By 1912 the Salgados had left Hawaii and arrived in California. Once here they moved to Santa Clara, where Jose found work in the agricultural fields. According to the 1915 Polk City Directory, by then the Salgados resided at 1311 Lewis Street and Jose is shown as employed as a laborer. As shown on the 1920 Census, in 1920 he and his wife Clotilda were still living in Santa Clara and he was employed on a farm. However, by then he owned a house at 1285 Monroe Street. Here, the Salgado's lived with their three foster children, Emilio, Manuel and Jose, Losano, along with Eugenis Calvo, a roomer who was also a Spanish immigrant.

The 1923 City Directory lists Jose Salgado as still residing at 1285 Monroe Street. However, he appears for the first time in the 1924 Polk and Husted City Directory as residing at, and the owner of, the subject residence at 1176 Lincoln Street. Thus, it would have been in the latter part of 1923, that Jose sold the Monroe Street house, paid off the mortgage, and purchased the newly constructed house at this address. It is believed that the house for the Salgados was constructed by Antonio Farfan, a carpenter, who with his brother, Francisco, is known to have built many similar houses in the area. This included his own, which he constructed at the same time immediately next door at 1194 Lincoln Street. The Farfan family had also emigrated from Spain via Hawaii during the same time period as the Salgados and they were acquainted with each other. Jose and Clotilda, along with their three foster-children moved into their new home. According to the 1930 Census, by that time the children were grown and had left home. Only Jose Salgado, now 52 years-old, and his 50 year-old wife, Clotilda, now resided at 1176 Lincoln Street.

By 1930 all but nine of the 71 lots in the "New Park Subdivision" had been developed. However, until after WWII the western border of the New Park Subdivision was a pear orchard that extended to Gould (now Scott) Street. With the property owned by "Cowboy Jim" Donovan extending between Benton and Fremont Street, where he kept his horses, goats, ducks, chickens and roosters, horse-drawn wagon and plowing equipment along with an old barn housing a blacksmith shop and stocked with hay, the area had a rural atmosphere. While staples would have been purchased from John Fatjo's grocery store on Franklin Street, the Salgados, like so many of their neighbors raised vegetables and chickens in their backyard and during fruit harvesting time would can their own pears, peaches and prunes. At times during the year, the close-knit neighborhood gathered together to kill a pig, in order to make sausages, salt pork and lard and, after dividing a ton or two of grapes, with a rented wine press make the wine customarily served at dinner.

According to the 1940 Census, little had changed since 1930, with the exception of the fact that Jose, who was still an "alien," had finally taken out the first papers for gaining his United States citizenship. Both Jose and Clotilda Salgado were happy with their home in "Spanish Town" and continued to live at 1176 Lincoln Street for two more decades.

By 1960 Jose Salgado had passed away and Clotilda no longer lived here. A series of non-Spanish short-term owners and residents would now occupy the home at 1176 Lincoln Street. These would include Earl Myers, an equipment operator for the City of Santa

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Clara Water Department, who lived here with his wife, Ruth from 1960-1962, Harry Thompson, who worked as a locksmith for the Santa Clara Public Schools was a resident at 1176 Lincoln Street with his wife Edna from 1963-1967. They were followed by Al. J. Hansen, who occupied the home from 1968 through the end of the 1970s. In 2018, the subject property at 1176 Lincoln Street was purchased from Steven Warburton estate by Anthony Carnesecca and Elizabeth McMahon.

Historic Evaluation

In order to be considered historically or culturally significant, a property must satisfy certain requirements. It must be 50 years old or older (except in cases of exceptional significance); it must retain historic integrity; it must meet one or more of the National Register of Historic Places criteria for significance, and/or the California Register of Historic Resources criteria for significance, and/or the criteria for listing in a local historic resource inventory.

Age Requirement.

Constructed in 1923, the subject residence at 1176 Lincoln Street is over 50 years old and thus meets the age requirement.

Integrity Requirement.

Integrity refers to a property's ability to convey its significance. Significance is conveyed by the retention of a resource's visual and physical characteristics and its surroundings. The National Register of Historic Places criteria recognize seven aspects to integrity. These are location, design, setting, materials, workmanship, feeling and association. To retain historic integrity, a property will always possess several and usually most of these aspects. Both the California Register of Historic Resources and the City of Santa Clara Criteria for Local Significance follow the National Register integrity criteria.

The property at 1176 Lincoln Street has been reasonably well maintained and the architectural integrity of the structure has not been diminished. As there have been no additions and minimal alteration to the home's exterior since it was constructed, the residence retains its original configuration and the visual and character defining features of the historic building have been preserved and retained. It occupies its original footprint and location. The historical use of the building has not changed and it remains a single-family home. The subject property is set within a historic residential setting in the area of Santa Clara known as "Spanish Town" or the "New Park Subdivision of 1908," and both the residence and the immediate surroundings retain the majority of the qualities that reflect the period in which it was constructed.

The subject property retains enough of its historic character and appearance to be recognizable as a historic property and to convey the reason for its significance (integrity).

National Register of Historic Places Criteria.

There are not any events associated with the residence at 1176 Lincoln Street which have made a significant contribution to the broad patterns of history or cultural heritage. It would therefore appear that the building would not be eligible for the National Register of Historic Places based on Criterion A (associated with events that have made a significant contribution to the broad patterns of our history). For the first 36 years of its existence the building was owned and occupied by members of the original family to reside in it. However, none appear to reach the level of significant influence required under Criterion B to be considered eligible for the National Register. Neither do any of the other occupants appear to be significant to the history of the region, Nation or State of California. It would therefore appear that the building at 1176 Lincoln Street would not be eligible for the National Register based on Criterion B (associated with the lives of persons significant in our past). However, constructed in 1923 as an example of the California Bungalow architectural style house, which was developed to meet the need for affordable working man's housing on narrow, deep lots and was

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popular from 1910-1925, under National Register Criterion C the residence at 1176 Lincoln Street does "embody the distinctive characteristics of a type, period, or method of construction" and "represent[s] a distinguishable entity whose components may lack individual distinction" and it does contribute to the "New Park Subdivision of 1908," a potentially eligible Historic District. Thus, it does appear that the building may be eligible for the National Register of Historic Places under Criterion C as a contributor to a potential historic district.

California Register of Historic Resources Criteria

The Criteria for listing in the California Register of Historical Places are consistent with those for listing in the National Register. However, they have been modified to better reflect the history of California at both a local and State level. Criterion 1 is the California Register equivalent of the National Register Criterion A (events) and California Register Criterion 2, the equivalent of National Register Criterion B (persons). The property at 1176 Lincoln Street does not appear to be eligible for the California Register based on Criterion 1, or Criterion 2. Criterion 3 addresses the distinctive characteristics of a type, period, region, or method of construction. Unique to California, the California Bungalow architectural style is a residential style that developed to offer comfortable housing at a reasonable cost on narrow deep lots and which was widely used from 1910-1925. Constructed in 1923, the subject building is a nice example of a small California Bungalow dwelling. Characterized by the use of simple lines, this one-story house shares its small size and low-pitched, gable roof with the Craftsman Bungalow and its horizontality with the Prairie School house. Its front door opens onto a partial front porch that is set to one side, with the porch overhung by a small gabled roof supported by a pair of sloping (battered) columns that rest on squared piers, which extend to the ground. These columns are unique to the California Bungalow. A low wall encloses the porch and accentuates the squared-off plan. The property remains as designed with only a minimal modification caused by replacement of the original wood front and rear steps with concrete ones, and the integrity of the residence is intact. Thus, it appears to reach the level of significance necessary to be eligible, at a local level, for the California Register under Criterion 3.

City of Santa Clara Criteria for Local Significance

In 2004, The City of Santa Clara adopted Criteria for Local Significance. Under these criteria, "any building, site, or property in the city that is 50 years old or older and meets certain criteria of architectural, cultural, historical, geographical or archaeological significance is potentially eligible, "to be a "Qualified Historic Resource." The evaluator finds that the property meets the following criteria:

Criteria for Historically or Cultural Significance:

To be historically or culturally significant a property must meet at least one of the following criteria:

1. The site, building or property has character, interest, integrity and reflects the heritage and cultural development of the city, region, state or nation.

Due to the economic climate in Spain in the early 20th Century promises of better opportunities and employment led thousands of Spanish families to immigrate to Hawaii. However, life on the Hawaiian sugar-plantations proved difficult and word spread of a better life in California where higher wages could be made. By the middle teens, many families decided to immigrate from Hawaii to California; arriving by ship in San Francisco, then moving to Santa Clara where friends and relatives had located earlier. Upon their arrival several settled in the newly subdivided area, known as the New Park Subdivision of 1980. During the 1920s more and more Spanish families settled in this neighborhood. As the Spanish community grew, this area of Santa Clara became known as "Spanish Town." Constructed in 1923 by and for a member of this Spanish immigrant community, the house at 1176 Lincoln Street is only minimally altered from that period of occupancy. It reflects Santa Clara's Spanish heritage and early 20th Century cultural development.

5. A building's direct association with broad patterns of local area history, including development and settlement patterns, early or important transportation routes or social, political, or economic trends and activities. Included is the recognition of urban street pattern and infrastructure.

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Due to the work of entities like the Santa Clara Commercial League, which promoted the area's beautiful climate and the opportunities to be found, at the turn of the 20th century more and more people were attracted to the region. In the Town of Santa Clara, agricultural production expanded and manufacturing enterprises began to grow. The township's 3,650 residents in 1900 were estimated at 4,000 by 1902 and, had increased to around 5,000 by the end of the first decade. This rise in the population of Santa Clara resulted in a concurrent demand for additional housing. As a result, at the time many of the larger Sub-Lots were subdivided, including Sub-Lots 21 and 22, known as "the Pierce Estate," from which the Therion, Gunckel and New Park Subdivisions were created.

Reflecting this period of growth and development in Santa Clara, the New Park Subdivision which was parceled in 1908, created 80 lots, ranging from 5000 sq. ft. to 6500 sq. ft., on 2 ½ blocks and dedicated the newly developed portions of Benton, Fremont and Pierce Streets to the Town of Santa Clara. The lots themselves were relatively inexpensive to purchase and by 1915, 40 of the lots (some combined) had houses located on them. By 1930, homes occupied all but nine of the lots. Aimed at working class and immigrant purchasers, these were modest structures and the residence at 1176 Lincoln Street is one of these buildings.

The subject property does meet Criterion 1 and Criterion 5 for Historical or Cultural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet the remaining Criteria for Historical or Cultural Significance.

Criteria for Architectural Significance:

To be architecturally significant a property must meet at least one of the following criteria:

1. The property characterizes an architectural style associated with a particular era and/or ethnic group.

It has been said that the Bungalow might well be considered the quintessential American house of the early twentieth century and the California Bungalow adaptation of this architectural style was inspired primarily by the work in Pasadena by Greene and Greene in the early part of this century. The residence at 1176 Lincoln Street was designed and constructed in 1923 in a simple version of the California Bungalow architectural style. Sharing its small size and low-pitched, gable roof with the Craftsman Bungalow (1905-1925) and its horizontality with the Prairie School house (1910-1925), the California Bungalow is also associated with the period from around 1910 to 1925. The availability of plan books offered the house-builder a huge assortment of California bungalow designs with working blueprints that could be ordered for from \$5 to \$25, depending on the size of the model. As a small, detached "cottage" style, it like the Craftsman Bungalow was ideally suited for the narrow, deep lots, being platted at this time and, offering comfortable living at affordable prices, it met the growing need for affordable housing by working class families. As one 1920 promotional booklet, "Little Bungalows," stated, "It is better to build a small house than to overburden the budget with debt for a larger one." The subject residence was constructed in 1923 as a California Bungalow for an immigrant working class family.

7. A building's notable or special attributes of an aesthetic or functional nature. These may include massing, proportion, materials, details, fenestration, ornamentation, artwork or functional layout.

Except for the alteration of construction material to the front and rear entry stairs, the exterior of the residence at 1176 Lincoln Street has been unmodified since its construction in 1923 and the building displays the massing, simple lines and rustic materials that characterize the California Bungalow architectural style. In particular, character defining features displayed by the home include, but are not limited to, its rectangular footprint; its one-story construction on a raised foundation; its use of narrow shiplap siding to sheath the main floor; its low-pitched gable roof; its partial-width front porch with a low-pitched gable roof and its wood framed, double-hung windows. A special attribute of this residence is the pair of sloping (battered) columns that rest on squared piers to support the small gable roof over the porch. This type of column is a feature unique to the California Bungalow.

The subject property does meet Criteria 1 and 7 for Architectural Significance of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Architectural Significance 2, 3, 4 5 or 6.

Criteria for Geographic Significance:

To be geographically significant a property must meet at least one of the following criteria:

(Continued on page 10, Form 523L)

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
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*Recorded by: Lorie Garcia

*Date 07/24/2020

☒ Continuation ☐ Update

(Continued from page 9, Form 523L)

1. A neighborhood, group or unique area directly associated with broad patterns of local area history.

The subject parcel is located in the two and one-half block, New Park Subdivision of 1908. Originally populated by a large number of immigrants from Spain, as well as some from Portugal (the Azores Islands) and other working-class individuals, during the 1920s more and more Spanish families settled in the area; some on Pierce Street and Fremont Street, others on Harrison Street near Pierce and on Lincoln Street. As the Spanish community grew, this area of Santa Clara's "Old Quad" became known as "Spanish Town." The names of these families like, Cintas, Callejon, Cano, Farfan, Sanchez, Sapena, Toledo and Vasquez, would become well known in Santa Clara, as their offspring grew to play prominent roles in the town. The ethnic identity of this early 20th century immigrant neighborhood would remain up to the 1980s when a survey showed nearly half the property owners still having Spanish or Portuguese surnames. The home at 1176 Lincoln Street was owned by the Salgado family who, originally from Spain, were members of this cultural community.

2. A building's continuity and compatibility with adjacent buildings and/or visual contribution to a group of similar buildings.

By the 1930s, the majority of the homes in the New Park Subdivision had been either constructed in or relocated to the area. The majority of the homes were small Craftsman and California Bungalows, reflecting the small working-class bungalow building styles of the era. This pattern with its up-and-down rhythm of the rooflines and the in-and-out rhythm of the projecting porches creates a unified appearance with enough variety for individual identification, which is considered the essence of good neighborhood design. The residence, located at 1176 Lincoln Street was constructed in the California Bungalow architectural style and due to the fact that no significant changes to either the residence or the lot configuration have occurred since its construction in 1923, this residence's architectural style, form and massing and character-defining details are all compatible with the neighboring and nearby historic homes in this area. The subject building is consistent with the original pattern of small cottage and bungalow building styles that are found in the neighborhood and visually contributes to the continuity of the early 20th Century development of the historic neighborhood in which it is located.

The subject property does meet Criteria for Geographic Significance 1 and 2, of the City of Santa Clara Criteria for Local Significance. However, it does not meet Criteria for Geographic Significance 3 or 4.

Criteria for Archaeological Significance:

As the property at 1176 Lincoln Street contains no known or unknown prehistoric or historic archaeological resources, it would not be Archaeologically Significant under any of the five of the City of Santa Clara's Criteria for Archaeological Resources. However, should any prehistoric or historic archaeological resources be uncovered in the future, this would be subject to change.

Conclusions and Recommendations

Currently, this property is not on The City of Santa Clara Architecturally or Historically Significant Properties list. However, the property is over 50 years old and thus meets the age requirement and the evaluator finds 1176 Lincoln Street to retain sufficient integrity to qualify as a historic property. It appears to be, based on compliance with the Local Significance Criteria, a "Qualified Historic Resource," eligible for listing on the City of Santa Clara Architecturally or Historically Significant Properties List.

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DEPARTMENT OF PARKS AND RECREATION
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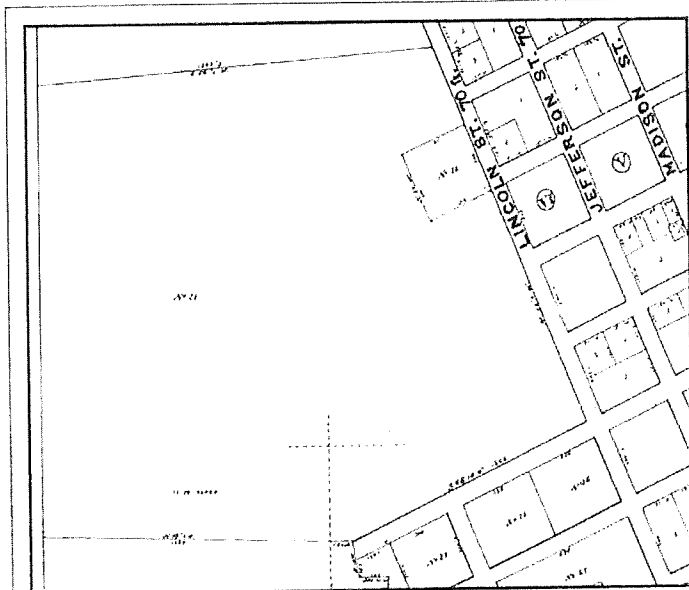
*Resource Name or # (Assigned by recorder) *Jose Salgado House*

*Recorded by: Lorie Garcia

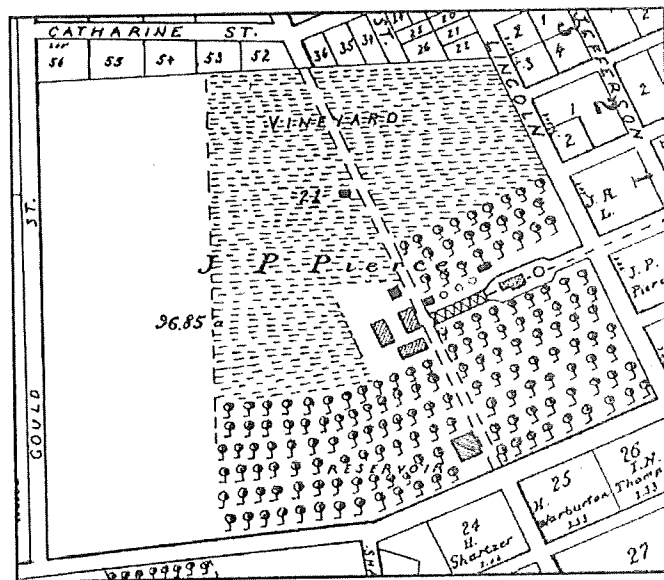
*Date 07/24/2020

☒ Continuation ☐ Update

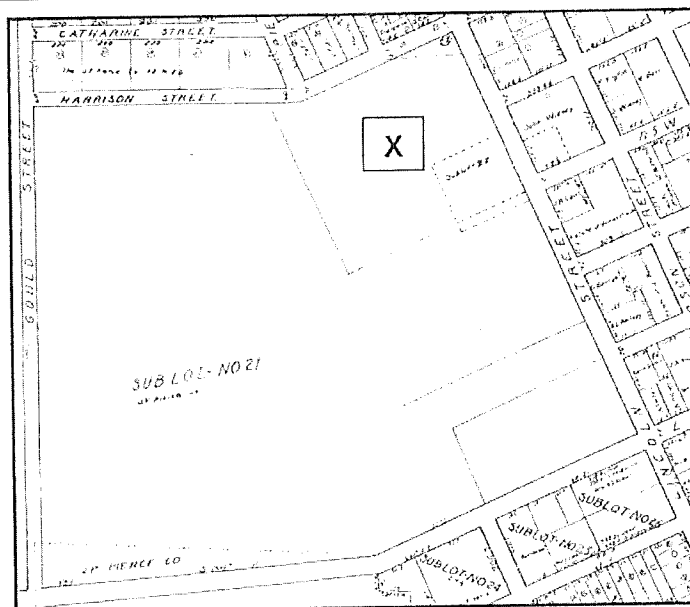
HISTORIC MAPS



1866 J.J. Bowen Survey of the Town of Santa Clara



Plat of Santa Clara circa 1873-75



1893 C.E. Moore Map of the Town of Santa Clara

By 1893, a section of the ranch road into the Pierce estate, from Catharine to Harrison, had become part of Pierce Street and Harrison Street was in existence, extending to Gould Street (today's Scott Blvd). **X** marks the location of the New Park Subdivision, which, when platted in 1908, would encompass most of Sub Lot 22 and the northeast corner of Sub Lot 21 with Harrison Street delineating its northernmost boundary.

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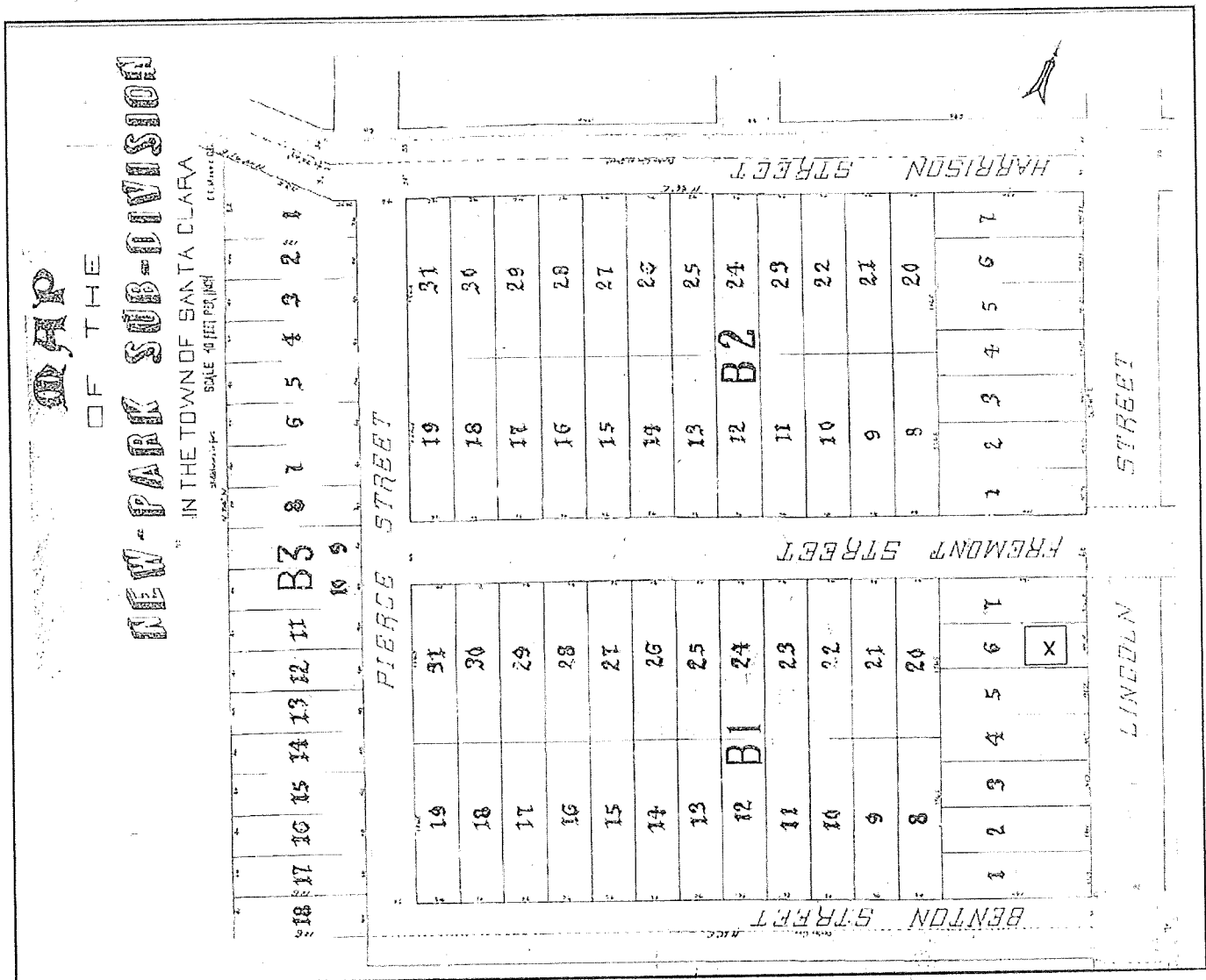
*Date *07/24/2020*

☒ Continuation

☐ Update

HISTORIC MAPS cont.

MAP OF THE NEW PARK SUBDIVISION IN THE TOWN OF SANTA CLARA
(Filed October 1908, Book M of Maps, pages 40 & 41)



X indicates Lot 6 of Block 1 of The New Park Subdivision of 1908. This 44.71' x 140' parcel, is the lot on which the subject residence at 1176 Lincoln Street was constructed ca. 1923.

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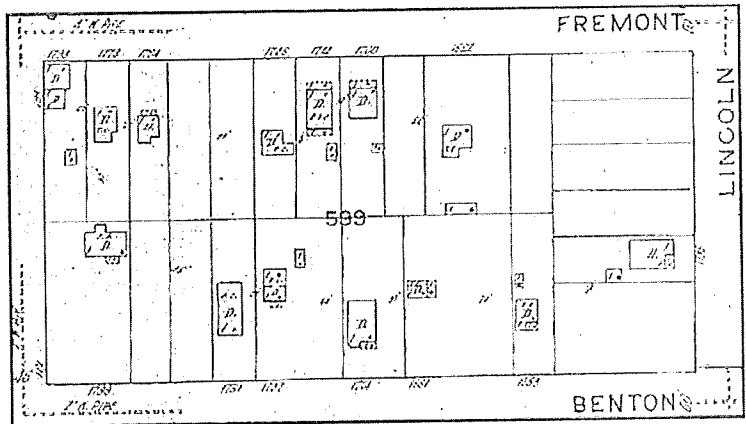
*Date 07/24/2020

☒ Continuation ☐ Update

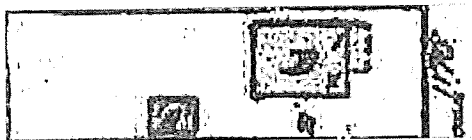
SANBORN FIRE INSURANCE MAPS

1915 Sanborn Fire Insurance Map

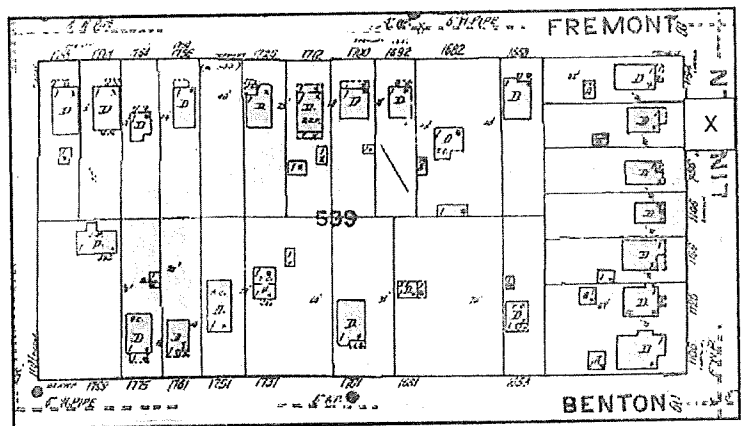
Note: As of this date, the lot where 1176 Lincoln Street would later be located is still vacant. By 1915, while 13 houses have already been constructed on Block 1 of the New Park Subdivision, only one is located on Lincoln Street.



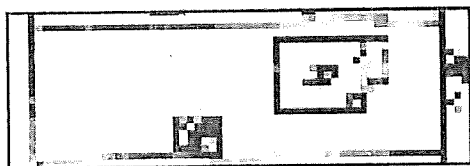
1930 Sanborn Fire Insurance Map



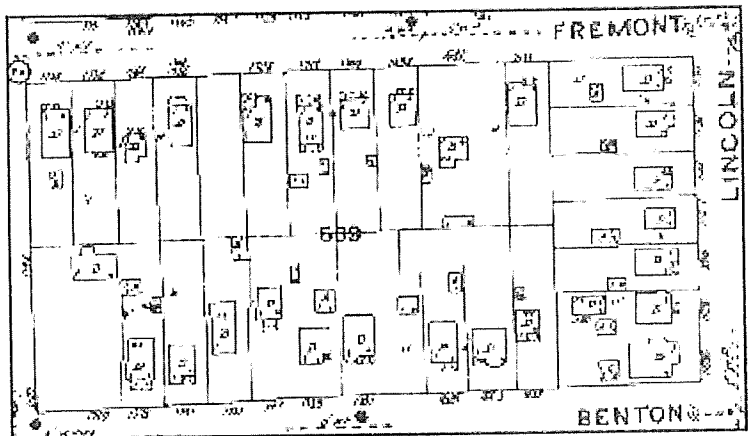
X indicates the site of 1176 Lincoln Street.



1950 Sanborn Fire Insurance Map



Note: As shown in 1950, the property 1176 Lincoln Street had remained unaltered since the buildings had been constructed. They still will occupy the identical footprints in 2020.



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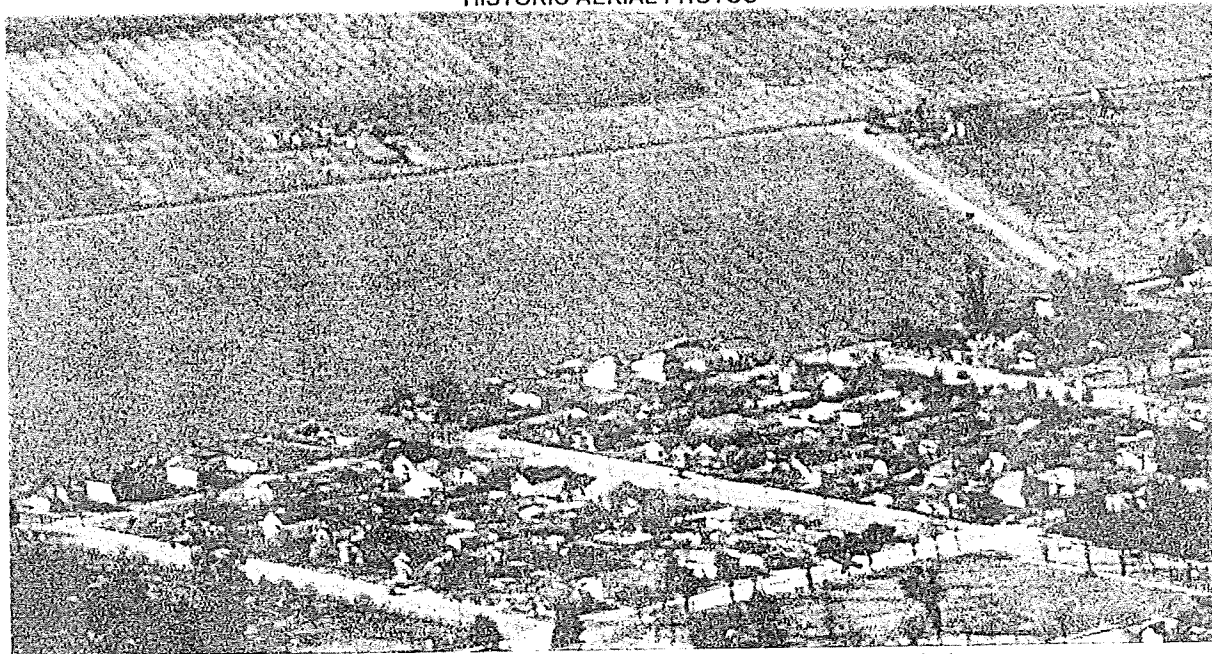
*Resource Name or # (Assigned by recorder) *Jose Salgado House*

*Recorded by: Lorie Garcia

*Date 07/24/2020

☒ Continuation ☐ Update

HISTORIC AERIAL PHOTOS



February 1944 aerial photo above; February 2015 aerial photo below

On both photos, the red X indicates 1176 Lincoln Street. Above: pear orchards occupy the land behind the row of Pierce Street houses. Benton, Fremont and Harrison Streets end at Pierce (and Pierce ends at Benton). Below: housing now fills the orchards and Harrison and Benton Streets are extended. However, the configuration of the two "New Park Subdivision" blocks shown above and Pierce, Fremont and Lincoln Streets remain unaltered.



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2020 AERIAL PHOTOS



Google aerial photo showing the 3 Blocks of the New Park Subdivision of 1908 as they exist in 2020



2020 Google aerial photo of 1176 Lincoln Street.

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☒ Continuation ☐ Update

Additional Photos

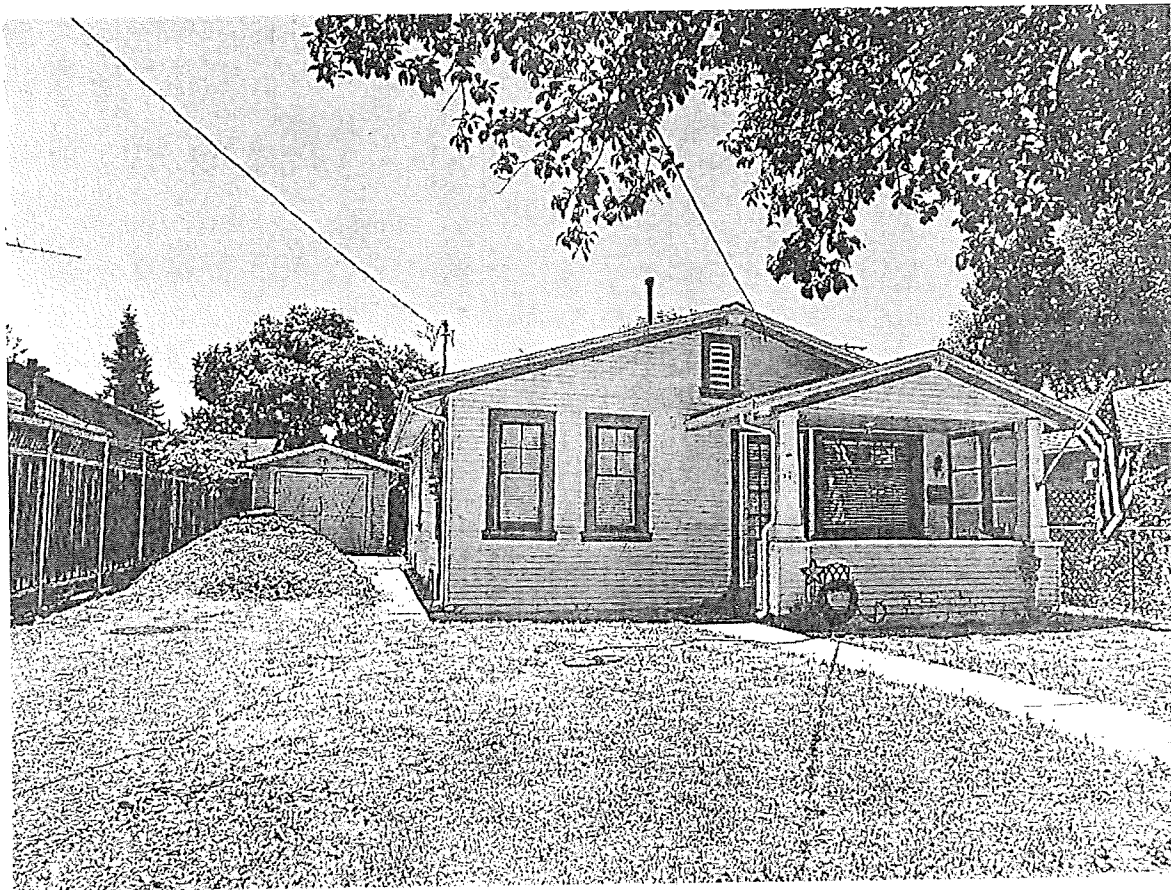


Photo No: 100_2538

View: 1176 Lincoln Street, showing residence and walkway, garage and driveway

Photo Date: July, 2020

Camera Facing: WSW

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☒ Continuation ☐ Update

Additional Photos

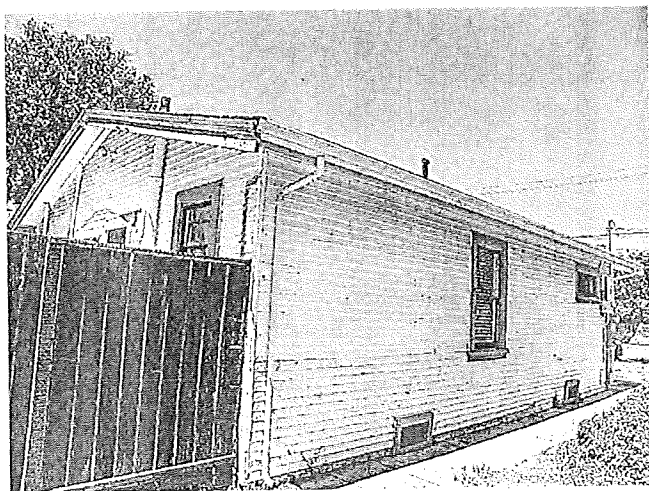


Photo No: 100_2558
View: South side elevation & partial rear facade
Photo Date: July, 2020
Camera Facing: NNE

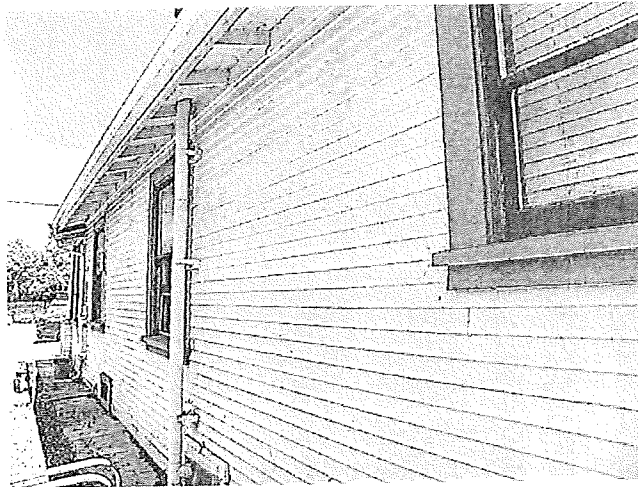


Photo No: 100_2547
View: North side elevation from rear
Photo Date: July, 2020
Camera facing: Northeast

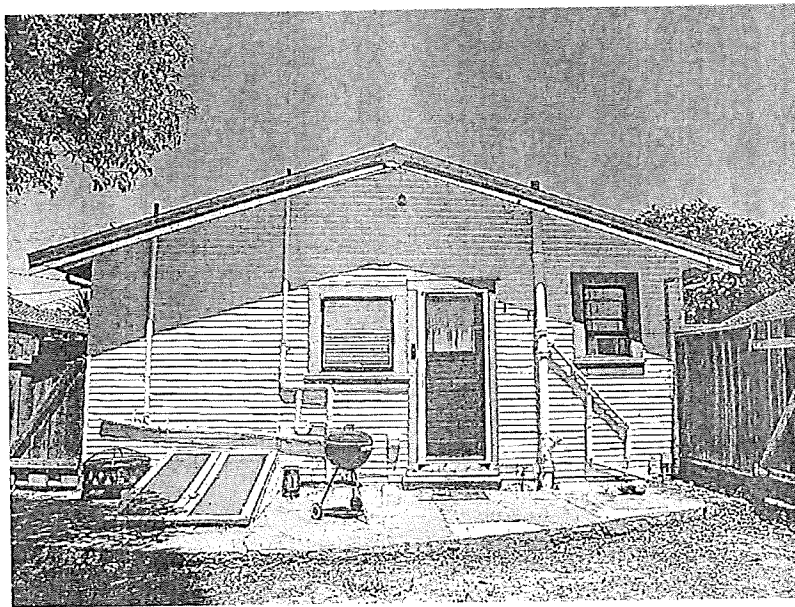


Photo No: 100_2560
View: Rear façade, showing basement entry
Photo Date: July, 2020
Camera Facing: Northeast

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☒ Continuation ☐ Update

Additional Photos - Garage

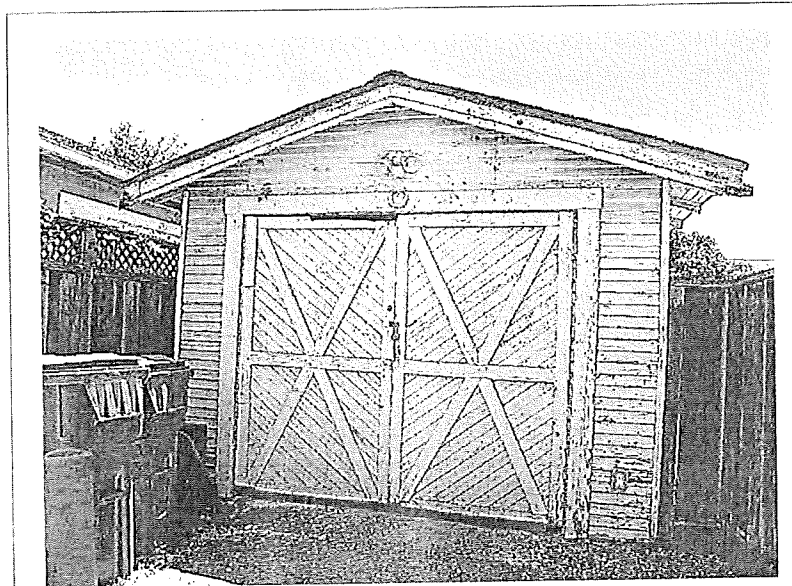


Photo No: 100_2557

View: Garage - Front façade, showing automobile entry doors

Photo Date: July, 2020

Camera Facing: WSW

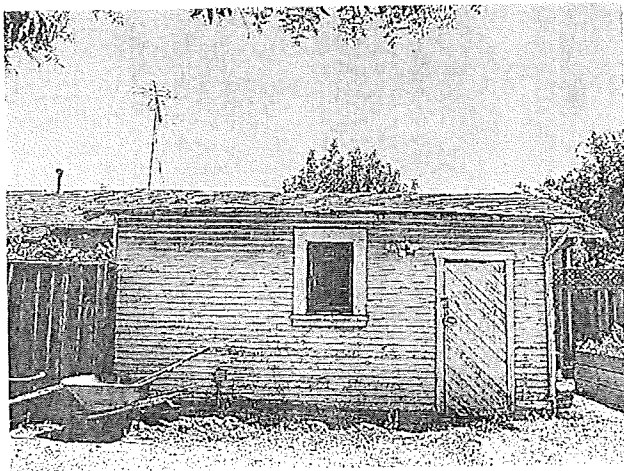


Photo No: 100_2567

View: Garage - North side-elevation

Photo Date: July, 2020

Camera Facing: SSE

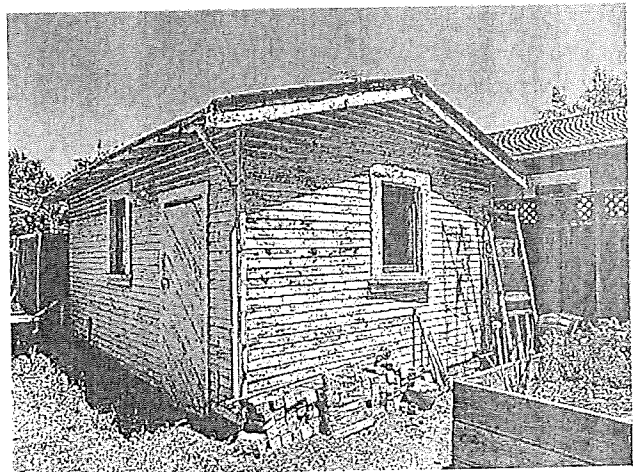


Photo No: 100_2568

View: Garage - Rear façade and north side-elevation

Photo Date: July, 2020

Camera facing: Southeast

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☒ Continuation ☐ Update

Additional Photos – Rear Yard



Photo No: 100_2565

View: rear yard looking from house towards west property line

Photo Date: July, 2020

Camera Facing: WSW

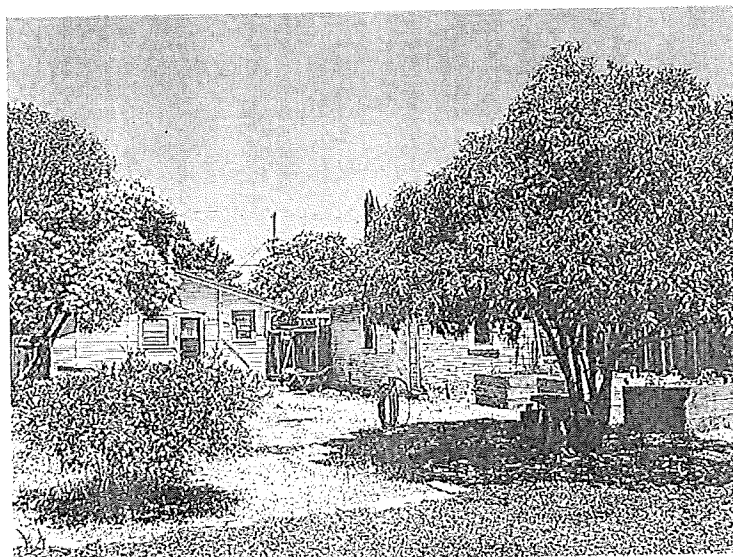


Photo No: 100_2572

View: rear yard looking from west property line towards house

Photo Date: July, 2020

Camera Facing: ESE

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☒ Continuation ☐ Update

Additional Photos - Front Porch

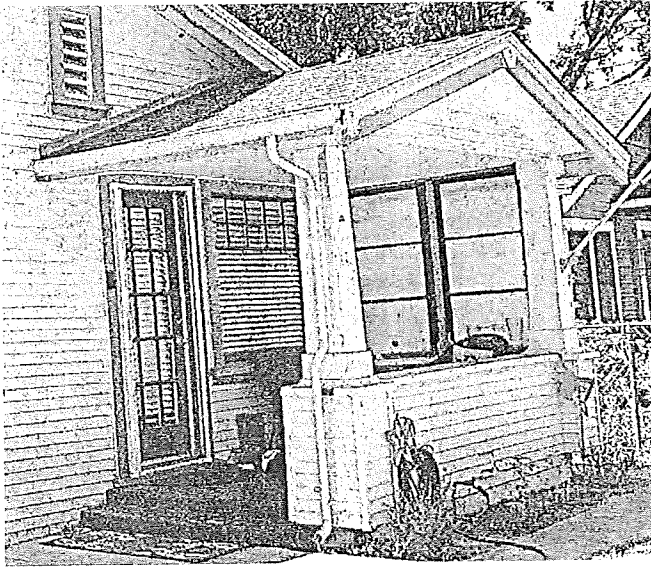


Photo No: 100_2539
View: Front Porch showing steps (open end)
Photo Date: July, 2020
Camera Facing: WNW

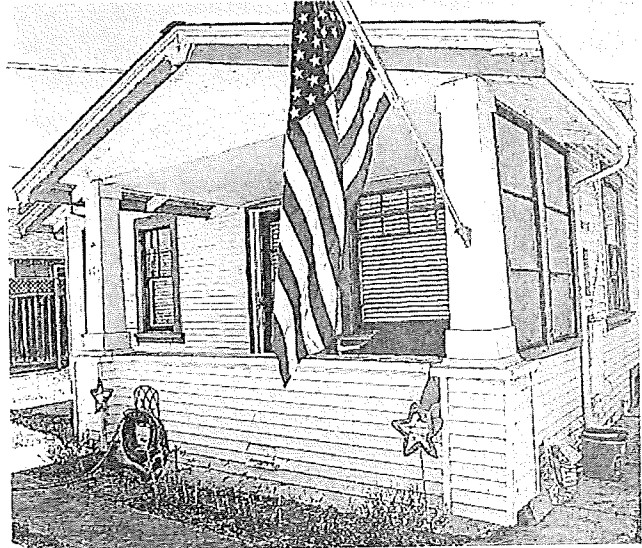


Photo No: 100_2537
View: Front Porch (closed end) showing solid balustrade
Photo Date: July, 2020
Camera facing: Southwest

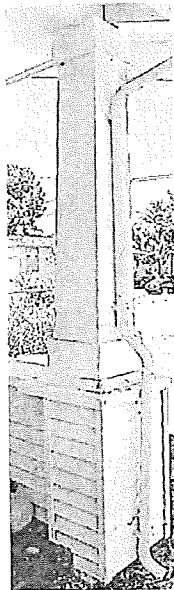


Photo No: 100_2587
View: sloping (battered) column on squared pier (interior view)
Photo Date: July, 2020; Camera Facing: NE



Photo No: 100_2551
View: sloping (battered) column on squared pier (exterior view)
Photo Date: July, 2020; Camera Facing: SW

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*Date 07/24/2020

☒ Continuation ☐ Update

Additional Photos – Doors and Windows and Attic Vent



Photo No: 100_2552
View: Front entry door
Photo Date: July, 2020
Camera Facing: WSW

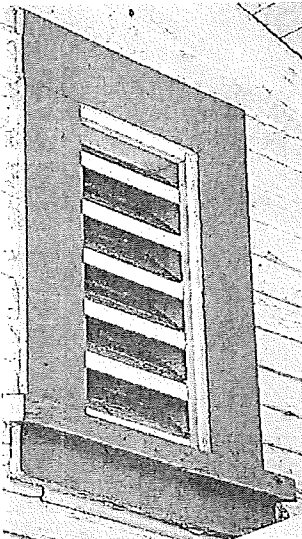


Photo No: 100_2556
View: Louvered Attic vent
Photo Date: July, 2020
Camera Facing: West

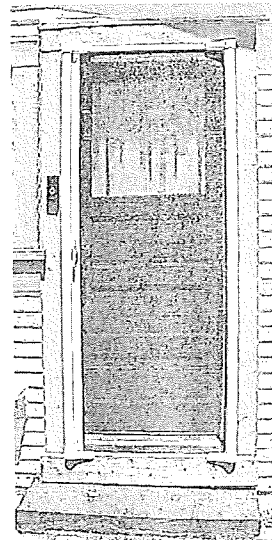


Photo No: 100_2561
View: Rear entry door
Photo Date: July, 2020
Camera Facing: ENE

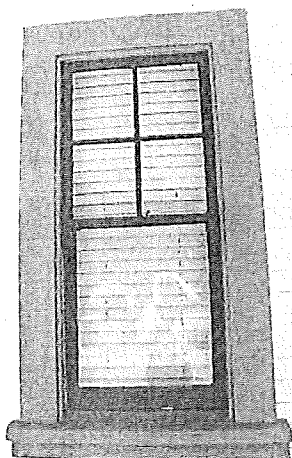


Photo No: 100_2541
View: Horizontally orientated, 4-over-1
double-hung window
Photo Date: July, 2020
Camera Facing: WSW

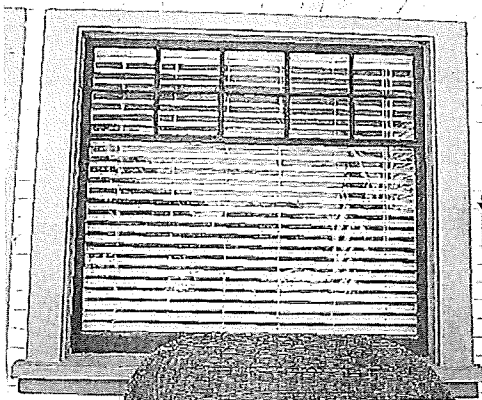


Photo No: 100_2553
View: Large fixed front window
Photo Date: July, 2020
Camera Facing: WSW

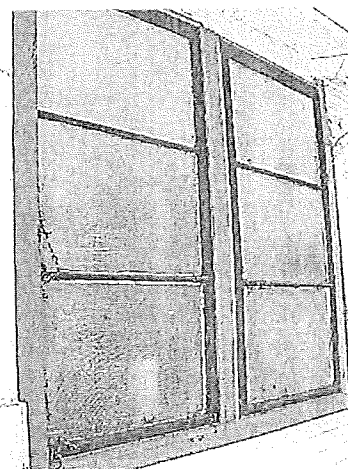


Photo No: 100_2545
View: Fixed pair of windows at closed end
of porch
Photo Date: July, 2020
Camera Facing: SSW

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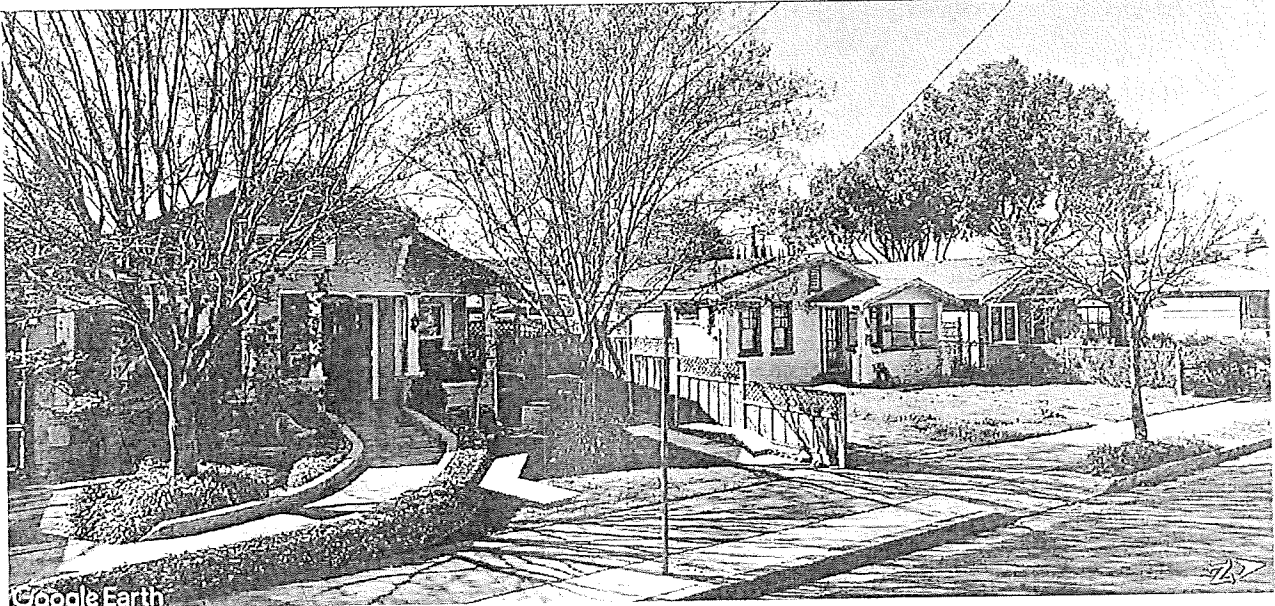
*Date 07/24/2020

☒ Continuation ☐ Update

Additional Photos - Streetscape



Photo No: 100_2599; View: Streetscape-1176 and 1194 Lincoln Street, showing similarities in style scale, form and massing;
Photo Date: July, 2020; Camera Facing: WSW



Google Photo; View Streetscape-1156, 1176, and 1196 Lincoln Street. Photo Date: January 2020; Camera Facing W

Conditions of Significant Property Alteration Permit Approval

PLN24-00062 / 1176 LINCOLN STREET

Major Significant Property Alteration Permit for a 266 square-foot addition to a Historic Resource Inventory Property with a Mills Act Contract

GENERAL

- G1. **Permit Expiration.** This Permit shall automatically be revoked and terminated if not used within **two years** of original grant or within the period of any authorized extensions thereof. The date of granting of this Permit is the date this Permit is approved by the Director of Community Development or designee and all appeal periods have been exhausted. The expiration date is [REDACTED].
- G2. **Conformance with Plans.** Prior to the issuance of Building Permit, the development of the site and all associate improvements shall conform to the approved plans on file with the Community Development Department, Planning Division. No change to the plans will be made without prior review by the Planning Division through approval of a Minor Amendment or through an Architectural Review, at the discretion of the Director of Community Development or designee. Each change shall be identified and justified in writing.
- G3. **Conditions on Plans.** All conditions of approval for this Permit shall be reprinted and included within the first three sheets of the building permit plan sets submitted for review and approval. At all times these conditions of approval shall be on all grading and construction plans kept on the project site.
- G4. **Code Compliance.** Comply with all requirements of Building and associated codes (the California Building Code, California Electric Code, California Mechanical Code, California Plumbing Code, California Green Building Code, the California Energy Code, etc.) current at the time of application for Building Permit, that includes grading and site utility permits.

DESIGN / PERFORMANCE – PRIOR TO BUILDING PERMIT ISSUANCE

- P1. **Tree Replacement (On-site).** Trees permitted by the City for removal shall provide replacement on-site at a ratio of 1:1 with a minimum 15-gallon tree size. (SCC 12.35.090)

DURING CONSTRUCTION

- P2. **Construction Hours.** Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- P3. **Construction Trash/Debris.** During construction activities, the owner or designee is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- P4. **Landscape Water Conservation.** The owner or designee shall ensure that landscaping installation meets City water conservation criteria in a manner acceptable to the Director of Community Development.

ST1. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for construction-related water runoff measures prior to issuance of permits.

OPERATIONAL CONDITIONS

P5. **Use of Garage.** The owner or designee shall ensure that the garage always be maintained free and clear for vehicle parking use. It shall not be used only for storage.

P6. **Landscaping Installation & Maintenance.** The owner or designee shall ensure that the landscaping installed and accepted with this project shall be maintained on the site as per the approved plans. Any alteration or modification to the landscaping shall not be permitted unless otherwise approved by the Director of Community Development.

P7. **Landscaping.** The owner or designee shall maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.

ST2. **Stormwater Control Measures.** The owner or designee shall incorporate Best Management Practices (BMPs) into construction plans in accordance with the City's Urban Runoff Pollution Prevention Program for post-construction water runoff measures prior to issuance of a building permit.

KEY:

G = General

P = Planning Division

ST = Streets Division (Landscape, Solid Waste, and Stormwater)

ACKNOWLEDGEMENT AND ACCEPTANCE OF CONDITIONS OF APPROVAL

Permittee/Property Owner

The undersigned agrees to each condition of approval and acknowledges and hereby agrees to use the project property on the terms and conditions set forth in this permit.

Signature: _____

Printed Name: _____

Relationship to Property: _____

Date: _____

Pursuant to Santa Clara City Code 18.128.100, the applicant shall return this document to the Department, properly signed and dated, within 30-days following the date of the Acknowledgement.



Agenda Report

24-385

Agenda Date: 5/2/2024

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

Update on 2024 Mills Act Audit

BACKGROUND

The Mills Act is an economic incentive program in California for the restoration and preservation of qualified historic buildings by private property owners. Enacted in 1972, the Mills Act legislation grants participating local governments authority to enter into contracts with owners of qualified historic properties who actively participate in the restoration and maintenance of their historic properties while receiving property tax relief. A formal Historic Property Preservation Agreement, generally known as a Mills Act Contract, is executed between the City and the property owner for a minimum ten-year term. Contracts are automatically renewed each year and are transferred to new owners when the property is sold. Property owners agree to restore, maintain, and protect the property in accordance with specific historic preservation standards and conditions identified in the contract over a ten-year period. There are currently 132 properties in the City of Santa Clara with a Mills Act Contract.

The Planning Division of the Community Development Department administers the Mills Act program for the city. As part of this program, the City conducts an audit of properties with a Mills Act contract every five years. Only properties with a Mills Act contract for at least five years are subject to an audit. The last Mills Act audit was conducted in 2017. However, due to the COVID pandemic, the planned 2022 audit was postponed to 2024. The purpose of the audit is to ensure that property owners are following their ten-year restoration plan. Property owners are asked to provide proof of investment into the property in accordance with the ten-year restoration plan, such as receipts, invoices, and photo evidence.

DISCUSSION

Preparations for the 2024 Mill Act audit are underway. A hard copy introductory letter will be mailed to all Mills Act property owners that are subject to the audit. This letter will introduce the audit and inform the property owners of the requirements to fulfill the audit. Additional information regarding all the materials and documentation to be submitted will be posted on the City's Mills Act webpage. If property owners do not respond to the initial letter, the property is subject to an on-site inspection. An on-site inspection will assess the overall condition of the property and determine whether additional restoration conditions are recommended to fulfill the contract. Staff will provide updates on the progress of the audit to the Historical and Landmarks Commission at future Commission meetings.

Prepared by: Tiffany Vien, Associate Planner

Reviewed by: Sheldon Ah Sing, Development Review Officer

Approved by: Lesley Xavier, Planning Manager



City of Santa Clara

1500 Warburton Avenue
Santa Clara, CA 95050
santaclaraca.gov
[@SantaClaraCity](https://twitter.com/SantaClaraCity)

Agenda Report

24-373

Agenda Date: 5/2/2024

REPORT TO HISTORICAL AND LANDMARKS COMMISSION

SUBJECT

HLC Workplan Fiscal Year 2024/2025

At the April 4, 2024 HLC meeting Commissioners discussed whether a Commission Workplan should be created and this item is placed on the agenda for discussion and further action if needed.

RECOMMENDATION

There is no staff recommendation.